

509, 511, & 513 S. Meyer Avenue Triplex

Restoration of exterior facade

December 14, 2020

Address: 509, 511, 513 S. Meyer Ave, Tucson AZ 85701

Parcel # 117-14-5140

Zoning: HC-3

COT Activity #: T20CM07233

This building permit is for exterior facade restoration work of a historic Triplex located in the Barrio Historico Historic District in Tucson Arizona.

Project Narrative

This historic Triplex has recently changed ownership, and the new owner would like to restore the exterior facades of the building. Our restoration effort consists of four parts:

1. We are proposing to replace the existing roll-roofing with a new galvanized corrugated metal roof.
2. We are proposing to re-paint the doors, windows, trim, and fascia. The color that we are proposing to use is Dunn Edwards "Desert Sage".
3. We are proposing to alter two openings. There is an existing six panel door on the south facade that we would like to replace with a 10-lite french door (for natural light). There is also a window on the east facade (the rear of the building) that needs to be repaired. If we are unable to repair the window, it will be replaced like for like.
4. Lastly, we are proposing two wood plank gates at the rear of the building to screen two existing washer/dryer utility areas.

UDC Design Standards

The design standards for alterations in Historic Preservation Zones (HPZ's) are outlined in UDC Sections 5.8.9 Design Standards and are listed below. Below each UDC provision is an explanation of how this proposal meets those criteria. The UDC Technical Standards (Section 9-02) also assist in understanding the UDC sections and were consulted to confirm conformance with the UDC.

The Development Zone for any project in an HPZ is defined in the UDC, and we have delineated the development zone for our project in drawing form included in this submittal.

UDC Sec. 5.8.9.A Generally. Alterations or additions to a Contributing Property within an HPZ shall reflect the architectural style and characteristics of the existing structure. The property may be renovated to an earlier historic style that applied to the property. In addition, such alterations or additions shall generally conform to the design standards of Contributing Properties within the development zone of the site.

This project calls for leaving the existing historic structure intact in terms of massing, height, door and window arrangements, textures, etc. No additions are being proposed. No demolition of the historic structures is being proposed.

UDC Sec. 5.8.9.B Height. Alterations or additions to a Contributing Property shall be constructed no higher than the tallest Contributing Property located within its development zone and shall generally conform to the typical height within the development zone.

No additions are being proposed. The existing building height is typical for contributing properties in the development zone, and will remain the same.

UDC Sec. 5.8.9.C Setbacks. Alterations or additions to a Contributing Property shall maintain the prevailing street and perimeter yard setbacks existing within its development zone.

No additions or demolitions are being proposed. The setbacks of the existing structure will remain the same on all sides.

UDC Sec. 5.8.9.D Proportion. Alterations or additions to a Contributing Property shall be consistent to the proportions of the existing structure and with the prevailing proportions of Contributing Properties within its development zone.

The proportions of the existing structure will remain the same.

UDC Sec. 5.8.9.E Roof Types. Alterations or additions to a contributing property shall have a roof compatible in configuration, mass and materials to that of the architectural style of the existing structure.

The existing structure has a gable roof at the front that run parallel with Meyer Ave. This gable roof is currently roofed with a deteriorating rolled-roofing product. We are proposing to re-roof this gable with a new galvanized corrugated metal roof. Corrugated metal roofing is consistent with the historic style of the neighborhood and can be found within our development zone.

UDC Sec. 5.8.9.F Surface Texture. Surface texture of alterations or additions to a Contributing Property shall be appropriate to the historic style of the existing structure.

The surface textures on the structures will remain the same.

UDC Sec. 5.8.9.G Site Utilization. Site utilization of alterations or additions to a Contributing property shall be consistent to the site utilization of Contributing Properties within the development zone.

The site utilization of the existing structure on the property will remain the same.

UDC Sec. 5.8.9.H Projections and Recessions. Projections and recessions of a Contributing Property, such as porches, steps, awnings, overhangs, entrances, and windows shall be appropriate to the style of the existing structure.

As mentioned before, we are proposing to alter only two openings. There is an existing six panel door on the south facade that we would like to replace with a 10-lite wood french door (for natural light). We believe that a 10-lite wood french door meets our client's desire for natural light while maintaining the style of the existing structure. There is also a window on the east facade (the rear of the building) that needs to be repaired. If we are unable to repair the window, it will be replaced like for like. This window is a wood double hung (2'-4" x 4'-0").

UDC Sec. 5.8.9.I Details. Architectural details of a Contributing Property, such as cornices, lintels, arches, grill work, shutters, window and door trim, and canals, shall be appropriate to the historic style of the existing structure.

The architectural details on this project will remain the same.

UDC Sec. 5.8.9.J Building form. Size, mass, and scale of alterations and additions to a Contributing Property shall be compatible with the existing structure and with the Contributing Properties within the development zone.

The building form of the existing structure will not change.

UDC Sec. 5.8.9.K Rhythm. The proportion, pattern, and rhythm of openings of additions or alterations to a Contributing Property shall be compatible with those of the existing structure and with those of Contributing Properties in its development zone.

The rhythm will remain the same. No doors or windows are being added or eliminated (merely replaced).

UDC Sec. 5.8.9.L Additional Review Standards

UDC Sec. 5.8.9.L.1 Color. Color of a building or structure, including trim, roof, or other details, shall be appropriate to the architectural style of the subject structure and its historic period.

The existing plastered walls shall remain white. Currently, the doors, windows, trim, and fascia are painted either blue or yellow. For consistency, we are proposing to paint all of the doors, windows, trim, and fascia one color: Dunn Edwards "Sage Green". We believe that the white walls, Sage green accents, and galvanized metal roof will be in keeping with development zone.

UDC Sec. 5.8.9.L.2 Landscaping. Plantings and other ornamental features shall reflect the historic period of the historic structure.

We are not proposing any changes to the existing landscaping.

UDC Sec. 5.8.9.L.3 Enclosures. Fences, walls, or other physical features used to enclose open space or provide privacy shall be compatible with the architectural style of the subject structure and with Contributing Properties within the development zone.

We are proposing two painted wood gates (vertical planks) to screen utility spaces at the rear of the building. We specifically chose vertical wood plank gates to match an existing plank door at the rear of the structure. The gates will be painted the same Desert Sage color to tie-in with the rest of the structure.

UDC Sec. 5.8.9.L.4 Utilities. New above ground power and telephone line installation and new utility connections shall be reviewed for appropriateness and compatibility.

All utilities are to remain the same.

UDC Sec. 5.8.9.M Signs. The color, appearance, size, method of attachment, texture of materials, and design of signs within an HPZ shall be in keeping with the collective characteristics of the structures located within the appropriate development zone.

We are not proposing any new signs.

UDC Sec. 5.8.9.N Motor Vehicle and Bicycle Parking Areas. Parking in accordance with Section 7.4 is required.

The parking for the site shall remain as-is.

For further information, please see the photographs and images included in our HPZ application package. Thank you for your time and consideration regarding this application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bob Lanning', written in a cursive style.

