

INFILL INCENTIVE DISTRICT DESIGN PACKAGE for UNION ON 6TH

IID-17-06
T178A00489

IPP
T188A00266

April 2018

Revised: May 2018

OWNER

Tigre Properties I, LLC; Honeybadger Happenings, LLC;
Four Emeralds, LLC; Darlene Gaston; Wayne Hausknect
Tucson, Arizona

PREPARED FOR

EdR Trust, Inc.
999 South Shady Grove Road
Suite 600
Memphis, Tennessee 38120



CYPRESS
CIVIL DEVELOPMENT

a.23 studios

VFLA
ARCHITECTURE • DESIGN

LS

EdR

UNION ON 6TH

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UNION ON 6TH

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APPLICATION

Case Number _____

Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): The Union on 6th

Property Address: 340 E. 6th St. (includes 316 E. 6th St. and 419-424 N. Herbert)

Applicable Area/Neighborhood/Overlay: IID - Fourth Ave. and Warehouse Areas (Downtown Links)

Zoning: C-3 (underlying)

Historic Status: See Attachment 1

Legal Description: See Attachment 1

Pima County Tax Parcel Number/s: See Attachment 1

Site and Building Area (sq ft): Site Area: 61,364 sq. ft. Proposed Building Area: +/-300,700 sq. ft.

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Matt Stuart - Cypress Civil Development

EMAIL: mstuart@cypresscivil.com

PHONE: (520) 499-2456

FAX: ()

ADDRESS: 2030 E. Speedway Blvd., Ste. 110, Tucson, AZ 85712

PROPERTY OWNER NAME (If ownership in escrow, please note): EDR Trust, Inc. (Escrow)

PHONE: (901) 259-2500

FAX: ()

PROJECT TYPE (check all that apply):

☒ New building on vacant land

☐ New addition to existing building

☐ Change of use to existing building

☒ New building on developed land

☐ Other

Related Permitted Activity Number(s): T17SA00486, DP18-0067

DESCRIPTION OF USE: Mixed-use multi-family residential and commercial/retail.

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.


SIGNATURE OF OWNER/APPLICANT

April 4, 2018
Date

Union on 6th
IID Application
 Attachment 1

Parcel No.	Address	Historic Status	Legal Descriptions
117-05-033A	340 E. 6 th St.	Non-contributing to the Fourth Ave. Commercial Historic District.	TUCSON LOTS 1 & 4 EXC E2 S46' LOT 4 BLK 68
117-05-0340	314-316 E. 6 th St.	Non-contributing structure to the Warehouse Historic Register District.	TUCSON E70' OF LOT 2 BLK 68
117-05-0370	424 N. 5 th Ave.	No structures.	TUCSON LOT 3 BLK 68
117-05-0430	420-422 N 5th Ave.	Non-contributing structure to the Warehouse Historic Register District.	TUCSON LOT 6 BLK 68
117-05-0440	420 N. Herbert	Demolished in 2012. Was a contributing structure to the Warehouse Historic Register District.	TUCSON N36' LOT 7 & S30' W109.8' LOT 7 BLK 68
117-05-0450	419 N. Herbert	Contributing structure to the Warehouse Historic Register District.	TUCSON S30' OF E75' OF LOT 7 BLK 68

**SUBMITTAL REQUIREMENTS****PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor's record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
X	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
X	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
X	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
X	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



CASE INFORMATION

(To be completed by PDSD staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01):

Related Permitted Activity Number(s): DP18-0067, T18PRE0006

Review Process (E.g. HPZ, DDO, IID – Major/Minor): IID - MAJOR

Applicable Fees: \$726 - PAID

Pre-Application Accepted by: Carolyn Laurie/Alexandra Hines

Pre-Application Meeting scheduled for: 12/19/2017 & 01/11/2018

Additional Notes:

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

- Formal neighborhood meeting
- Discuss with Design Professional

NEIGHBORHOOD MEETING MATERIAL

UNION ON 6TH



Neighborhood Meeting Summary

Union on 6th – Infill Incentive District Project

Project Overview: The project is on the southwest corner of 4th Ave. and 6th St., extending west across Herbert Ave. and fronting a portion of 5th Ave. (the “Project”). It will be developed by Education Realty Trust Inc. (“EdR”) pursuant to the Infill Incentive District’s (“IID”) Fourth Ave. and Warehouse Triangle Areas. EdR’s brand for the Project will be “Union on 6th.”

Meeting Date & Time: Wednesday, February 7, 2018, 6:30 p.m. to 8:30 p.m.

Location: Trinity Presbyterian Church
Fellowship Hall
400 E. University Blvd.
Tucson, Arizona

Meeting Invitation & Mailing: All properties within the 300-ft. notification area and all registered neighborhood associations within 1 mile were sent a meeting invitation letter via First-class Mail in conformance with the City’s Unified Development Code § 3.2.2(C)(3). The mailing occurred on January 23, 2018, using City-generated mailing labels. See attached invitation letter.

Attendance: Approximately 45 neighbors and/or representatives from neighborhood associations attended per the attached sign-in sheet.

Project Team: The Project Team in attendance were:

- Rory Juneman, Lazarus, Silvyn & Bangs PC
- Matt Stuart, Cypress Civil Development
- Burak Bekat, a.23 Studios
- Ben Cole, a.23 Studios
- Randy Fitzpatrick, Taylor Fitzpatrick

Meeting Synopsis: Mr. Juneman opened the meeting by welcoming the attendees, introducing the Project Team, and reviewing the agenda. He provided an overview of the Project’s goals and statistics, including the Project’s anticipated units (253), parking spaces (190) and building height (maximum five stories east of Herbert Ave. (“Herbert”), seven stories west of Herbert).

He also explained that the Project will not include rooftop amenities nor balconies, the pool will be surrounded by residential units, and the two terraces will be limited to residents only. Mr. Juneman explained that the Project will not impact the status of the one historic property on the site (the current woodworking shop on Herbert). The Project's target market will be young professionals, graduate students, and others that want to live in this area. Mr. Juneman explained that the Project developer, Education Realty Trust ("EdR") is a collegiate housing developer with projects in and around college campuses throughout the Country, including two in Tucson (The District on 5th ("District") and Urbane, both marketed to undergrad students). The Project will allow EdR to diversify and broaden its apartment offerings outside of the undergraduate housing market.

Mr. Stuart gave an overview of the IID and explained the two IID areas that the Project will be constructed. He described the IID-standard modifications that we will request for the Project, as allowed by the IID. He explained the IID process moving forward, including that this meeting is the beginning of that process. He then showed the Project site plan and walked through how the site will function. This explanation included the location of the commercial/retail tenant spaces and the residential areas, how Herbert will function, the location of parking and loading areas, and how pedestrians, both residents and the public, will circulate in and around the Project.

Mr. Stuart finished the presentation by showing the Project's current conceptual renderings. The Project Team then took questions and comments from attendees. The meeting concluded at approximately 8:30 pm, with some staying longer to discuss the project and ask further questions.

Q&A Topics: The question and comment period lasted approximately an hour and touched on numerous topics. Below is a summary of the questions and comments organized by issues, along with a summary of the Project team's responses:

- **Parking:** There were several questions and comments about the Project's impact on parking in the 4th Ave. business district (the "Avenue"). The Avenue's merchants ("Merchants") are concerned about parking availability for customers, and how the Project will affect the Fourth Ave. Street Fair ("Street Fair"). Other attendees supported the Project's use of the IID's reduced parking numbers, as they believe less parking will encourage the use of alternative modes of transportation (transit, bicycles, ridesharing).

The Project Team explained that it anticipates 190 vehicle spaces will meet the Project's residential parking demand. It believes demand will be less due to the Project's location and the availability of alternate transportation modes. The Project's location is ideal for residents without vehicles as it is near downtown and the University, and is within 500 ft. of four bus and one street-car stop. The team discussed the trend at urban projects of fewer residents bringing cars, and they anticipate the Project will see the same. The Project will lease parking spaces separately from units, with monthly parking rents exceeding \$75/month. Charging for parking also should encourage residents to forgo vehicles.

Attendees asked what would happen if the demand exceeds 190 spaces, and would EdR be willing to use the District's vacant spaces. The Project Team will confirm with EdR how much parking is available at the District and whether using these spaces is feasible. An attendee also asked whether EdR will consider providing ZipCars for its residents. As EdR uses ZipCars at its adjacent property, the District, it is open to using them at the Project if feasible.

Regarding commercial spaces, the IID does not require the Project to provide non-residential spaces. The Project will keep the current number of metered spaces on 4th Ave. and 5th Ave., and will rely on those for its commercial parking spaces.

- *Maintaining Local Businesses on 4th Ave.:* Several attendees were concerned that the Project will negatively impact the Avenue's focus on local businesses by bringing in national tenants. There were requests that the Project's retail space only include local businesses, or give preference to local businesses over national chains. The Project Team stressed that EdR understands the importance of keeping and maintaining local businesses on the Avenue, and it is open to ideas on how to accomplish this. The Project Team will approach FAMA to discuss how they can work together to identify local retailers for the Project's commercial space.
- *Student Housing vs. Market Rate Apartments:* There were multiple questions and comments about whether the Project will be for undergraduate student housing. Concerns were expressed that undergraduate students living at existing projects (e.g., the District) do not frequent the local businesses and are disruptive to the neighborhoods. The Project Team stressed that the Project's target market is professionals and graduate students who want to live in this area, and not undergrads. The Project is consistent with this model for multiple reasons:

- It is a multi-family project that will rent by the unit at market rates.
- The unit mix is 50% one-bedroom and 40% two bedroom units, which are preferred by this target market. The remaining 10% of units are three-bedroom.
- The units will be unfurnished.
- Units will be leased on an annual (12-month) basis.

The Project Team explained the Project is significantly different from undergraduate housing (also referred to as a “Group Dwelling” use), which rents by the bedroom, provides furnished units, and has four-to-six bedroom units. In addition, EdR can direct undergraduates to its two existing Tucson properties (the District and Urbane). The Project diversifies EdR’s housing product in Tucson, providing it an opportunity to attract a wider demographic. While EdR cannot exclude undergraduates due to Fair Housing laws, it firmly believes the Project will attract its target demographic. An attendee asked for EdR to provide examples of other locations where EdR is building this product, and what the tenant mix is at those locations. The Project Team committed to providing this information.

- *Conversion to Student Housing:* An attendee asked whether the Project could later be converted to student housing (i.e., Group Dwelling use). The Project Team explained that the IID requires a Special Exception approval by the Mayor and Council to allow the Group Dwelling use in the IID. EdR would need to get this approval before it can rent by the bedroom. The Project Team pointed out that renting by the bedroom for this Project does not make financial sense because 90% of the units are one-and-two bedrooms, and renting by the room will provide little increased revenue.
- *Construction Disruptions on 4th Ave.:* An attendee was concerned that the Project’s construction will disrupt the Avenue’s vehicle and pedestrian traffic. The Project Team explained that construction will not block 4th Ave. vehicle lanes, although some of the 4th Ave. sidewalk will temporarily be blocked during construction to ensure pedestrian safety. The Project will cause incremental closures of 6th St., Herbert Ave. and 5th Ave., mostly due to the undergrounding of electric utilities (i.e., removing the power poles and placing electricity lines underground) along 6th St. and Herbert Ave. EdR’s general contractor will coordinate with local businesses and surrounding residents regarding these closures.

The Project Team stressed that EdR is aware of the importance of the Street Fair to Avenue. During construction, 4th Ave.'s vehicle lanes will remain open and therefore will not negatively impact the Street Fair. The Project Team is also working with Tucson Fire to ensure Herbert will not be obstructed during the Street Fair, as the alley serves as a back-up fire lane.