Bob Lanning, Architect



DINN EDWARDS

DET 505

DESERT SAGE

LRV 27



ZONING COMMENTS:

Permit Review Details

Permit: T20CM07233

Parcel: 117142910

Review Details

Addresses:

509 S MEYER AV

511 S MEYER AV

513 S MEYER AV

Review Status: **Completed**Show 10  entriesSearch:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
10/26/2020	JPEELDA1	FIRE	REVIEW	Approved	None
10/28/2020	JPEELDA1	FIRE	REVIEW	Approved	None
11/23/2020	ERIC NEWCOMB	BUILDING-COMMERCIAL	REVIEW	Approved	None
11/27/2020	SBLOOD1	ENGINEERING	REVIEW	Passed	None

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
12/2/2020	STEVE SHIELDS	ZONING	REVIEW	Reqs Change	<p>ZONING REVIEW TRANSMITTAL</p> <p>FROM: Steve Shields Site Section Manager</p> <p>PROJECT: T20CM07233 509, 511 & 513 S Meyer New Roof, Paint Existing Windows and Doors</p> <p>TRANSMITTAL: December 2, 2020 COMMENTS: the following comments are relative to an application for Historic Review (UDC 5.8.8).</p> <p>This site is located in the HC-3 zone (UDC 4.7.22). Historic review required for roof replacement.</p>

Showing 1 to 5 of 5 entries

Previous1Next

Final Status

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description
12/7/2020	IMONSHI1	OUT TO CUSTOMER	Completed
12/7/2020	IMONSHI1	OUT TO CUSTOMER	Completed
12/7/2020	IMONSHI1	OUT TO CUSTOMER	Completed
Showing 1 to 3 of 3 entries			Previous 1 Next

ASSESSOR'S INFORMATION:

Parcel Number: 117-14-5140

Property Address

Street Number	Street Direction	Street Name	Location
509	S	MEYER AV	Tucson
511	S	MEYER AV	Tucson
513	S	MEYER AV	Tucson

Contact Information

Property Owner Information:	Property Description:
511 MEYER LLC 7 N LONGFELLOW AVE TUCSON AZ 85711-2831	ROLLINGS BARRIO SQ20192670609 LOT 4

Valuation Data

Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2021	RES OTHER (4)	10.0	\$64,000	\$129,135	\$193,135	\$161,075	\$16,108

Property Information

Township:	14.0	Section:	13	Range:	13.0E
Map:	90	Plat:	425	Block:	
Tract:		Land Measure:	3,888.00F	Lot:	00004
Census Tract:	1000	File Id:	1	Group Code:	000
Use Code:	0330 (TRIPLEX - 1 TRIPLEX BUILDING)			Date of Last Change:	7/7/2020

Sales Information (1)

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20201680502	1	5/2020	2-4 Plex	\$316,000	\$318,210	N	X RJM

Valuation Area

District Supervisor: District No:				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	13009	90425 DEL	30

Recording Information (3)

Sequence No.	Docket	Page	Date Recorded	Type
20201680502	0	0	6/16/2020	WTDEED
20192670609	0	0	9/24/2019	MSUBD
20080060448	13218	1957	1/9/2008	WTDEED

Notes (3)

Created: 7/21/2020 Modified: 7/21/2020	TRCNo 2002708: re parcel child per batch #28549
Created: 2/5/2020 Modified: 2/28/2020	2021 Split Update use code from 0071 to 0330. Updated Land/IMP class from 0/0 to 4/0. Parcel 117-14-2910 becomes 5140. Transferred all CCS improvements. Updated APEX/Photos in Book-Map
Created: 10/9/2019 Modified: 10/9/2019	2021 Subd batch 28549 area calc see plat SQ20192670609

ASSESSOR'S RECORD MAP
ROLLINGS BARRIO
LOTS 001-007

117-14

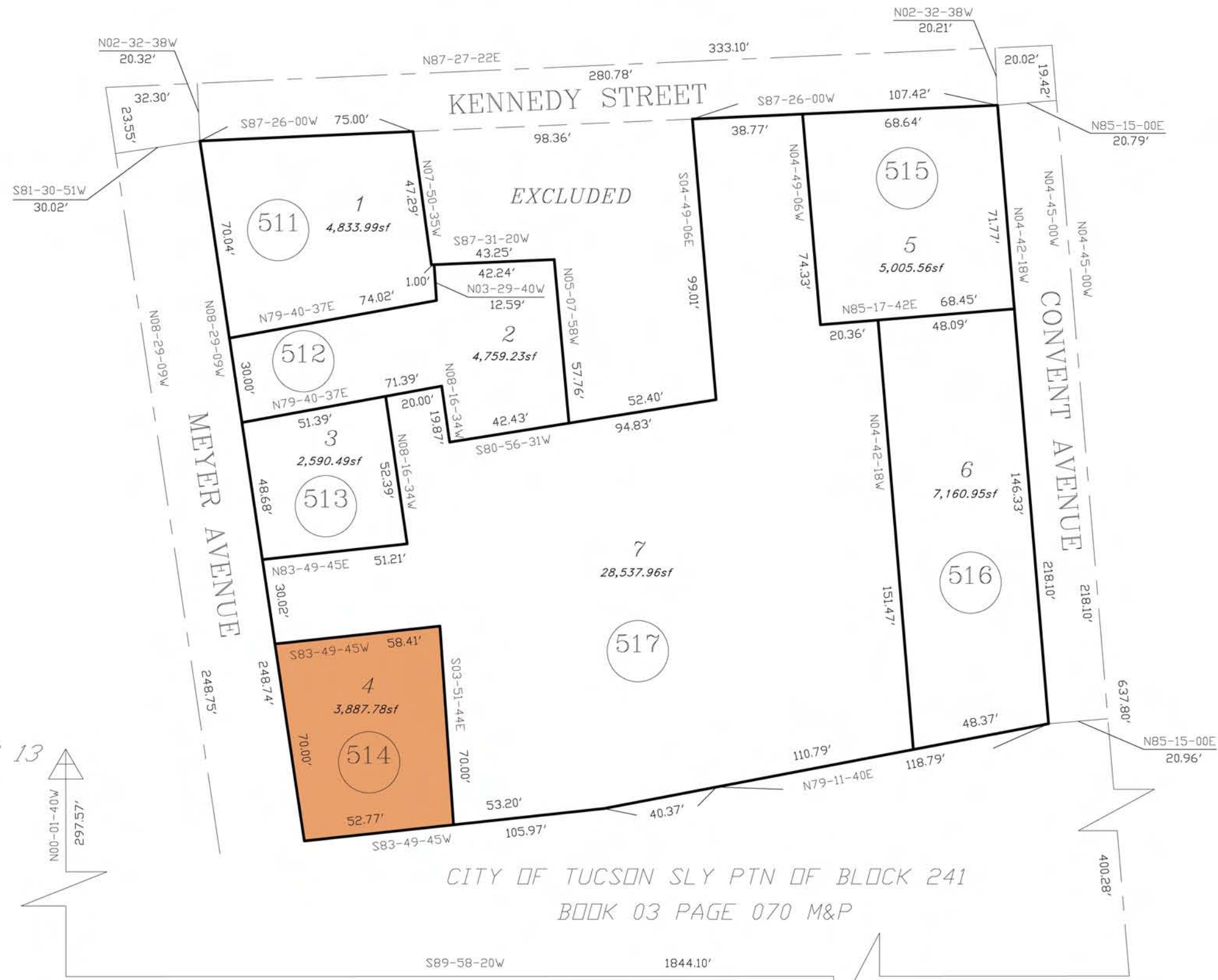
(RESUB PTN BLK 241, 03/070 M&P)
ALL IN CITY OF TUCSON

CITY OF TUCSON BLOCK 236
BOOK 03 PAGE 070 M&P

CITY OF TUCSON BLOCK 242
BOOK 03 PAGE 070 M&P

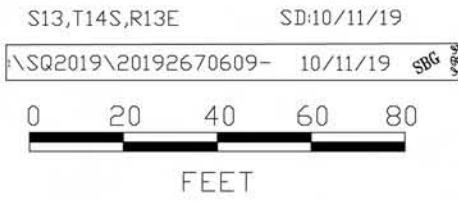
CITY OF TUCSON BLOCK 240
BOOK 03 PAGE 070 M&P

W. 1/4 COR SEC 13
FND. 2" L.C.P.



CITY OF TUCSON SLY PTN OF BLOCK 241
BOOK 03 PAGE 070 M&P

SEE BOOK 04 PAGE 064, R.S.
SCRIVENERS ERROR
SEQUENCE 20192820123
SEE SEQUENCE 20192670609
2020-1

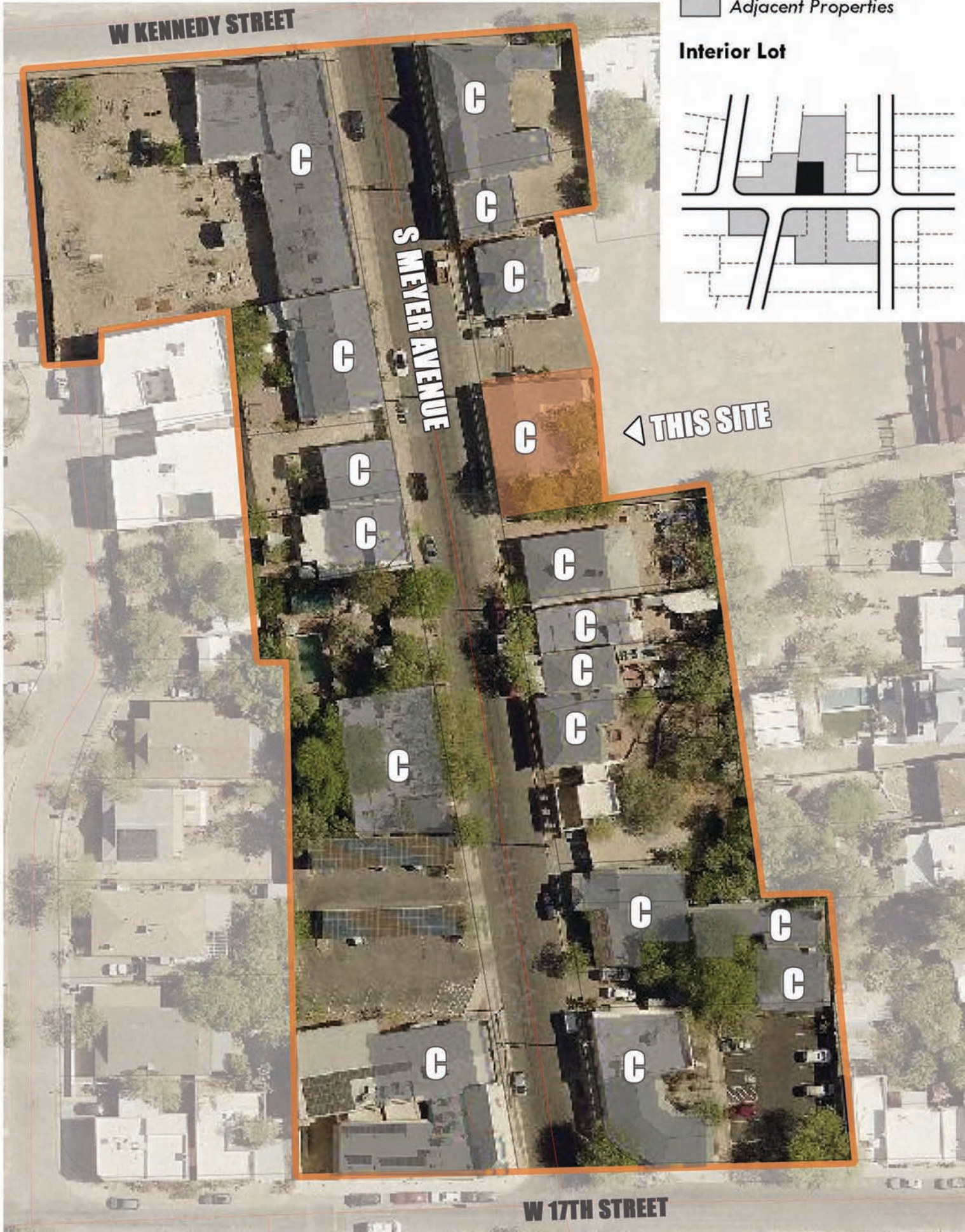


DEVELOPMENT ZONE

511 & 513 S. MEYER AVENUE

Adjacent Properties

Interior Lot



W KENNEDY STREET

S MEYER AVENUE

THIS SITE

W 17TH STREET

**CONTRIBUTING PROPERTIES ON
THE EAST SIDE OF MEYER AVE.**



501 S MEYER AVE



505 S MEYER AVE



525 S MEYER AVE



529 S MEYER AVE



555 S MEYER AVE



571 S MEYER AVE

CONTRIBUTING PROPERTIES ON
THE WEST SIDE OF MEYER AVE.