- *Improving Pedestrian Experience:* An attendee asked that EdR support current efforts to improve the areas' pedestrian experience. Currently, pedestrians in and around the Avenue face wide crosswalks and short crossing times. There are current efforts to improve pedestrian and bike safety through traffic control light timing, speed control, and speed enforcement. In addition, there are requests for the City's Department of Transportation ("TDOT") to provide group transit pass discounts for larger residential developments like the Project. The attendee urged EdR to provide non-financial support for these efforts, including the group discounts, in order to encourage TDOT act. The Project Team committed to inquire with EdR regarding supporting these efforts.
- *Traffic Mitigation:* There was a comment regarding the impact of the Project on local traffic, particularly that traffic will likely increase traffic flow to 6th Ave. based on the garage entrance/exit on 5th Ave. The request was that developers of projects in this area help fund traffic mitigation projects, including the 6th Ave. road diet that is in the planning stages. There was also a comment that residents at the District are creating unsafe conditions by not following traffic control signs in its parking area. The Project Team committed to discuss these issues with EdR.
- *Terrace Location:* There were several questions regarding the resident terraces on 4th Ave. and 6th St. frontages. The questions focused on measures to mitigate any potential negative impacts the terraces could have on pedestrians and neighbors. The Project Team explained that both terraces will be accessible only by Project residents and not open to the public or commercial tenants. The terraces will have landscape planters at the street frontages so that no one can access the terrace edge above the pedestrian area. EdR is also agreeable to limiting the hours that residents can access the terraces (although a portion of the 4th St. terrace will also serve as a circulation path for residents and that area will remain open).
- *Herbert Questions:* There were multiple questions regarding how Herbert will look and function once the Project is complete. These questions included how trash service and loading will occur in Herbert. The Project Team explained that Herbert will continue to

function as it does today, with several improvements to its outward appearance. Herbert will remain a fully accessible one-way (south) public alley. The Project will have some resident pedestrian traffic crossing Herbert at the ground level, and will provide pedestrian crossing safety elements to increase safety (e.g., lighting, speed table). The alley will be repaved and improved once the utility work is completed.

The Project will use Herbert for trash service (as do all the other adjacent businesses along Herbert). It will use fully enclosed trash compactors, and only roll the compactors into the alley on trash pick-up day. This will significantly reduce the impact of the Project's trash on neighbors. The Project will likely include a loading area in Herbert, and the team is working with the City through the development package process to finalize this design.

- *Design Feedback:* There was a variety of feedback on the Project's design. Some felt the design does not integrate with the Avenue's historic buildings, and other commented that the design was ugly. Others commented that the design followed the intention and spirit of the IID's design standards. There was a request to enhance the pedestrian experience along 6th St. by providing additional shade canopies and widening the sidewalk by inseting the façade. The Project Team stressed that we are at the beginning of the IID process, and that we will adjust the design based on comments from this and future meetings.

One attendee noted the black and white renderings showed only four levels of windows on the west side of the Project (instead of five). The Project Team explained that one level of windows was unintentionally omitted from the black and white ("B/W") renderings, while the color renderings were correct. Both renderings showed the correct overall building heights/massing, and the team will correct the windows on the B/W renderings for future presentations (corrected version is included).

- *Sale of Project:* An attendee asked if EdR plans on selling the Project soon after it finishes construction (i.e., flipped). The Project Team explained that EdR will not flip the Project. As a real estate investment trust, EdR would incur Federal tax law penalties if it sold the Project soon after the sale. As a result, EdR plans on holding this Project well into the future.

- *Ownership Status:* An attendee asked if EdR owned the Project's property. The Project Team explained EdR has the property under contract and will purchase the property once it obtains approvals.
- *Flycatcher Historic Status:* An attendee asked why the Flycatcher was not a historic property. The Project Team explained that a structure's historic status is determined by the State Historic Preservation Office and the consultant hired to process the Historic District application. The team believed the Flycatcher was not listed as a historic property because the exterior had been significantly changed, but could not confirm this at the meeting.
- *Floodplain:* An attendee commented that the Project might be in the floodplain. The Project Team responded that it does not believe the Project sits in any established floodplain, including those denoted by FEMA. (After the meeting, the team confirmed that the Project is outside the FEMA floodplain.)

Union on 6th

Follow-up to Comments

The Project Team made several design and non-design changes to the Project based on feedback from the formal neighborhood meeting and subsequent meetings with stakeholders. The follow-up regarding non-design issues is still in process. This follow-up includes:

Design Changes

- Extend shade canopies along the 6th St. frontage.
- Add loading area on 5th Ave. street frontage.
- Improve design of residential entrance and commercial frontage on 5th Ave.
- Developed 4th Ave./6th St. frontage details to better respond to 4th Ave.'s commercial context including:
 - Steel window system / glass reduction at store fronts.
 - Raised wall / sill below glass windows and inset doors / entrances creating street level window display opportunities.
 - Tile palette to add character and allow for individual character for potential tenants.

Action Based on Non-design Issues

- Meet extensively with Fourth Ave. Merchants Association ("FAMA") regarding keeping local businesses in the Project's retail spaces.
- Meet with FAMA regarding parking issues in the area.
- Agree to limit hours of operation on residential terraces.
- Develop communications plan to work with neighbors during construction and opening.

UNION ON 6TH

IID Neighborhood Meeting

February 7, 2018



Meeting Agenda

Project Overview

- Location
- Project Goals & Statistics
- Historic & Non-historic Properties

Infill Incentive District Overview

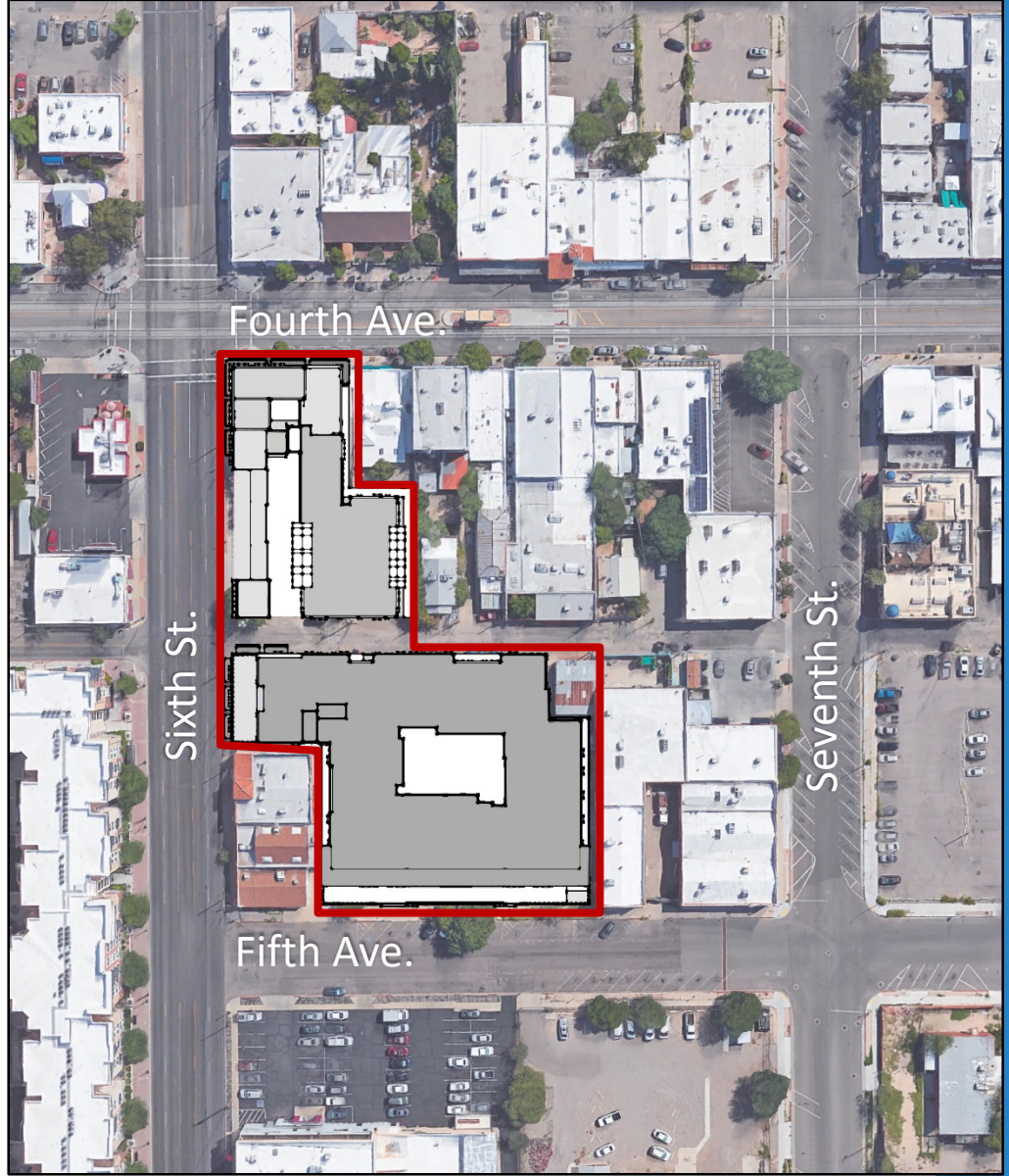
- IID & WTA/FAA
- Requested Modifications
- Design/Development Package Process

Site Plan Overview

Site Renderings

Question & Answer

Project Overview



Project Overview

Goals:

- Provide market rate, class A, multi-family residential dwelling opportunities along the Sun Link Streetcar route and the emerging Warehouse Triangle Area.
- Incorporate local retail and commercial opportunities along the street frontages – including Historic 4th Avenue.
- Create a sustainable, transit-oriented environment for future residents adjacent to commercial and entertainment opportunities.
- Incorporate the contributing Historic structure within the design and use.

Project Statistics

Residential Units

Commercial/Retail Space & Uses

Parking Spaces

Heights

Amenity Areas

Historic Properties



Infill Incentive District

INFILL INCENTIVE DISTRICT (IID)

- Optional overlay zone allowing certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.

WAREHOUSE TRIANGLE ARA (WTA)

- Development is intended to take advantage of the Modern Street Car, and promote high-density infill transit-oriented development.
- Development incentives for this zone include greater developable footprint and reduced parking requirements.

FOURTH AVENUE AREA (FAA)

- Development is intended to take advantage of the Modern Street Car, and promote medium-density infill transit-oriented development.
- Development is intended to preserve and/or maintain the historic character of the area while providing incentives such as reduced parking requirements.

Infill Incentive District

Requested modifications:

- Bicycle & Vehicle parking
- Individual Parking Plan
- Off-street loading
- Landscaping & Screening
- Pedestrian Access
- Solid waste collection
- Building “stepback” along Herbert – FAA
- Design Professional Modification Request

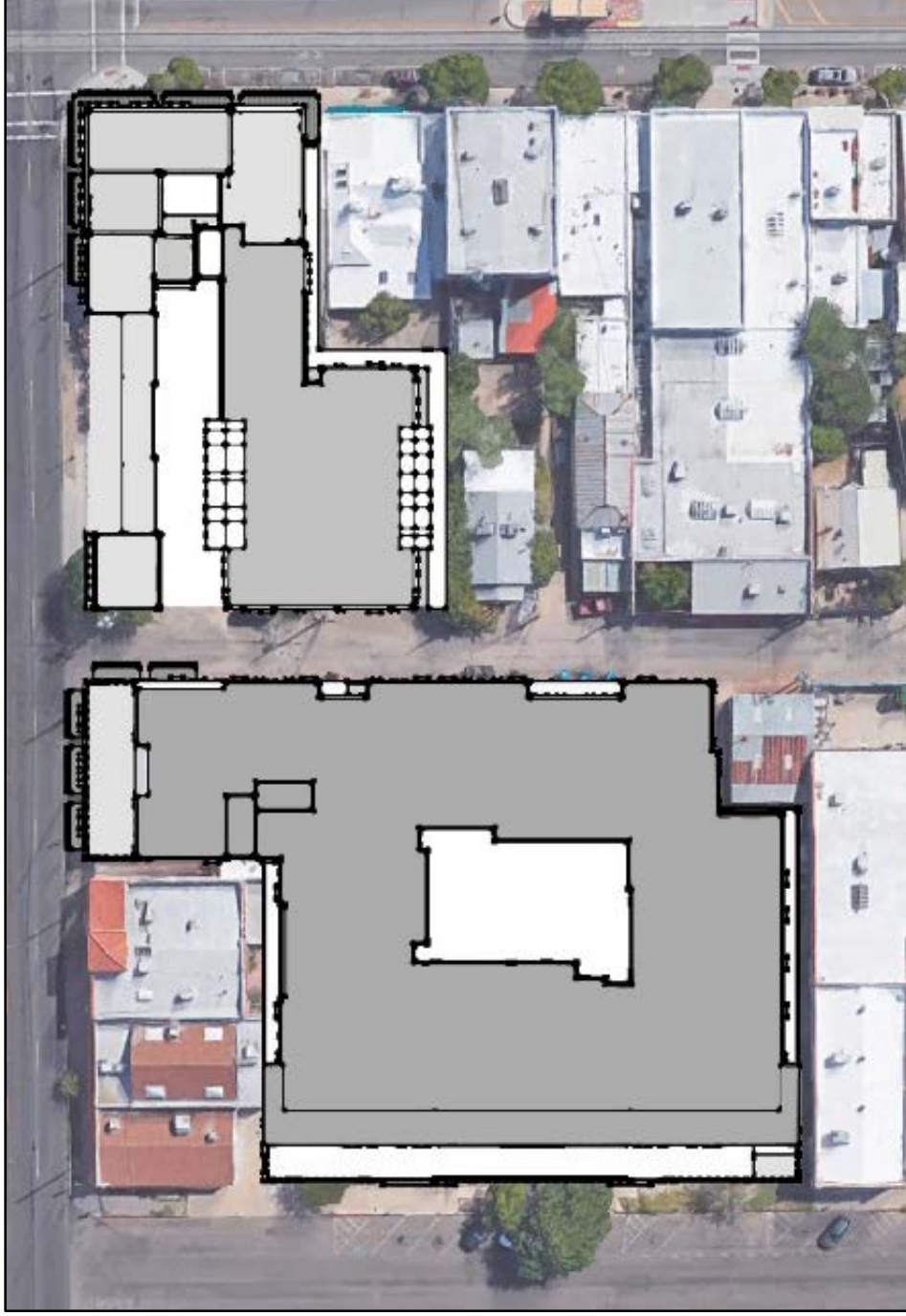
Infill Incentive District

Process (Major Design Review)