492-490 S MEYER AVE



508 S MEYER AVE



522 S MEYER AVE



526 S MEYER AVE



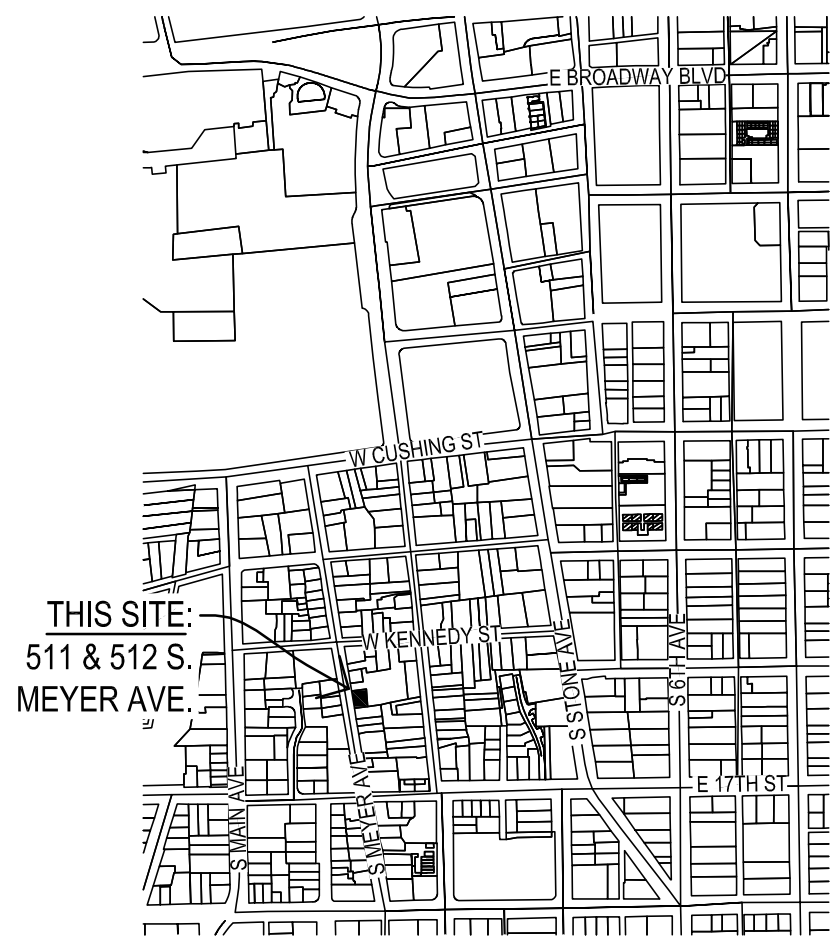
558-562 S MEYER AVE



600 S MEYER AVE

MEYER TRIPLEX RESTORATION

restoration of exterior facades only



LOCATION MAP

N.T.S.

PROJECT INFORMATION

OWNER: 511 MEYER LLC
7 N. LONGFELLOW AVE
TUCSON, AZ 85711

PROJECT ADDRESSES:
509 S. MEYER AVE.
511 S. MEYER AVE.
513 S. MEYER AVE.

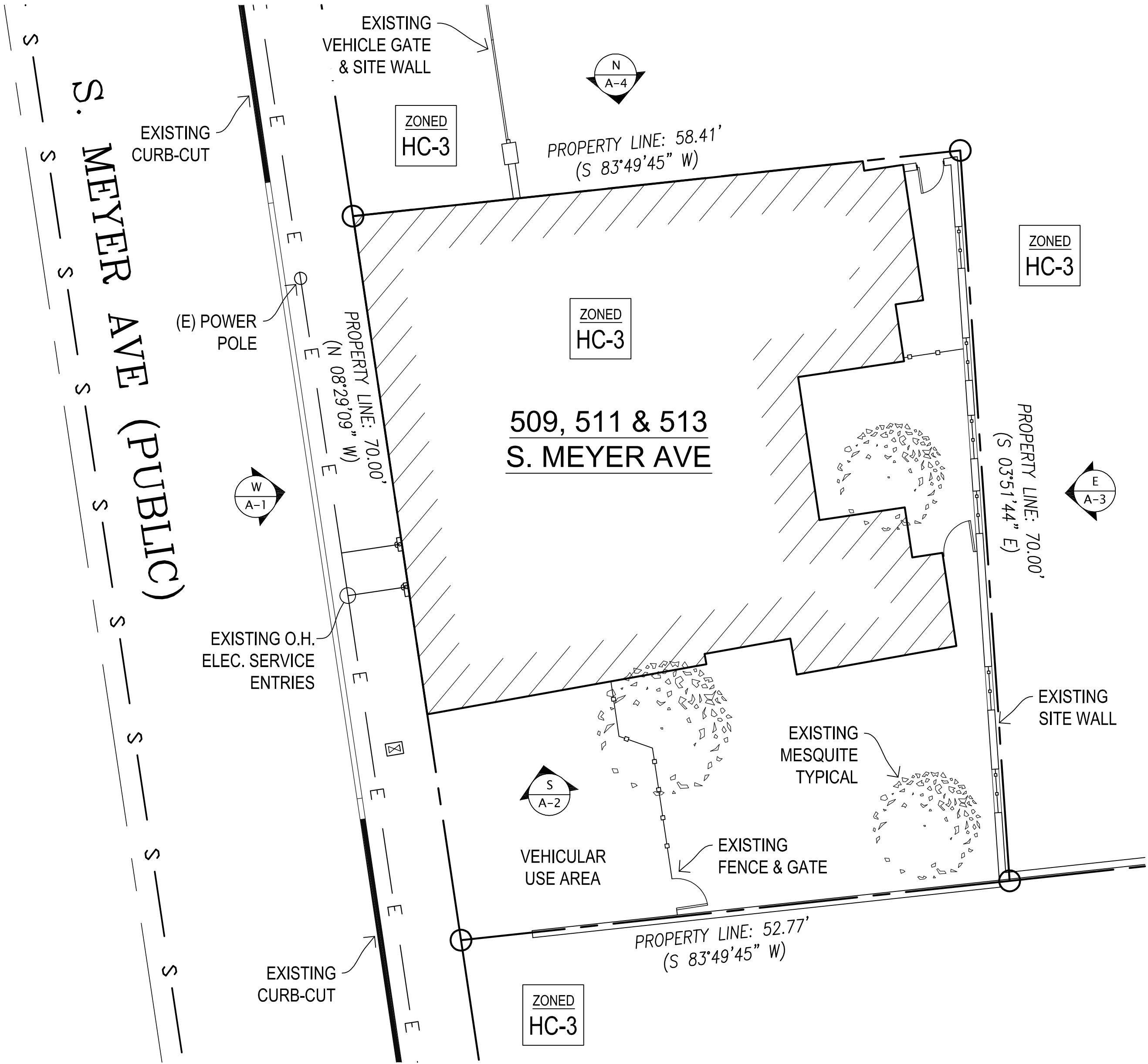
TAX CODE: 117-14-5140
ZONING: HC-3
LEGAL: ROLLINGS BARRIO SQ20192670609 LOT 4
LOT SIZE: 3,888 S.F.
LOT COVERAGE: N/A (EXISTING TO REMAIN)
USE: RESIDENTIAL MULTI-FAMILY (EXISTING TO REMAIN)
MAX. HEIGHT: EXISTING TO REMAIN
SETBACKS: EXISTING TO REMAIN

RELATED CASE NUMBERS:

HP2: TO BE DETERMINED

SHEET INDEX

- A-0 SITE PLAN
- A-1 WEST ELEVATION
- A-2 SOUTH ELEVATION
- A-3 EAST ELEVATION
- A-4 NORTH ELEVATION

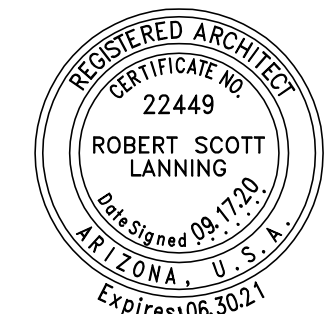


SITE PLAN (FOR REFERENCE ONLY)

SCALE: 1/8"=1'-0"