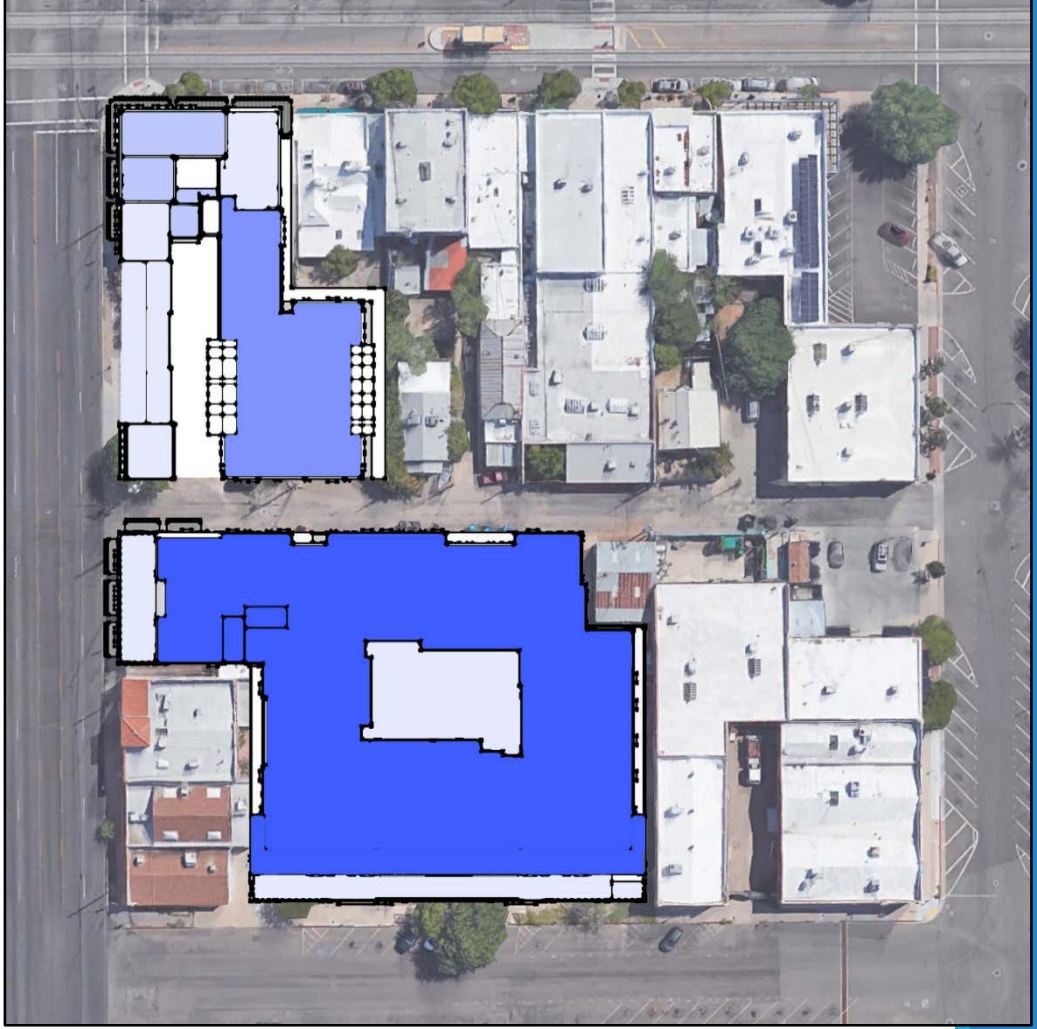
- Pre-application conference w/ City Staff and Design Professional
- Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
- Summarize Neighborhood Meeting and coordinate minutes.
- Submit Design Package to City Staff
- Tucson/Pima County Historical Commission Review & Recommendation
- Meet & review Design Package with Design Professional
- Design Review Committee Review & Recommendation
- Planning & Development Services Director – Review findings and issues DECISION



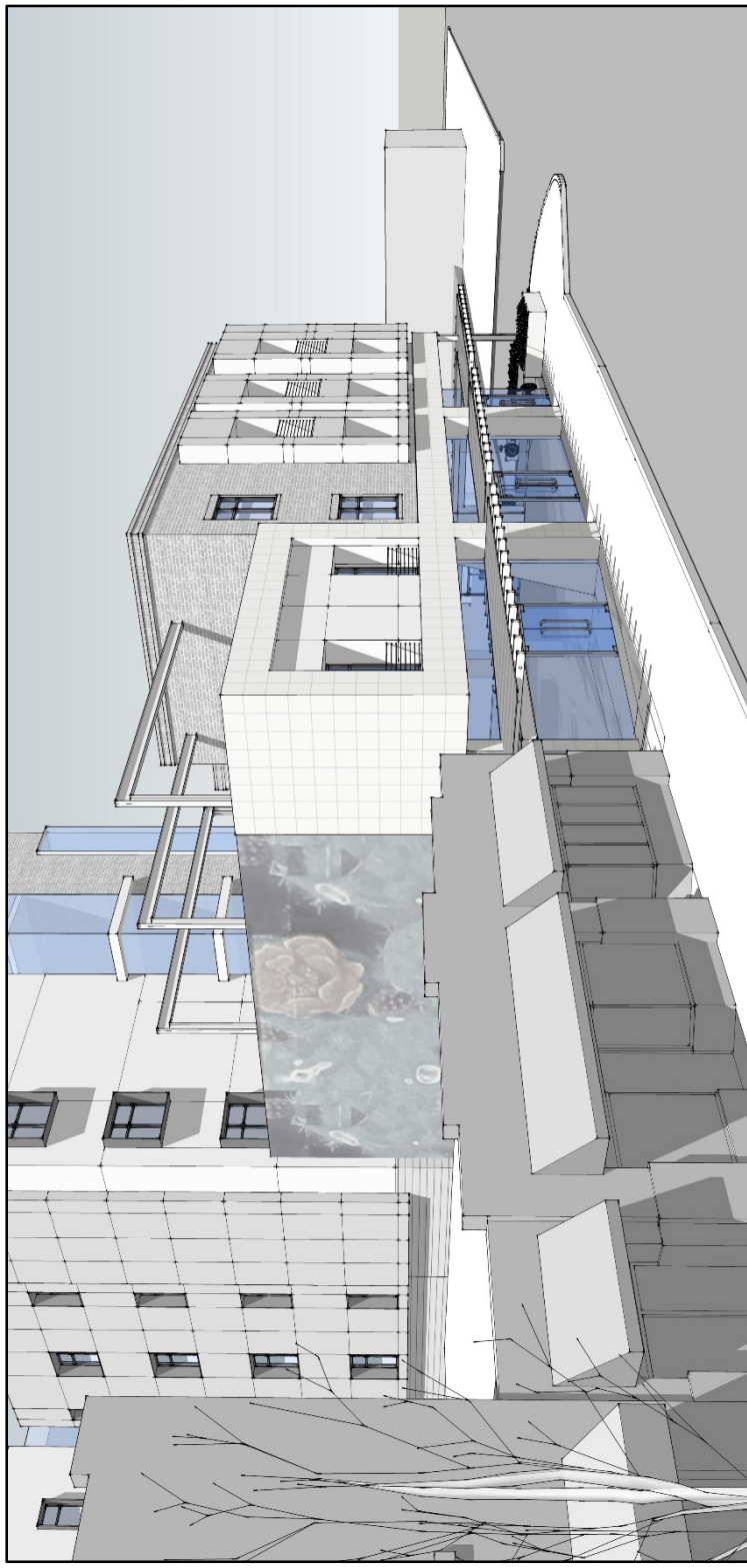
Project Site Plan



Project Site Plan - Heights



Project Renderings



Project Renderings



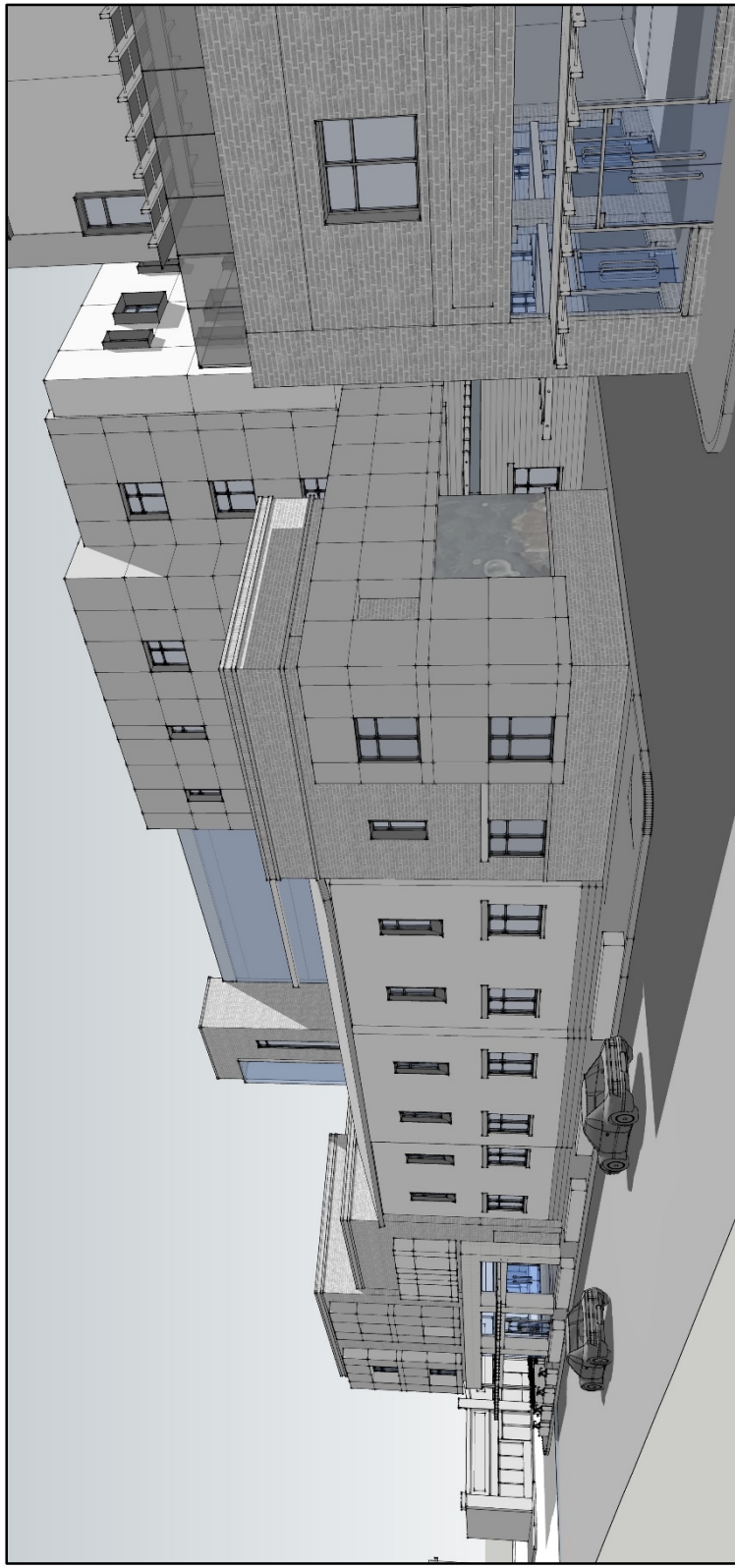
Project Renderings



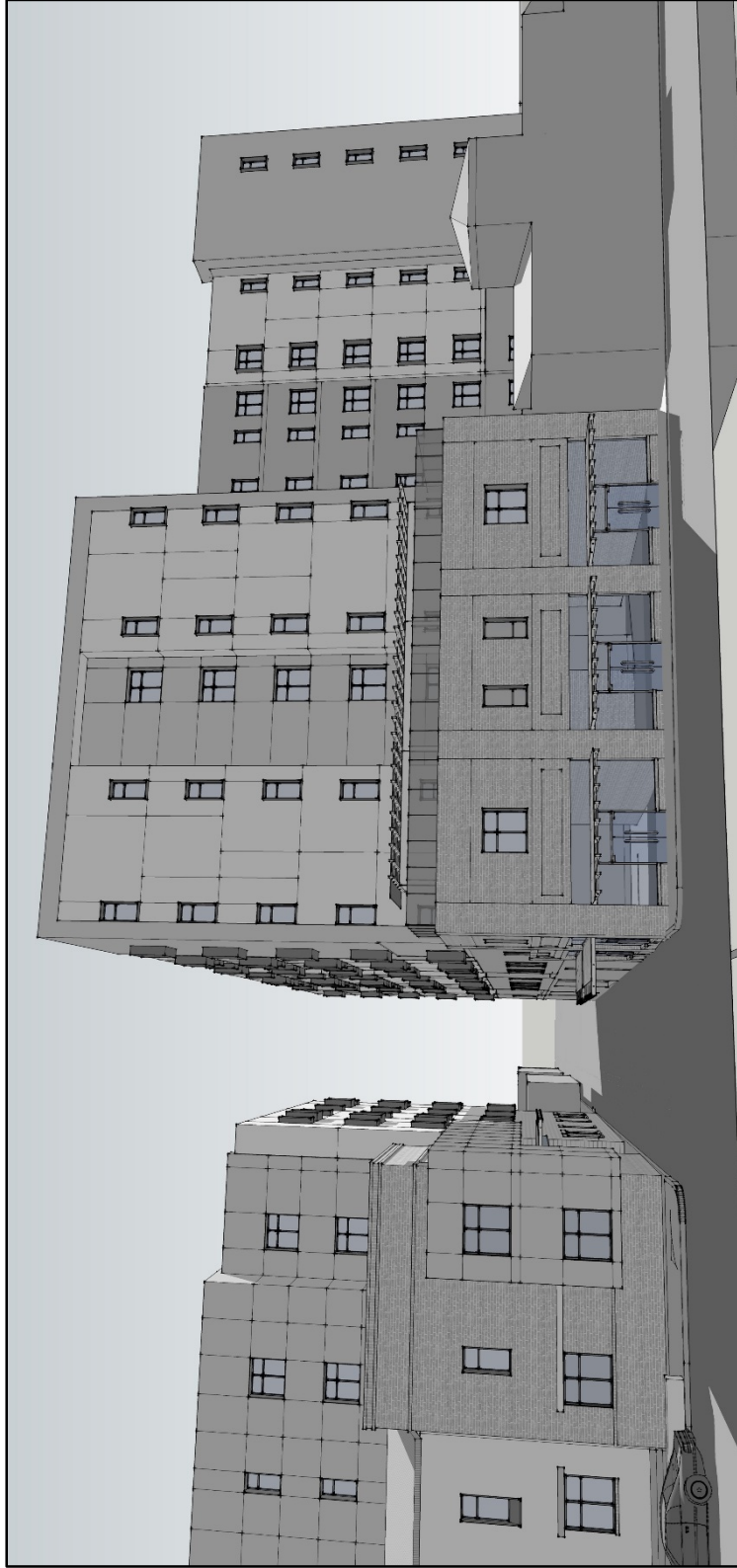
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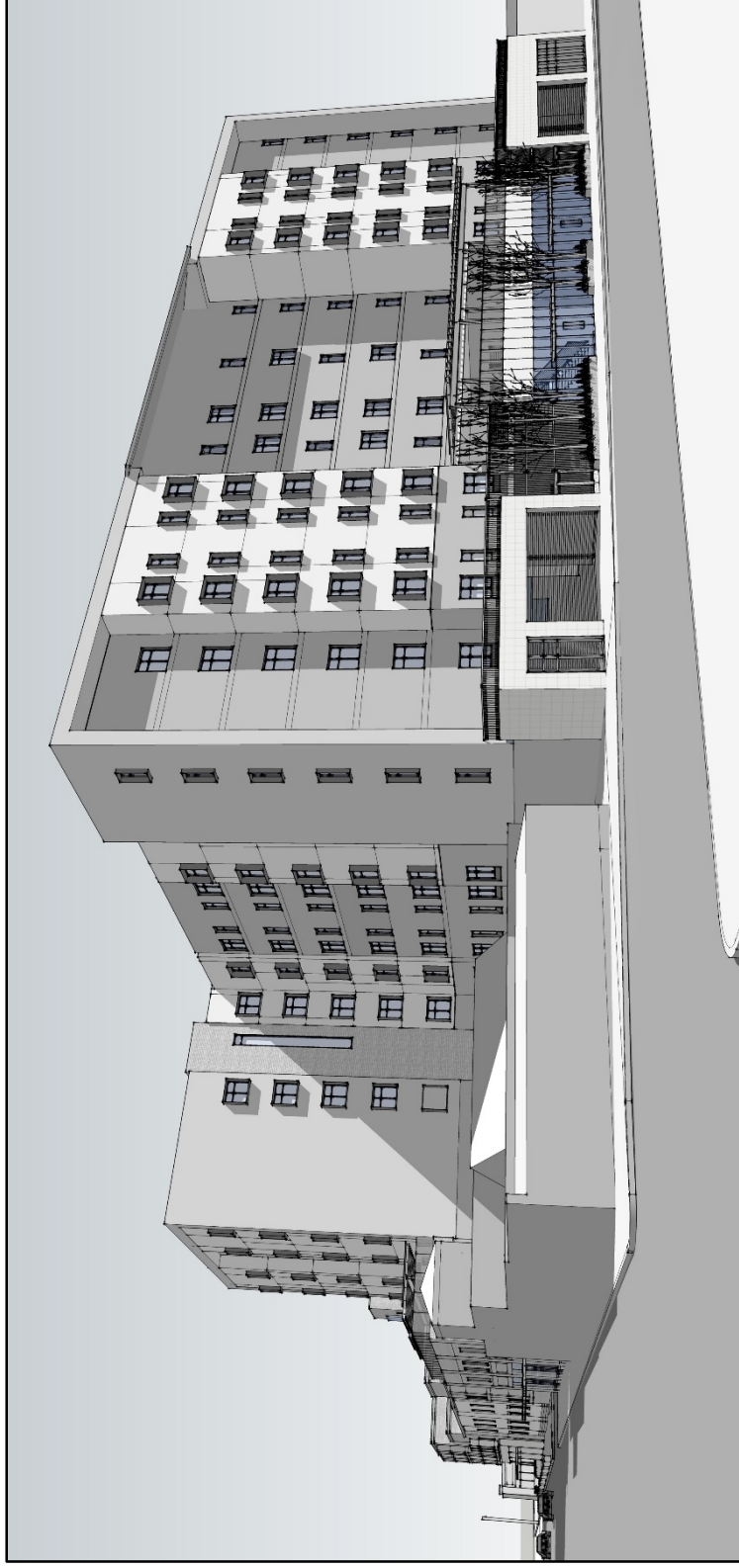
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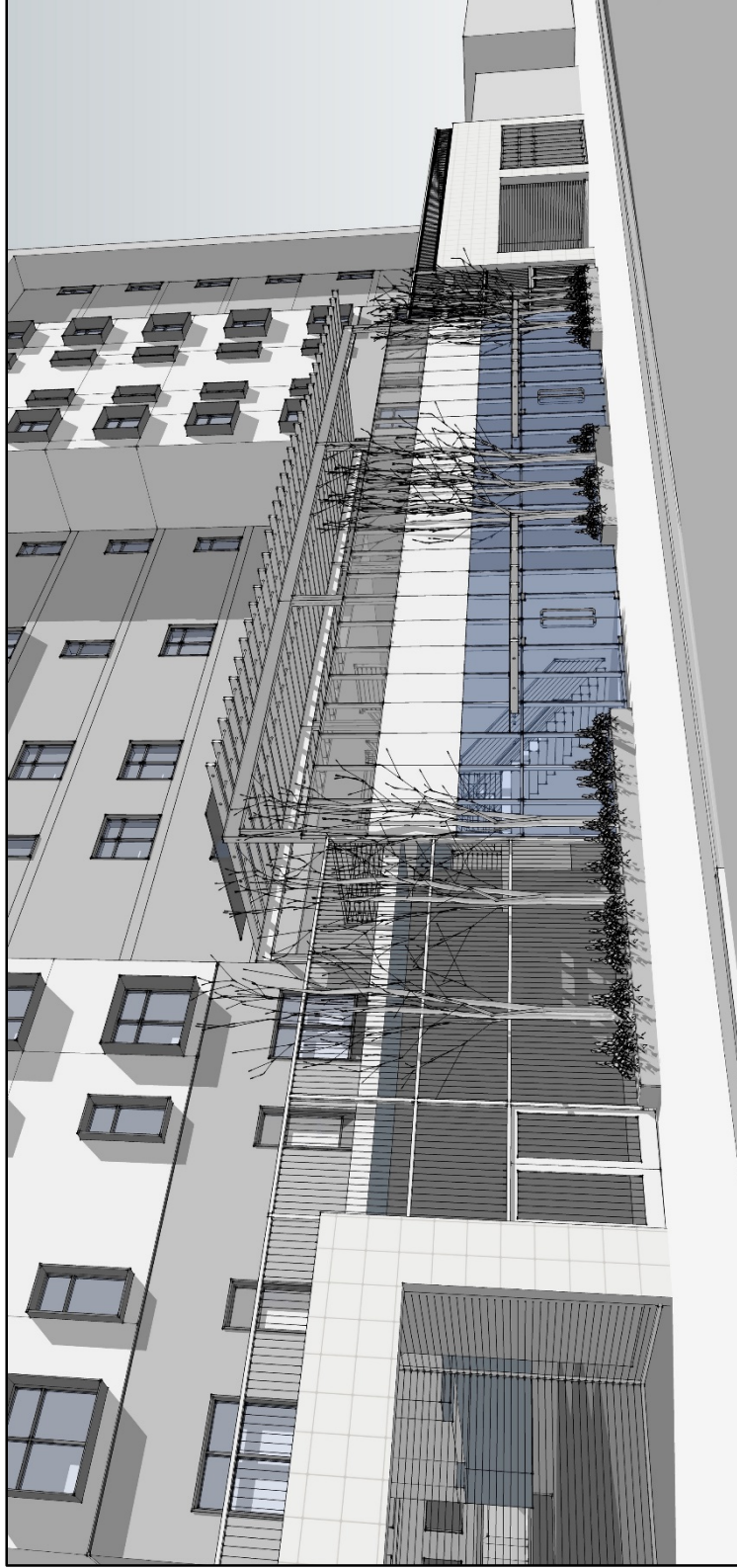
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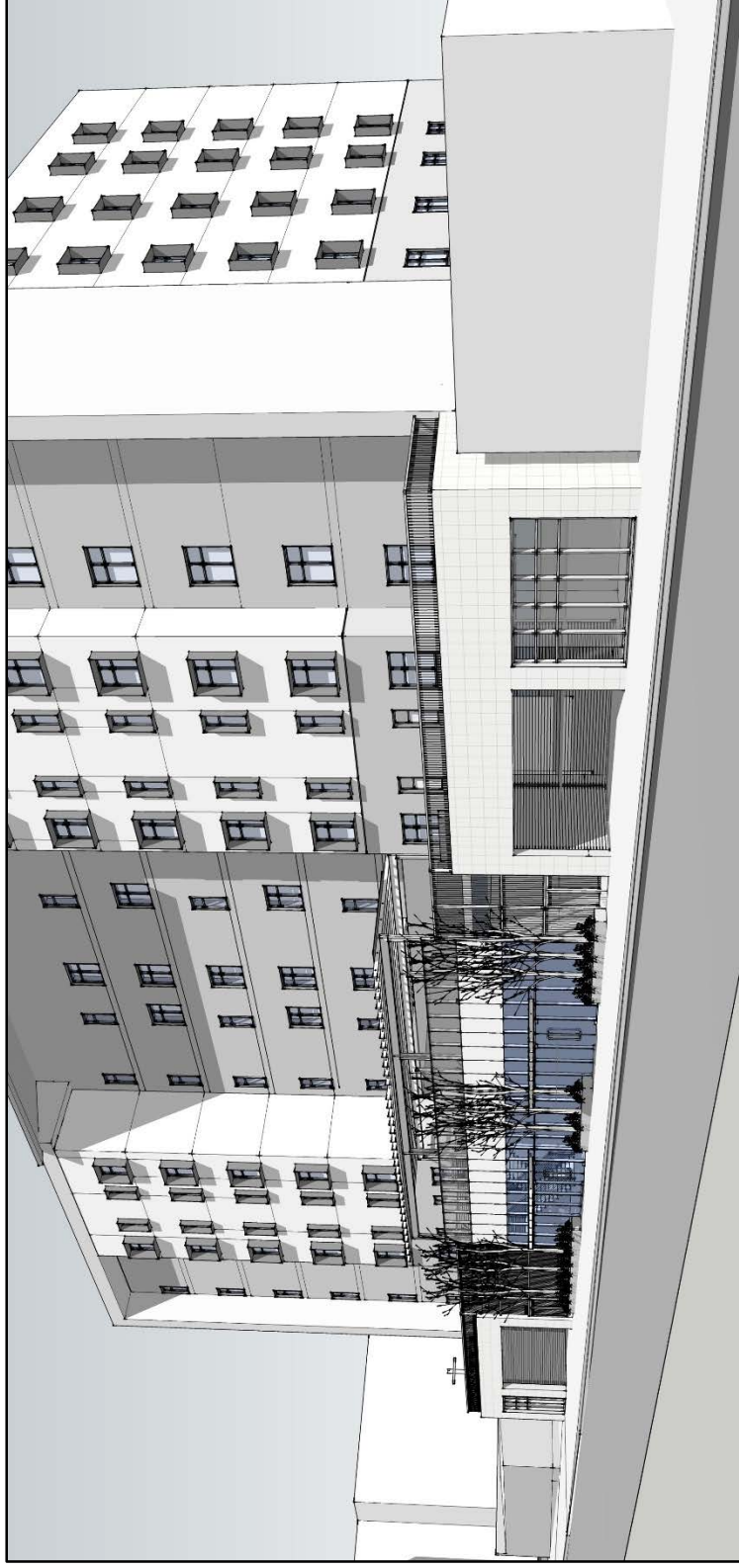
Project Renderings