509, 511 & 513 S. Meyer Ave. Triplex

509, 511 & 513 S. Meyer Ave.
Tucson, AZ 85701



Robert Scott Lanning

lanning architecture

1202 E Broadway suite 104
Tucson AZ 85719
520.792.0265

09.17.20 date
revised
revised
revised

A-0
site plan



WEST ELEVATION



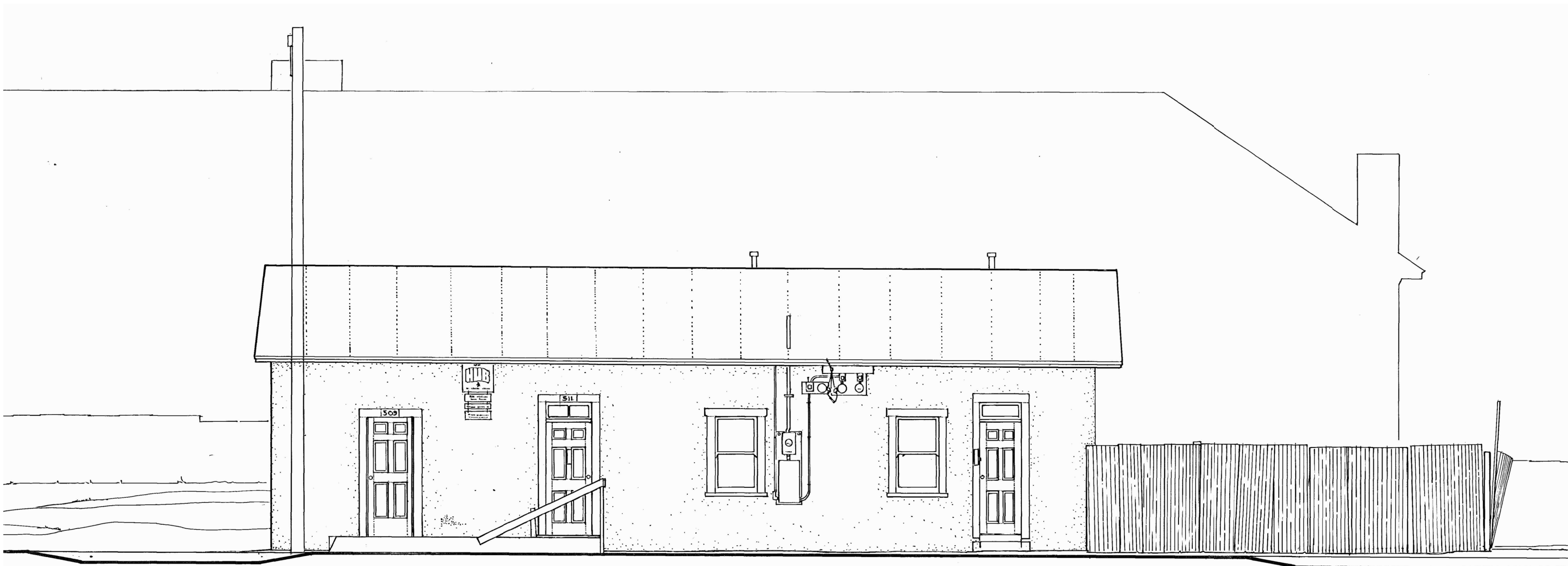
TYPICAL DOOR



TYPICAL WINDOW



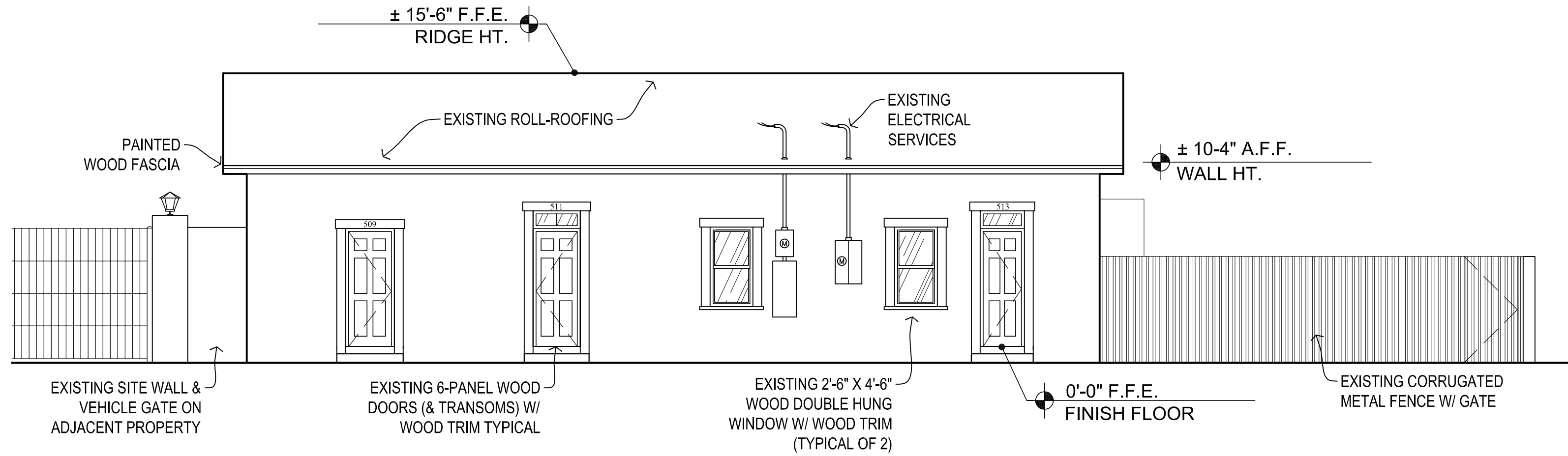
SITE FENCE



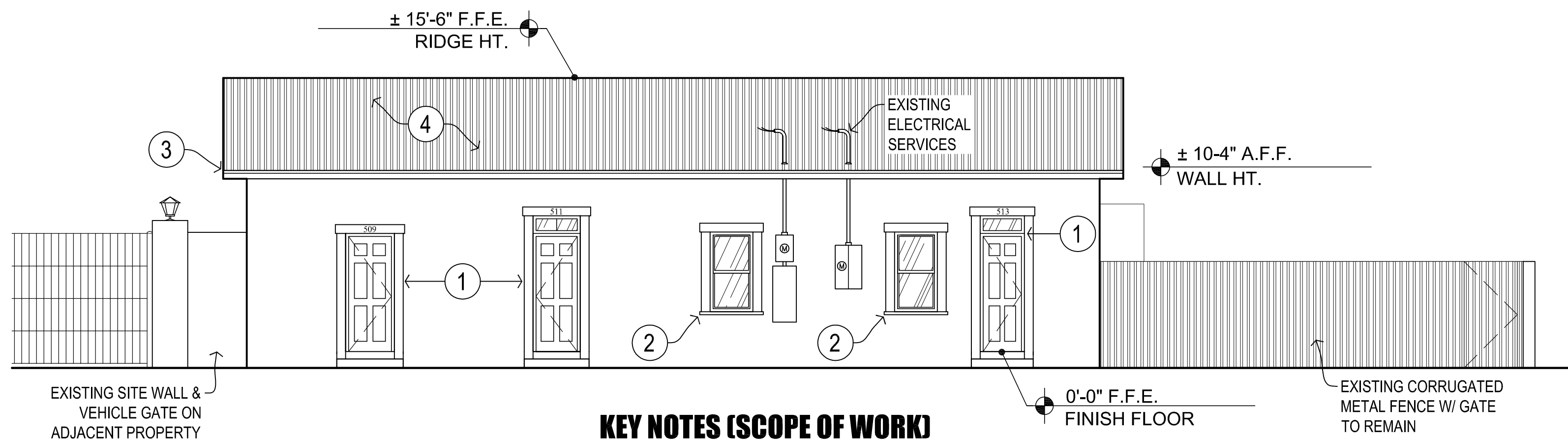
WEST ELEVATION
FIMBRES HOUSE NO. 1
509-513 SOUTH MEYER AVENUE

MATERIAL NOTES
FOUNDATION-INACCESSIBLE
WALLS-STUCCOED ADOBE
ROOF-ROLLED ASPHALT

W HISTORIC AMERICAN BUILDING SURVEY 1980
SCALE: 3/16" = 1'-0"



W EXISTING WEST ELEVATION
SCALE: 3/16" = 1'-0"



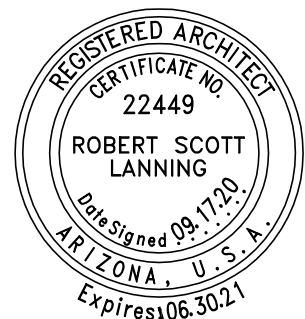
W PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES (SCOPE OF WORK)

1. EXISTING 6-PANEL WOOD DOORS (& TRANSOMS) TO BE RE-PAINTED. EXISTING WOOD TRIM TO BE RE-PAINTED AS WELL.
2. EXISTING 2'-6" X 4'-6" WOOD DOUBLE HUNG WINDOWS W/ WOOD TRIM TO BE RE-PAINTED (TYPICAL OF 2).
3. EXISTING WOOD FASCIA TO BE RE-PAINTED.
4. EXISTING ROLL-ROOFING TO BE REPLACED WITH NEW GALVANIZED CORRUGATED METAL ROOFING.