Project Renderings



Project Renderings



Project Renderings



Project Renderings



Questions & Answers

Questions?

For follow-up questions, please contact:

- Matt Stuart – Cypress Civil Development
mstuart@cypresscivil.com | 520.499.2456
- Rory Juneman – Lazarus, Silvyn & Bangs P.C.
rjuneman@lsblandlaw.com | 520.207.4464

Thank you for coming!



22 January 2018

TO: Property Owners and Registered Neighborhood Association Leaders

RE: Use of the Infill Incentive District Optional Overlay (IID) – Union on 6th – 340 East 6th Street

Dear Neighbor:

We are holding a neighborhood meeting to discuss the proposed mixed-use/multi-family development at the southwest corner of 4th Ave. and 6th St. (340 E. 6th Street, the “Project”), aka the Union on 6th. The Project will use the Infill Incentive District Optional Overlay (“IID”) standards to redevelop the current infill property, and the Project will include approximately 253 residential units, along with ground-floor commercial/office uses and associated parking. We would like to invite you to attend the meeting, provide feedback, and ask any questions you may have regarding the Project and/or the use of the IID at this location.

The meeting will occur on:

Date: February 7, 2018
Time: 6:30pm to 8:00pm
Location: Trinity Presbyterian Church, Fellowship Hall
400 East University Boulevard
SE corner of E. University Boulevard and N. 4th Avenue

The purpose of this meeting will be to present the proposed development, explain relative Project details, its use of the IID, and hear your feedback on our proposal. We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written questions or comments to Rory Juneman or Matt Stuart (see contact information below) prior to or following the meeting. You may also provide comments to the City of Tucson’s Planning and Development Services staff by calling (520) 791-5550.

Our goal with this process is to answer your questions, respond to your feedback, and make every effort to become a welcomed future neighbor. If you have any questions about the neighborhood meeting or the Project, please do not hesitate to contact. We look forward to meeting with you personally.

Sincerely,

Cypress Civil Development



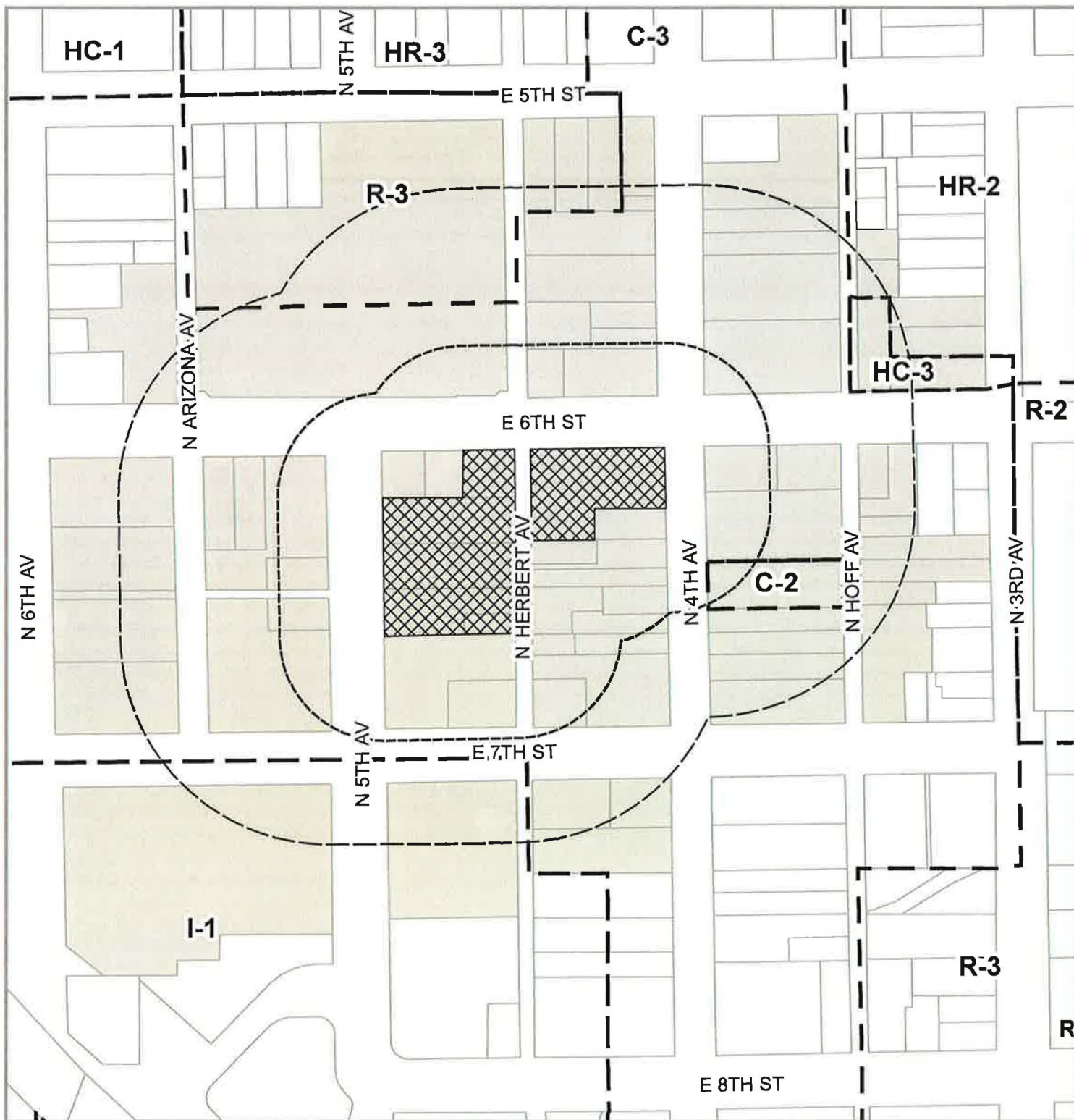
Matt Stuart
Project Manager
(520) 499-2456
mstuart@cypresscivil.com

Lazarus, Silvyn & Bangs, PC

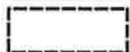


Rory Juneman
Attorney
(520)207-4464
rjuneman@lsblandlaw.com

T18PRE0006
Infill Incentive District - Major



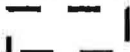
Subject Property



Protest Area (150-foot Radius)



Notification Area (300-foot Radius)



Zone Boundaries



Properties Notified

Address: 314, 316, 340 E. 6th St.
420, 422, 424 N. 5th Ave.

Base Maps: Twp.14S Range13E Sec. 12

Ward: 6

0 100 200 Feet

1 inch = 200 feet



DATE: 4/2/18

City of Tucson
Planning and Development Services
Rezoning Section
201 North Stone Avenue
PO Box 27210
Tucson, Arizona 85726-7210

SUBJECT: Neighborhood Mailing Certification

ACTIVITY NUMBER: DP18-0067

PROJECT LOCATION: 314 East 6th Street

This serves to place on record the fact that on 1/24/18, Matt Stuart,
(date) (name)
mailed notice of the Union on 6th neighborhood meeting such that the
notice was received at least ten (10) days prior to the date of the meeting.

Signature: Matt Stuart Date: 4-2-18

Attachment: Copy of mailing labels



Theresa Hadley
Notary Public

My Commission Expires: Feb. 8, 2021

SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ
85719-9998
0388970747
01/24/2018 (800)275-8777 1:15 PM

Product Description	Sale Qty	Final Price
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First-Class Mail Letter	1	\$0.50
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(Domestic)
(TUCSON, AZ 85705)
(Weight:0 Lb 0.30 Oz)
(Estimated Delivery Date)
(Friday 01/26/2018)

Certified	1	\$3.45
(@@USPS Certified Mail #) (7017066000009489283)		

First-Class Mail Letter	1	\$0.50
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(Domestic)
(NEW ORLEANS, LA 70116)
(Weight:0 Lb 0.30 Oz)
(Estimated Delivery Date)
(Saturday 01/27/2018)

Certified	1	\$3.45
(@@USPS Certified Mail #) (7017066000009489290)		

First-Class Mail Letter	1	\$0.50
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(Weight:0 Lb 0.30 Oz)
(Estimated Delivery Date)
(Friday 01/26/2018)

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First-Class Mail Letter	1	\$0.50
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(Weight:0 Lb 0.30 Oz)
(Estimated Delivery Date)
(Friday 01/26/2018)

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(@@USPS Certified Mail #) (7017066000009489313)		

First-Class Mail Letter	1	\$0.50
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(Weight:0 Lb 0.30 Oz)
(Estimated Delivery Date)
(Friday 01/26/2018)

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Certified	1	\$3.45
(@@USPS Certified Mail #) (7017066000009489900)		

Total		\$485.85
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Credit Card Remitd	\$485.85
(Card Name:VISA)	
(Account #:XXXXXXXXXX5992)	
(Approval #:024830)	
(Transaction #:974)	

Text your tracking number to 28777
(2USPS) to get the latest status.