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	revised
	revised
	revised

A-1
WEST ELEVATION



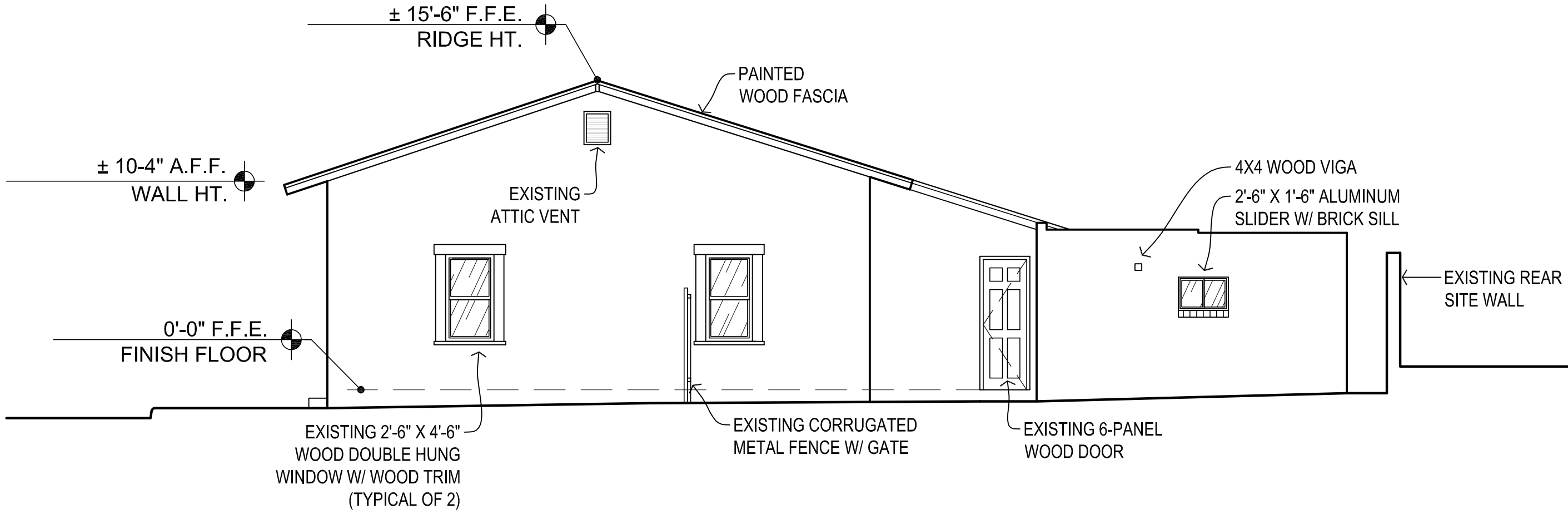
SOUTHWEST CORNER



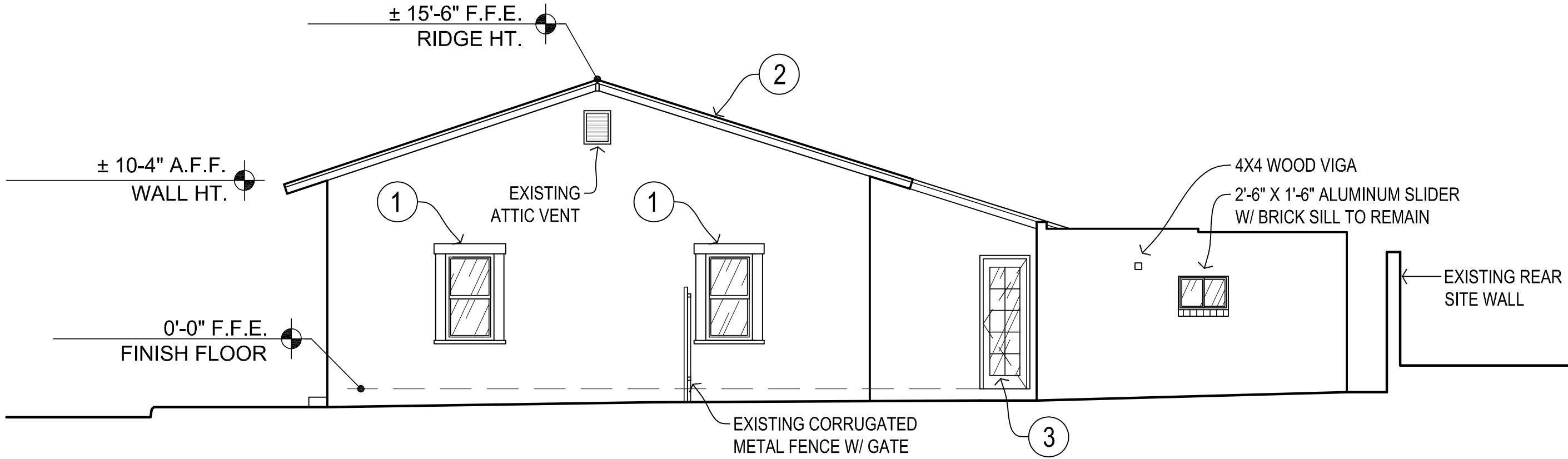
PRIVATE YARD



PARTIAL SOUTH ELEVATION



S EXISTING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



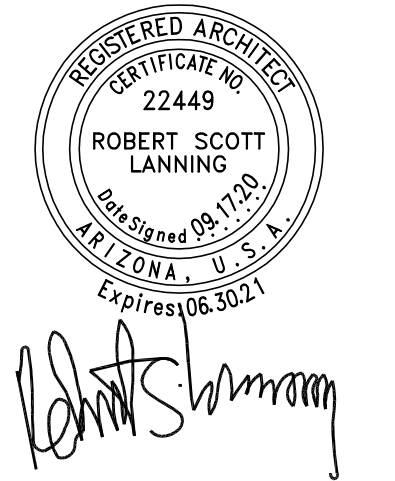
S PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES (SCOPE OF WORK)