Union on 6th – IID Project
Neighborhood Meeting Sign-in Sheet
February 7, 2018, 6:30pm

Name	Address	Phone	Email
Levi Koenen	4302 E. Poe 422-424 N. 4th Ave	520-237-4039	Levi.545454@AOL.com
Rick Champin	526 E. 9th Street	520-349-4511	rchampin@itcap.com
Teddy Mills	411 N. 4th Av	520-792-3715	trudy@attigonebooks.com
Mare Fink	2748 E. 9th St		MAF123@cox.net
Constance Negley	D+D Pinalall 334 E. 7th St Tucson, AZ 85705	240-0073	constance.negley@gmail.com (Email me info)
John Ferreira	422 N. HERBERT AVE	520-909-8960	jferros@cox.net
BERT KEMPFERT	8719 N. CAMPBELL AVE.		BKEMPFERT@GMAIL.COM
DAVID RICHARD SPREAD	62461-E. BRADWOOD	520-818-3449	DEBERTRICHLORA@GMAIL.COM
CORKY POSTER	1336 E. 12th ST.	520-861-6320	cposter@postboxprostitute.com
CHRIS GAWS	232 E. 5TH ST.	603-9783	CGAWS232@msn.com
Karen Gawe	1023 N Perry Ave	791-0345	Kgawe5050C@yahoo.com

[illegible]

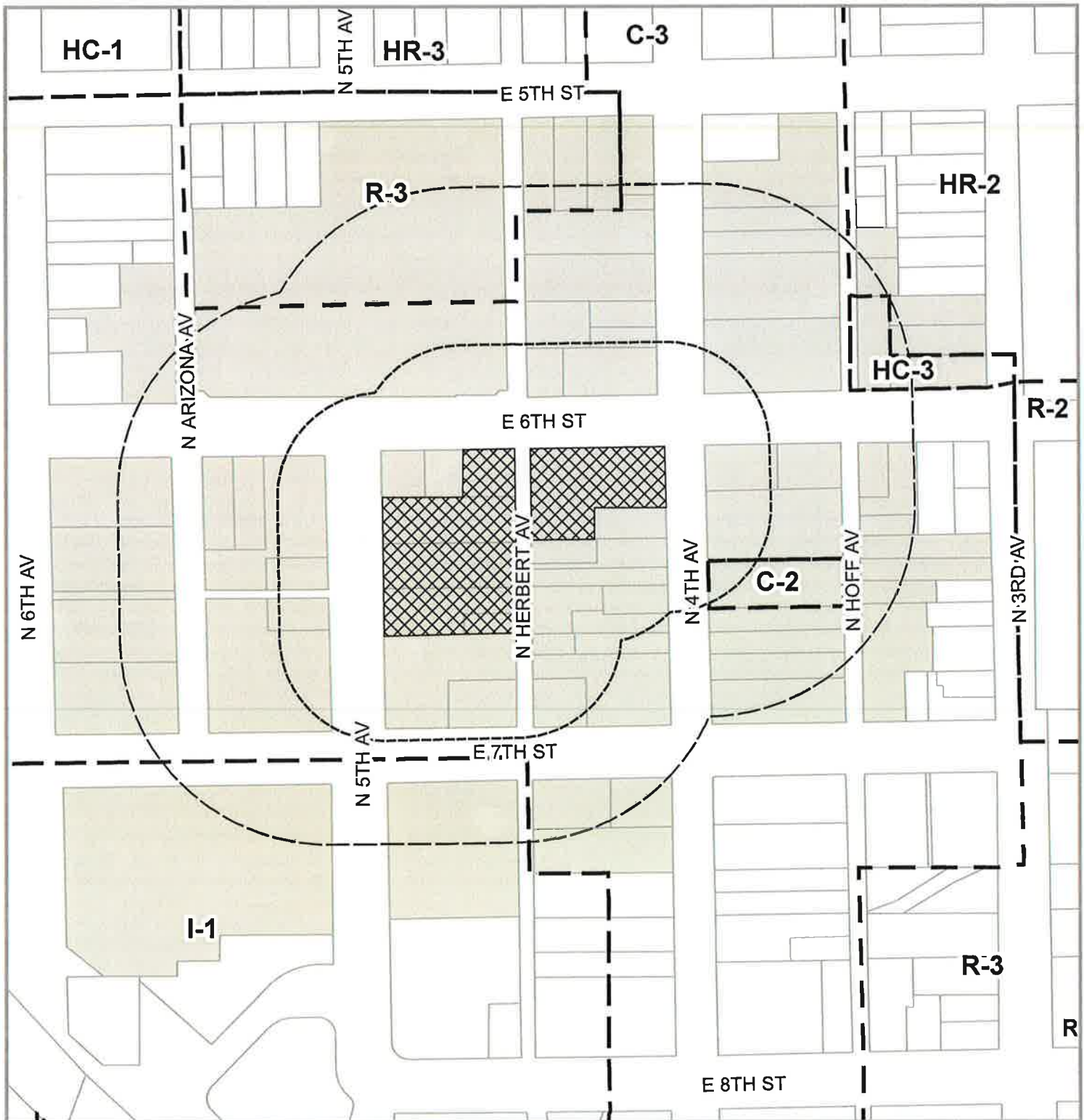
Union on 6th – IID Project
Neighborhood Meeting Sign-in Sheet
February 7, 2018, 6:30pm

Name	Address	Phone	Email
Lisa Agababian	826 E 5th Street Tucson AZ	520-603-1374	Lisa@FuchsiaDesigns.com
Alison Miller	3202 E 1st St	791-4601	alison.miller@tucsonaz.gov
Diana Amado	"	"	
Ron Kessler			RKESLER100@gmail.com
John Tatterson	720 E. Univ. Blvd	661-8742	jt7tsnjohn@yahoo.com
Fred Rinstadt	434 E 9th St	20624 5004	fred@earthlink.net
Bruce Hungate	501 N. 4th Ave	520-882-0953	bhungate@comcast.net
John C. Todd	4017 E, POE St Tucson AZ 85711	953 2878	
Natasha Winnik	101 W. 2nd Street Tucson AZ 85705		natasha@originateNBIM.com
John Burr	APWA PO Box 2132 85702		johnburr@hotmail.com

Union on 6th – IID Project
Neighborhood Meeting Sign-in Sheet
February 7, 2018, 6:30pm

Name	Address	Phone	Email
Henry & Bridget Wheahan	715 E. UNIVERSITY BLVD	520-90 520-205-2103	henryaw@gmail.com
Justin Melamarian	340 E 6 th ST.	(520) 904-7920	justinmelamarian@gmail.com
Benjamin Schneider	600 N. 4 th Ave	920 404-3818	benSSchneider@gmail
Richard Mayers	300 Ave buttons & knapsten	—	wuna.org@gmail.com
LES PIERCE	DNARL		les-p-hackenslash@yahoo.com
Ann Lovell	4729 E. Sunrise Dr #307 8578	.	ann@annlovel.com
Tom WARE	70 W. CUSHMAN ST TUCSON AZ 85701		INVESTMENTS@aol.com

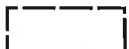
T18PRE0006
Infill Incentive District - Major



Subject Property



Protest Area (150-foot Radius)



Notification Area (300-foot Radius)



Zone Boundaries



Properties Notified

Address: 314, 316, 340 E. 6th St.
 420, 422, 424 N. 5th Ave.

Base Maps: Twp.14S Range13E Sec. 12

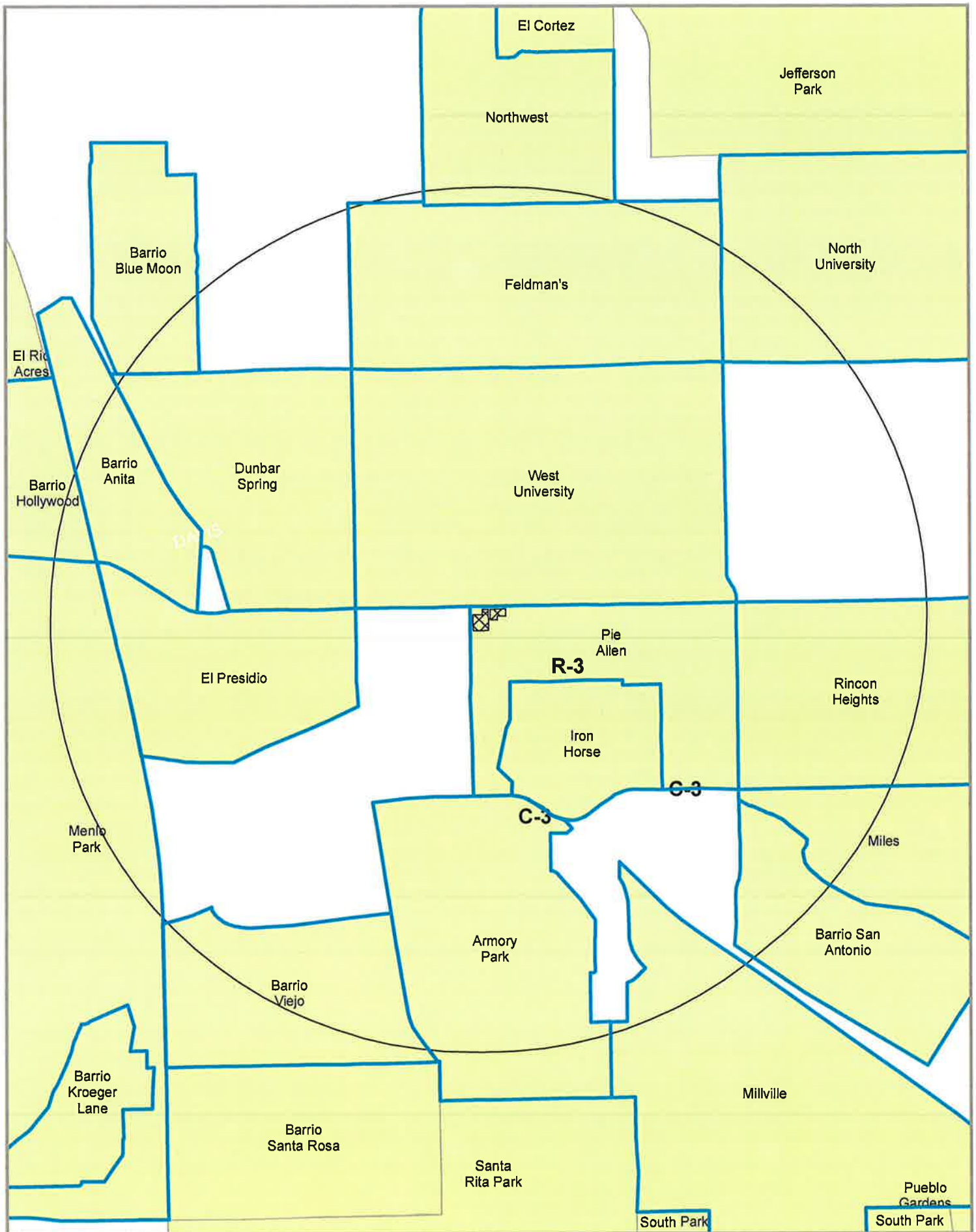
Ward: 6

0 100 200 Feet

1 inch = 200 feet



T18PRE0006
Infill Incentive District - Major



REQUEST FOR MAILING LABELS

Project Address 340, 316, 314 E 6th Street & 424, 422, 420 N 5th Avenue

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2030 E Speedway Blvd., Suite 110

Phone 520-499-2456



01/02/18

Applicant/Agent Signature

Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

☒ Assessor's Property Inquiry Printout (APIQ) ☒ Assessor's Block & Lot Map
(one printout for each lot included in the project)

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

☐ Environment Resource Zone ☐ WASH Ordinance
☐ Hillside Development Zone ☐ Scenic Corridor Zone
☐ Design Development Option ☐ Board of Adjustment
☐ Design Development Option (**Full Notice**) ☒ Other: IID - Major
☐ Rezoning/SE

PROCESSING FEE

☒ \$220.00 ☐ Check Number: _____ ☐ Cash

PAID - T17SA00486

☐ Charge Account: _____

Date Received: _____ Date Due: _____

Requested By: _____ Due To: _____

Request to: HS _____ GDS _____ SM _____ Other _____

Comments: _____

PROJECT SUMMARY/INTRODUCTION

UNION ON 6TH



Union on 6th

Project Summary

The Union on 6th (“Union” or “Project”) is an exciting mixed-use development that will bring much-needed multi-family apartments and new ground-level commercial to the heart of the Fourth Ave. Commercial District (the “Avenue”). Education Realty Trust, Inc. (“EdR”) is developing the Project, located between the southwest corner of 4th Ave./6th St. and the east side of 5th Ave. Union will add new residential density along the modern streetcar and is within walking/biking distance of numerous transit stops and businesses along the Avenue and downtown Tucson (“Downtown”). The Project’s retail component adds new commercial space to compliment the Avenue’s eclectic mix of retail, food and entertainment spaces.

The Union is the first IID development to add residential density and height along the Infill Incentive District’s (“IID”) Fourth Avenue or Warehouse Triangle Areas. EdR understands that development in these areas must seek to preserve the existing historic and cultural aspects of these areas while providing the much-needed residential density to Tucson’s urban core. EdR has designed the Project to strike this balance, and has engaged local consultants that are sensitive to the importance that Tucson places on this area.

EdR also has conducted extensive outreach to engage the surrounding stakeholders, including neighboring property owners, merchants and neighborhood associations. During numerous meetings with stakeholders, EdR has listened to their concerns and comments, and answered numerous questions. This application includes a summary of the outreach completed to date.

Property Overview

The Union, as shown here, fronts 4th Ave., 6th St., and 5th Ave. and straddles N. Herbert Ave. (“Herbert”). The Project area east of Herbert (“East Parcel”) is in the Fourth Ave. National Register Historic District, as well as in the IID Fourth Ave. Area. West of Herbert (“West Parcel”), the Project is in the Warehouse National Register Historic



District and the IID's Warehouse Triangle Area.