1. EXISTING 2'-6" X 4'-6" WOOD DOUBLE HUNG WINDOWS W/ WOOD TRIM TO BE RE-PAINTED (TYPICAL OF 2).
2. EXISTING WOOD FASCIA TO BE RE-PAINTED.
3. EXISTING 6-PANEL WOOD DOOR TO BE REPLACE WITH NEW WOOD 10-LITE FRENCH DOOR FOR NATURAL LIGHT.

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A-2
SOUTH ELEVATION



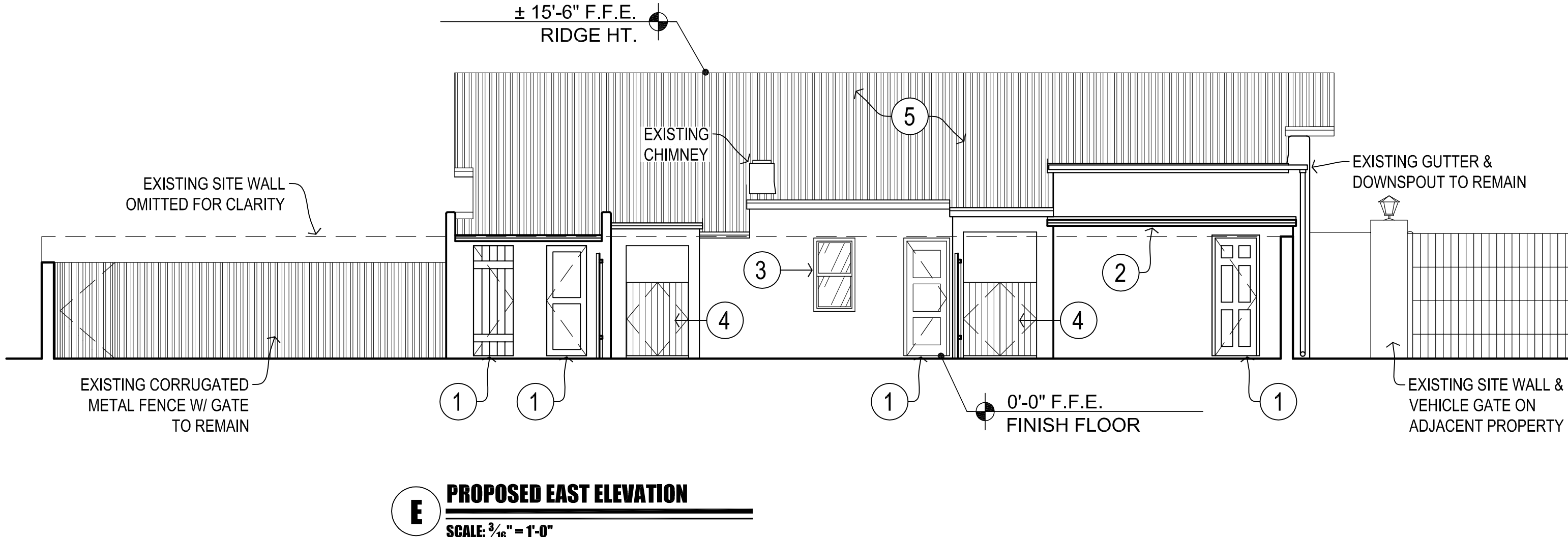
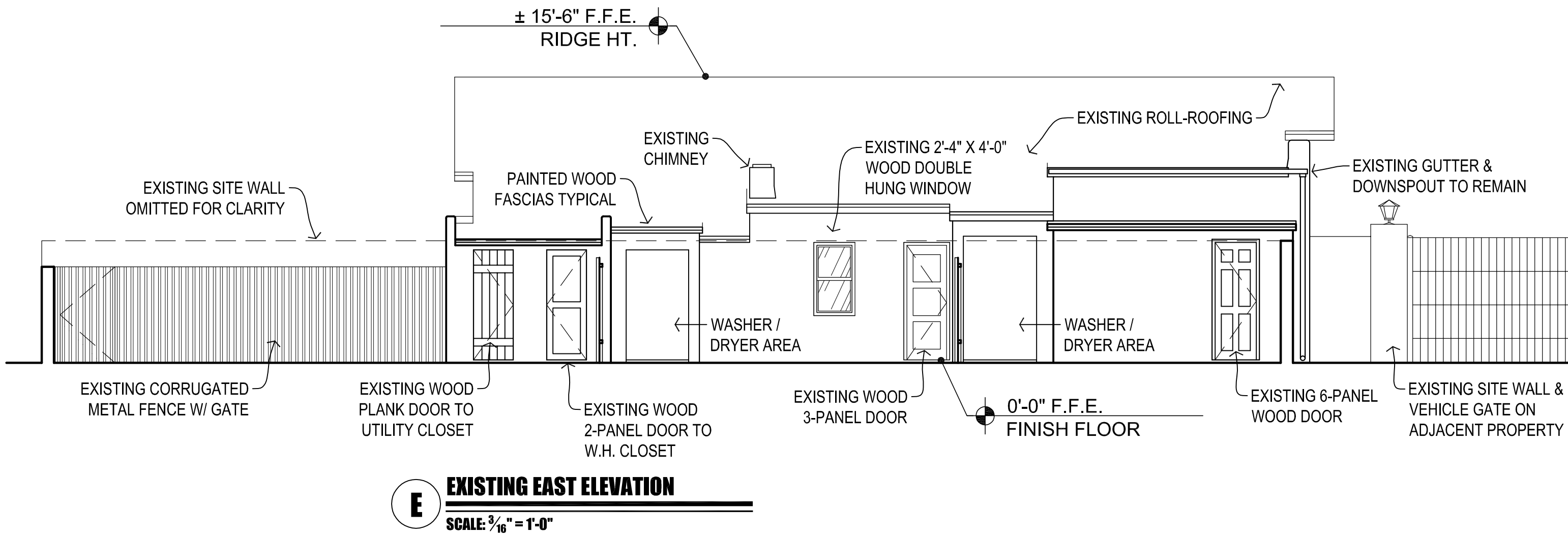
EAST ELEVATION (SITE WALL)