Proposed Development

EdR is constructing a mixed-use development with medium-density multi-family residential and ground-floor commercial. While the Project straddles Herbert, it will be developed as a single unified project. The East Parcel is prominently located at the intersection of 4th Ave. and 6th St., where the Project will place 3,800 sq. ft. (+/-) of new street-level commercial/retail space. Above this retail will be two-to-three stories of market-rate apartments. Stepping back from the Avenue, Union will include five stories of apartments. Across Herbert to the west will be 3,000 sq. ft. (+/-) of street-level commercial on 6th St. and 1,200 sq. ft. (+/-), with seven stories of market rate apartments above. Overall, the Project will:

- ♦ Provide 7,800 sq. ft. (+/-) of new ground-floor commercial/retail space along 4th Ave., 5th Ave., and 6th St.
- ♦ Place 254 (+/-) market-rate apartments near the Sun Link modern streetcar and four Sun Tran bus stops, allowing approximately 398 residents easy access to the Avenue, downtown Tucson and the University of Arizona.
- ♦ Maintain the existing historic contributing property within the Project.

EdR's target market for the Project is young professionals and graduate students who want to live near the Avenue, Downtown and the University of Arizona ("University"). The Project will benefit the area by adding almost 400 tenants that will frequent the Avenue's restaurants, bars, and retail businesses. The Union is designed as a transit-oriented development that will attract residents who will use multiple modes of transportation, including walking, biking, car-share, the Sun Link streetcar, and the Sun Tran bus system. The Project's unit mix will also attract a demographic looking for a professional urban lifestyle, as 90 percent of the units will be studio, one-bedroom, or two-bedroom units that are desirable to this target market.

The Project will also add 7,800 sq. ft. of new retail/commercial space on and around the Avenue. This new retail will complement the eclectic and historic street-front retail and restaurant spaces that is iconic in Tucson. EdR is committed to working with the Fourth Avenue Merchants Association on identifying local businesses that will enhance both the Project and the Avenue's current mix of businesses.

Developer Overview

EdR is a self-administered and self-managed real estate investment trust that is publically traded on the New York Stock Exchange (Ticker: EDR). Based in Memphis, TN, EdR owns, and manages medium-to-high density housing near college campuses throughout the country. Most of its developments are on or near college campuses, and many cater to undergraduates. In the last five years, EdR has diversified its multi-family housing portfolio

to include graduate students and young professionals that desire to live near universities and surrounding urban environments.

The Project is ideal for this target market due to its central location between the University and Downtown. The Project will rent by the residential unit, and will have 90 percent studio/one-bedroom and two-bedroom units that are particularly attractive to this demographic. As EdR currently owns and manages two other traditional student housing communities near the University, it has products appropriate for undergraduates. With the Union, EdR will diversify its apartment portfolio in Tucson and will be uniquely positioned to offer the next demographic of graduate students and young professionals the product and location they desire.

Project Team Overview

EdR recognizes the importance of using local consultants who know and understand the unique aspects of designing and building a project in Tucson. As a result, it has chosen the following team for the Project that is made up almost entirely local consultants:

Local Architect – a.23 Studios: Located in Tucson, Arizona, a.23 Studios was founded in 2009 with a commitment to grow with Tucson through architecture and design. a.23 Studios has deep local and national experience in office, retail, industrial, food service, hospitality, as well as multi-family and single family residential. Its current staff of 12 provides full architectural, interior design and site planning services and always brings fresh progressive thinking to every project.

Project Role: a.23 Studios is the lead design architect for the Project, is responsible for construction phase administration, and is working with the entire team on the IID entitlement process.

Architect of Record – VLFA: VLFA is a full capacity architecture firm with locations in Fort Collins, Colorado and Cheyenne, Wyoming. The firm offers comprehensive architectural services including architectural design, land planning, graphic design, and construction phase services. VLFA was founded in 1986 and grounds its practice on award-winning sustainable design.

Project Role: VLFA is the Project's architect of record, and will work with the design architect through the entitlement process while leading the efforts to produce the Project's construction documents.

Civil Engineer – Cypress Civil Development: Cypress is one of Tucson's most successful civil engineering firms, working throughout the region on projects in all areas of development. Their committed team of engineers and planners are dedicated to bringing clients' visions

to life while enforcing sustainable engineering practices in the spirit of creating long lasting developments.

Project Role: Cypress is the civil engineer for the Project, is coordinating the IID document submittal, and is working with the entire team on the IID entitlement process.

Land-use Attorney – Lazarus, Silvyn & Bangs: With over 40 years of combined experience, Lazarus, Silvyn & Bangs is one of the State of Arizona’s most respected land-use law firms. It has successfully established innovative methods to help its clients successfully navigate real estate opportunities and land-use challenges in both Phoenix and Tucson.

Project Role: LSB is leading the Project’s neighborhood outreach efforts, and is working with the entire team on the IID application submittal and entitlement process.

General Contractor – Sundt Construction: Since it moved to Tucson in 1930s, Sundt has been one of the Southwest’s most prominent construction companies. The 100 percent employee-owned company is consistently ranked among the 100 largest general contractors in the United States and was named the nation’s safest construction companies in 2006 and 2016. With offices throughout the greater Southwest, the company’s employee-owners are united around a single purpose: to build environments where our clients, employee-owners and communities prosper.

Project Role: Sundt is the general contractor for the Project, and will use local subcontractors whenever possible.

Project Scope of Work Questions

The IID application provides nine questions to help define a project’s scope of work. Below are the responses to the questions for the Union on 6th project (“Project”).

- 1. State the applicant’s intention to use the IID zoning option in lieu of existing underlying zoning.**

The applicant and property owners are choosing to develop the Project using the IID zoning option in lieu of the underlying zoning (C-3). The property owners’ authorizations are included with this application.

- 2. Describe how is the project is consistent with the IID purpose to create sustainable infill development.**

The IID's first purpose statement is to encourage sustainable infill development that supports the creation of urban neighborhoods that are pedestrian and transit-oriented and benefits the IID, the major activity centers in the area, and the City as a whole, while promoting compatibility with existing residential and non-residential properties and neighborhoods. UDC § 15.12.1.A. The Project fully meets this purpose statement for a variety of reasons.

The Project will contribute to the urban environment developing in and around the Fourth Ave. Commercial Historic District (the "Avenue"), downtown Tucson ("Downtown"), and the University of Arizona ("University"). The Project is a transit-oriented development ("TOD"), in that it is a mixed-use development with higher-density residential located near five transit stops (four bus stops and one streetcar stop). The Project design encourages residents to use multiple modes of transportation – walking, biking, transit, car shares – as alternatives to cars. It also provides multiple pedestrian exists to 6th St., 4th Ave. and 5th Ave., and has three separate areas of commercial space, all which encourages pedestrian activity along the streetscapes. Through a TOD design that encourages walking and biking (equaling fewer vehicle trips), the Project's will support the urban neighborhood developing in and around it.

The Project also is compatible with and will enhance these areas. By using the streets and sidewalks more, Project residents will activate the areas' streetscapes and frequent its local businesses (i.e., become new customers). The Project is designed as an urban market-rate apartment, including mostly studio, one- and two-bedroom units. The design is tailored to attract professionals and graduate students who want to live in an area close to the Avenue, Downtown and the University. As this demographic will live year-round and frequent the areas' businesses, they will contribute and enhance the area.

3. Describe the benefits the project will bring to the adjacent properties and the surrounding area.

The Project will bring much-needed market-rate apartments to the Avenue and Downtown areas where there currently are few apartment units and high demand. The Project's addition of 254 residential units will increase density in this area to help meet this demand. Each of those residents will also serve as transit riders, and customers to numerous businesses along the Avenue, Downtown and areas around the University. The Avenue, as well as the City's entire urban core will benefit from increases to residential density, as the new residents become new customers to the surrounding businesses.

The Project will also bring approximately 7,800 sq. ft. of new commercial space to the Avenue. The Avenue is an eclectic blend of historic retail spaces, and the Project's new retail space will provides a unique option for retailers who want to be on the Avenue. Adding diversity to the retail options will make the Avenue even more attractive to retailers than it is today.

The Project will also contribute significantly to Tucson's overall economy, especially during construction. EdR estimates the Project's construction costs at approximately \$42,000,000. Of this, approximately \$26,880,000 (or 80 percent) will go to local subcontractors. The Project also will generate approximately \$1,580,000 in State construction sales tax and \$670,000 in City construction sales tax, and approximately \$1.5 million in City development impact fees. Once opened, the Project will create at least 10 new jobs, not including the jobs created by the local retail spaces.

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.

The Project will not create any adverse nuisance effects to the adjacent properties. The Project's commercial space is set on currently busy street frontages, and its proposed retail/commercial uses will not create appreciable noise or odor. All retail space will be enclosed, therefore reducing noise. The Project will not contain a restaurant use that prepares food onsite, so there will be no grease trap or exhausts that produce odors. The Project's trash service (residential and commercial) will be fully enclosed in a trash compactor room, and only will be rolled to the Alley on trash day.

The Project's residential elements will also not create nuisance issues. The residential units will not have balconies, and windows will have limited openings. The two residential terraces will be designed to prevent access to the building's edge, and will control access to prevent late night/early morning use. The building will not contain significant glass elements on the upper floors, and therefore will not create glare. The Project has included a shade study with this IID application, showing insignificant impacts on the surrounding properties.

5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC Sec. 5.12.8.A).

The Project complies with the IID's Streetscape Design Standards as follows:

- *Architectural Elements*: The Project contains numerous architectural elements within the first two floors on all street frontages. The 4th Ave. frontage includes shade canopies, inset doorways, expanded glazing along the retail store fronts, and an angled storefront at the corner of 4th Ave. and 6th St. to allow for a pedestrian meeting space. Along 6th St., the shade canopies continue, as well as multiple façade treatments to differentiate the commercial from retail spaces. Along 5th Ave. is a combined retail and residential entrance area with expanded glazing and metal architectural elements to set it apart from the overall facade.

The second floor of the 5th Ave. street frontage also serves as a resident terrace that will activate the area.

In addition, all street frontages use a combination of materials and colors to enhance the design. These are found in the enclosed materials and color palette, and include metal, glass and stucco and tile elements. The wide variety of architectural elements throughout the Project's first two levels meets this IID standard.

- Glazing: The Project has 52 percent of glazing on the ground floor frontage, and therefore meets the IID standard of 50 percent.
- Façade Length: All façade planes have architectural elements spaced less than 50 ft. apart, thus meeting the IID standard.
- Entrance Doors: All main entrance doors to the Project are identifiable from the street and meet the IID standard. The entrances to the Project's 4th Ave. and 6th St. retail spaces are inset and lighted to accentuate them from the overall façade. The 5th Ave. retail and residential entrances are framed with floor to ceiling glazing and framed by a metal architectural feature, setting it apart from the other west façade elements.
- First Floor Commercial: The Project has commercial space at each of its three street frontages (4th Ave., 5th Ave. and 6th St.). Each of these commercial uses will encourage street-level pedestrian activity and therefore meet the IID standard.
- Sidewalks: All sidewalks constructed by the Project will comply with City standards and will maintain or increase the existing sidewalk widths.
- Shade: The Project provides shade on 81 percent of all sidewalks and pedestrian access paths as measured on June 21st at 2pm, thus exceeding the IID's minimum requirement of 50 percent (7,441 sq. ft. of total hardscape, 6,066 sq. ft. shaded). Shade is provided by a combination of building canopies, building shade and tree canopies.

6. Describe how the project will support a safe streetscape coordinated with adjoining properties.

The Project's streetscape will safely integrate with the existing 4th Ave. and 6th St. streetscape. The Project's 6th St. frontage includes raised planters and shade trees that will create a sense of separation between the pedestrian walkway and 6th St. vehicle traffic.

The planters will also discourage pedestrians from jaywalking across 6th St. by limiting access to the street. The Project will work to encourage pedestrians in the area to use the crosswalks at 6th St. and 4th Ave. to safely cross the streets. The Project will place the utility poles along 6th St. underground to provide additional pedestrian walking area.

The Project is especially mindful of the intersection of 6th St. and Herbert Ave. ("Alley"), which divides the Project. At the Alley entrance, the Project will include traffic calming devices and/or signage to slow vehicle traffic turning into the Alley to decrease conflicts with pedestrians. Further south in the Alley, the Project will have a crosswalk with traffic calming (likely lighting and raised crosswalk) to ensure the safety of the residents crossing the alley. As on 6th St., the Project will place utility poles in the Alley underground in the area adjacent to the Project.

The Project will integrate with the existing streetscapes along 4th Ave. and 5th Ave. Sidewalks widths will remain or be widened when possible, and landscaping will improve upon the existing pedestrian areas. When complete, the streetscapes adjacent to the Project will be significantly improved, enhancing a visible area within the Avenue.

7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).

There are two residential dwelling units near the Project. Both front the Alley and are south of the Project. The nearest dwelling unit is a duplex adjacent to the Project. The Project will include screening at the property line adjacent to the duplex, constructing it high enough to block first and second floor views from the Project onto the duplex. The screening will likely include a combination of block wall and metal screening to enhance the look of the area between the properties. The Project will consult with the adjacent neighboring property owner regarding this design.