PARTIAL EAST ELEVATION



SOUTHEAST CORNER

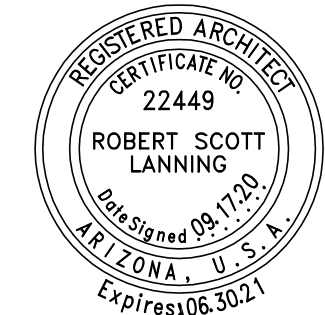


KEY NOTES (SCOPE OF WORK)

1. EXISTING DOORS TO BE RE-PAINTED (TYPICAL OF 4). SEE EXISTING ELEVATION FOR DOOR EXISTING DESCRIPTIONS.
2. ALL EXISTING WOOD FASCIAS TO BE RE-PAINTED.
3. EXISTING 2'-4" X 4'-0" WOOD DOUBLE HUNG WINDOW TO BE REPAIRED OR REPLACED (LIKE FOR LIKE). WINDOW TO BE PAINTED TO MATCH OTHER OPENINGS.
4. NEW 4'-0" TALL PAINTED WOOD PLANK GATES TO SCREEN LAUNDRY EQUIPMENT AREAS.
5. EXISTING ROLL-ROOFING TO BE REPLACED WITH NEW GALVANIZED CORRUGATED METAL ROOFING.

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A-3
EAST ELEVATION



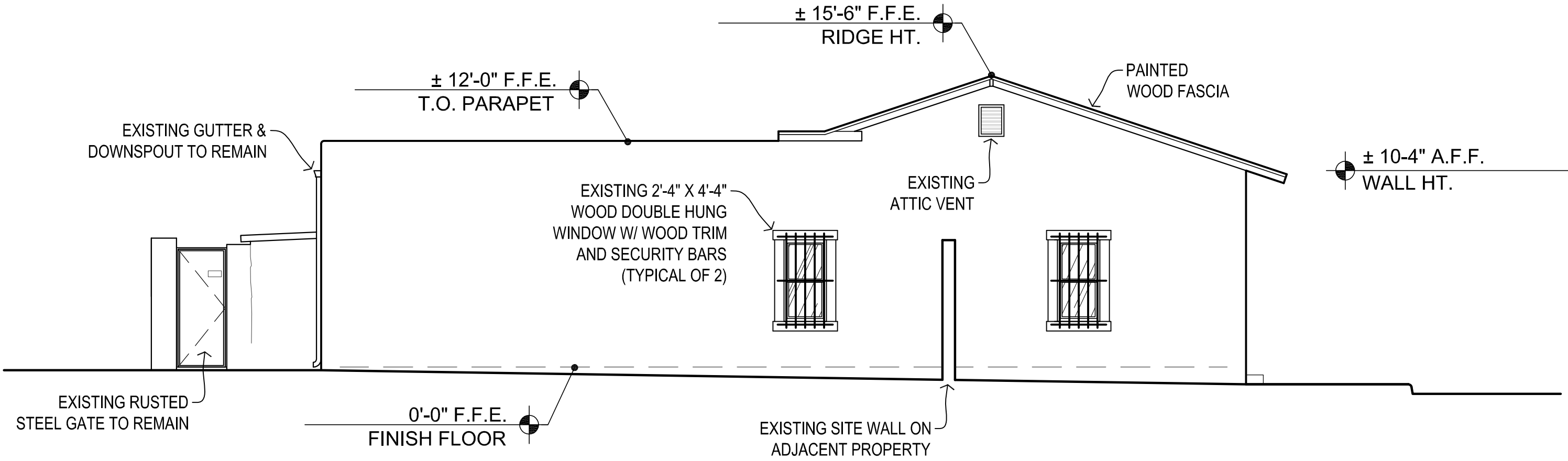
NORTH ELEVATION



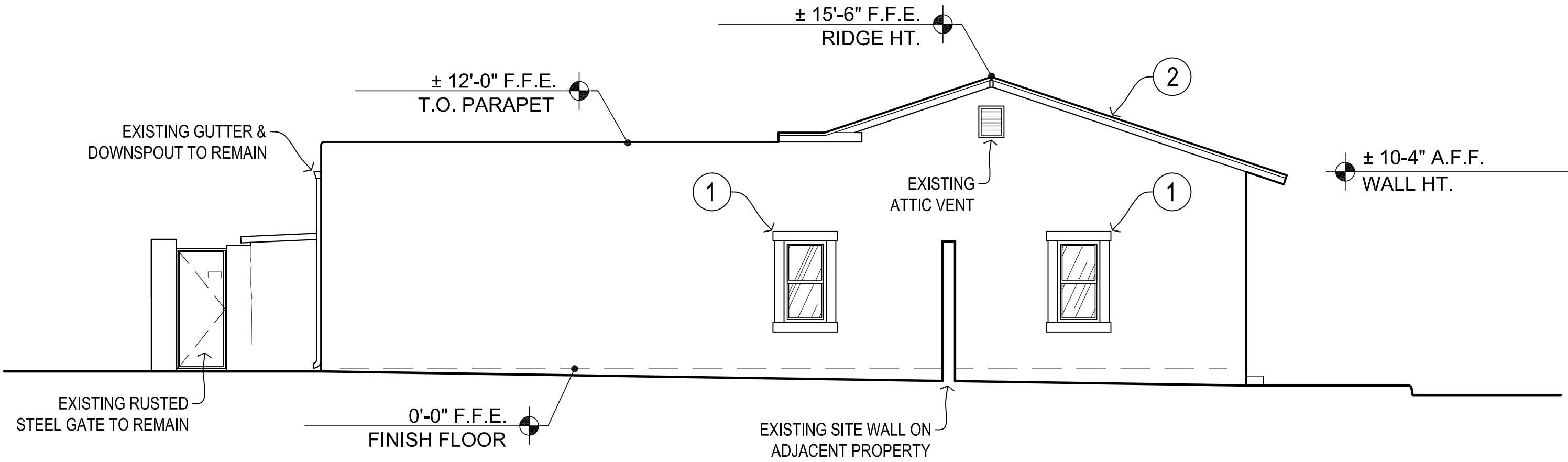
NORTHEAST CORNER



TYPICAL WINDOW



EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"



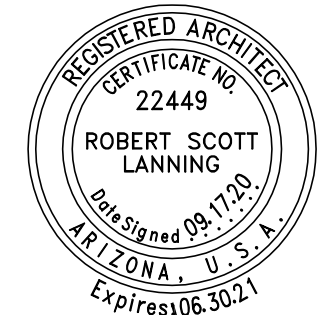
PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES (SCOPE OF WORK)

1. REMOVE EXISTING SECURITY BARS. EXISTING 2'-4" X 4'-4" WOOD DOUBLE HUNG WOOD WINDOWS AND TRIM TO BE RE-PAINTED. TYPICAL FOR TWO WINDOWS.
2. EXISTING PAINTED WOOD FASCIA TO BE RE-PAINTED.

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A-4
NORTH ELEVATION