8. Indicate whether the project will significantly impede solar energy options to adjacent properties.

The Project's shade study, included with this IID application, shows that the Project does not significantly impede solar energy options to a majority of the adjacent properties. Aerial photos show there currently are no solar arrays on the properties adjacent to the Project. For the future, the Project's shade has the following impact on surrounding properties:

- East across 4th Ave.: no shade on the roofs of the properties across 4th Ave. from the Project.

- North across 6th St.: no shade on the roofs of the properties across 6th St. from the Project, except in the winter afternoon.
- West across 5th Ave.: no shade on roofs of the adjacent properties.
- South of the Project: no shade on the roofs of the adjacent properties.

The only properties that will have reduced solar energy options will be the two parcels adjacent to the Project's northwest corner, 300 and 312 E. 6th St. The Project will cast shade during long periods of the day from fall through spring.

9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.

The Project will provide drought tolerant and native landscaping, as shown on the enclosed landscape plan. The Project landscaping is a key element to enhancing the look and feel of the streetscape and interior residential areas. This design is detailed in the enclosed landscape plan.

STAKEHOLDER OUTREACH SUMMARY

UNION ON 6TH



Union on 6th Stakeholder Outreach Summary

The Union is the first mixed-use, medium density residential project to be built in the IID's Fourth Avenue or Warehouse Triangle Areas. As the Project is bringing new housing and retail product onto the area, EdR has been sensitive to the concerns and questions of the area's stakeholders, including those that live, work and own property in the area ("Stakeholders").

To ensure open communication with the Stakeholders, EdR has conducted extensive outreach to the neighboring associations, property owners, and business owners. At each of these meetings, EdR representatives have provided an overview of the project, answered questions, and listened to feedback. While EdR will continue this outreach, below is a list of the outreach conducted to date:

Stakeholder Group	Date	Attendees	Description
FAMA and other area neighbors	11/15/2017	10	Initial meeting to introduce project to FAMA and other neighbors.
Del Sol meeting	1/10/2018	2	Present project to two owners of neighboring property (Del Sol).
WUNA Development Comm.	1/15/2018	4	Project overview to West University Neighborhood Assoc. ("WUNA") Development Committee.
Pie Allen Leadership	1/25/2018	1	Review Project with Pie Allen Neighborhood Association leadership.
Corbett Brewery Meeting	1/25/2018	1	Review Project with neighboring property owner.
Neighborhood Meeting	2/7/2018	45	Project official neighborhood meeting.
FAMA Mixer	2/13/2018	20	Attend FAMA mixer and answer questions about project.
Ward 6	2/22/2018	3	Review Project with Ward 6 Councilmember Steve Kozachik and staff.
Pop Cycle Meeting	2/27/2018	8	Review Project with neighboring property owners and merchants.
Park Tucson Committee	2/27/2018	15	Present Project to Park Tucson citizen committee.
Vint Architects meeting	3/1/2018	1	Meeting with neighboring tenant.
FAMA Board	3/20/2018	14	Present Project to FAMA board and meeting attendees.
Iron Horse NA Meeting	3/22/2018	20	Present Project at the Iron Horse Neighborhood Association monthly meeting.
FAMA/Local First Arizona Forum	3/30/2018	50+	Present project at forum held by FAMA.

INCENTIVE DISTRICT RESPONSE/MODIFICATION REQUESTS

UNION ON 6TH



Union on 6th

Scope of Work & Modification Requests

The following letter provides a description outlining the proposed scope of work for the UNION ON 6TH – mixed use/multi-family development as it relates to the Infill Incentive District (IID) overlay zone:

The Union on 6th development project is located at the southwest corner of 4th Avenue and 6th Street, and continues west across Herbert Avenue to 5th Avenue. The project is located within the 4th Avenue Sub-Area (FAS) and the Warehouse Triangle Sub-Area (WTA) of the Downtown Links Subdistrict (DLS) of the Infill Incentive District overlay zone (IID). This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DLS, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.11.C and Specific Standards as listed in Section 5.12.11.D;

Mixed Use – Multi-family & Retail Use

- 2) Downtown Links Roadway – Development prohibited within future right-of-way of the downtown links roadway project;

Not Applicable

- 3) Historic Properties, Landmarks, and Structures within the Infill Incentive District;

No demolition or alterations are proposed to a contributing, listed, or eligible to be listed structure within the development area.

- 4) Loading, Solid Waste, Landscaping and Screening for all Areas and Sub-Areas in the DLS;

The proposed uses do not require a loading zone per Section 7.5. On-site refuse collection seeks modification (see below), and a complete exception is requested to the Landscape & Screening requirements.

- 5) Parking Standards;

An Individual Parking Plan outlines the proposed parking modification request.

WAREHOUSE TRIANGLE SUB-AREA (WTA) MODIFICATION REQUESTS – WEST BUILDING:

1. Permitted Land Use Type:

Request: No modification requested, uses fall under Section 5.12.11.C & .D.

2. Permitted Building Height;

Request: No modification requested. The WTA allows uses building heights of up to 160 feet when setback appropriately (Table 5.12-WTA-2). This development seeks a maximum building height within the WTA of 86 feet.

3. Permitted Lot Coverage;

Request: No modification requested. The WTA allows 100% lot coverage (Table 5.12-WTA-3). Open Space is required for multi-unit dwellings at 30 square feet per dwelling unit or 30% of lot area (whichever is greater). Required Open Space = 12,365 square feet. Provided Open Space = 13,373 square feet.

4. Permitted Perimeter Yard;

Request: No modification requested. The WTA allows for 0-foot setbacks on all sides of the proposed development. The development does provide minimum 4' setbacks along property boundaries shared with existing buildings with 0-foot setbacks, to allow for access and maintenance of the exterior.

5. Permitted Off-Street Vehicle Parking;

Request: A modification request is sought. See Individual Parking Plan section for specifics. Required number of residential vehicular spaces is 1 space per dwelling unit. Total required is 254 vehicular spaces. Proposed number of vehicular spaces is 180 (for entire development, east & west buildings).

6. Permitted Bicycle Parking;

Request: No modification requested. The development exceeds the requirements of Section 7.4.8 and provides 58 short term and 254 long term bicycle parking opportunities within the development.

7. Permitted Solid Waste Collection;

Request: A modification request is sought. Per the Technical Standards Manual Section 8-01.5.0, enclosures are required with gates, leak proof containers stored within enclosure, and if used, a stationary compactor unit shall be screened from

adjacent properties and public right-of-way. This project seeks to utilize a compactor trash enclosure, located within the building footprint along Herbert Avenue, and screened from the right-of-way. In addition, trash pick-up will occur 7 days a week in order to ensure proper removal. It will also be the owners/management's responsibility to ensure bins are rolled into Herbert Avenue at scheduled pick-up times as determined by City of Tucson Environmental Services, and relocated within the building upon collection completion.

8. Permitted Landscaping and Screening;

Request: A modification request is sought. Per Table 5.12-DLS-2 A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSD Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers. The project proposes additional landscape/streetscape treatments appropriate for an urban mixed-use development along 5th Avenue, 6th Street, and 4th Avenue. The proposed streetscape will provide over 50% shading to the public sidewalk areas. See Interim Streetscape Policy and Shade Study.

9. Table 5.12-WTA-3, Pedestrian Easement;

Request: A modification request is sought. Per Table 5.12-WTA-3, a project developing 50% or more of a mid-block is required to set-aside a mid-block public pedestrian passage and easement approximately 30 feet wide. This mid-block easement must be at least 125 ft. from the north or south cross-street. The Project requests a development standard modification and waiver of this requirement through the Urban Design Best Practices Option as outlined in UDC § 5.12.11.B.5. Please note the Project will provide pedestrian passage for residents across the development site.

This request should be granted because this access easement will not improve public pedestrian circulation, which will flow to an alley, and the current pedestrian circulation distances are reasonable. This request is supported by best practices from another jurisdiction in the Southwest, as described below.

- Pedestrian Circulation: The pedestrian easement will not promote safe public circulation because it only connects 5th Ave. to an existing alley, and does not connect to another street. This project is unique in that it is located and subject to the design standards of two distinct sub-districts of the IID: Warehouse Triangle Sub-area (WTA) and Fourth Avenue Sub-area (FAS). Only the WTA has the public pedestrian easement requirement, and therefore only the Project's west side between 5th Ave. and Herbert Ave. is subject to the easement requirement. Moreover, the public easement will promote pedestrian traffic to Herbert Avenue, which is designed and operates as an alley, is only 26 ft. wide,

and has one-way vehicle traffic. In addition, the IID consistently classifies Herbert Ave. as an alley. See UDC §§ 5.12.13-14. Our research and discussions with City of Tucson staff indicate there are no future plans to improve Herbert Avenue adjacent to the Project to allow for proper right-of-way facilities that promote safe pedestrian accessibility. Encouraging pedestrian traffic through the use of a mid-block pedestrian passage to a right-of-way that functions as an alley will result in unsafe pedestrian circulation and increase the number of conflict points between pedestrian and vehicular traffic. Therefore we request a waiver from this pedestrian easement requirement.

Eliminating the pedestrian easement to Herbert Ave. is supported by a best practice from the City of Tempe, Arizona. The Tempe Zoning and Development Code (“Tempe Code”) requires pedestrian access ways “based on the likely use of the access way” (Sec. 4-503(D)(1)).¹ Here, Herbert Ave. is both designed and functions as an alley and is not likely to be used as a pedestrian access way. Based on the Tempe Code requirements, the Project should not be required to provide a pedestrian easement to an area that will be little used by the public.

- Current Circulation: The current pedestrian circulation distances around the Project are reasonable and should not require additional mid-block passages. The current distance between 4th Ave. and 5th Ave., and between 6th St. and 7th St. is approximately 400 ft., or less than one-tenth of a mile. In comparison, the Tempe Code requires pedestrian access ways in Commercial and Mixed-Use Zoning Districts for block lengths that exceed 600 linear feet (Sec. 4-503(D) citing Sec. 4-303(E)(1)).² Here, the pedestrian easement between 5th Ave. and Herbert Ave. would be approximately 200 linear ft. from 6th and 7th Streets, and the distance between those streets is only 400 ft. The Tempe Code, which requires pedestrian access at 600 ft., illustrates that eliminating the pedestrian easement requirement will still allow for a reasonable distance for pedestrian circulation between blocks.

¹ City of Tempe, Arizona – Zoning and Development Code, Section 4-503(D)(1). (Ord. No. 2005.81, 1-5-2006; Ord. No. 2006.82, 1-4-2007; Ord. No. 2014.72, 12-4-2014).

https://library.municode.com/az/tempe/codes/zoning_and_development_code?nodeId=ZONING_DEVELOPMENT_CODE_PT4_DEST_CH5_ACCI_S4-503PEBIACCIST

² City of Tempe, Arizona – Zoning and Development Code, Section 4-503(D) & Section 4-303(E)(1). (Ord. No. 2005.81, 1-5-2006; Ord. No. 2006.82, 1-4-2007; Ord. No. 2014.72, 12-4-2014).

https://library.municode.com/az/tempe/codes/zoning_and_development_code?nodeId=ZONING_DEVELOPMENT_CODE_PT4_DEST_CH3_PUIN_S4-303TRIM

FOURTH AVENUE SUB-AREA (FAS) MODIFICATION REQUESTS – EAST BUILDING:

1. Permitted Land Use Type:

Request: No modification requested, uses fall under Section 5.12.11.C & .D.

2. Permitted Building Height;

Request: A modification request for step-back relief only is sought based on Urban Design Best Practices Option as outlined in UDC Section 5.12.11.B.5. The IID-FAS requires a 50 ft. step-back from the Project's property line (see Figure 5.12-FAS-B and Table 5.12-FAS-2). The Project meets this requirement for its north, east, and south sides. On the Project's west side, the FAS requires the Project step-back 50 ft. above three stories (30 ft.) and adjacent to the alley. The Project request a waiver of the west side step-back requirement and allow for a five story (60-feet) building height adjacent to the alley/west property boundary

This request should be granted because the Project's location and design eliminate the underlying purpose of the step-back. The step-back requirement is designed to reduce the building massing as it approaches a lower intensity use on the adjacent right-of-way. Along 4th Ave. and 6th St., the step-back is appropriate because it maintains the pedestrian scale of the streetscapes by placing the building massing far from the active pedestrian area. On the Project's west side the adjacent right-of-way is Herbert Ave., which is designed and functions as an alley with little pedestrian traffic (see UDC §§ 5.12.13-14, classifying Herbert Ave. as an alley). As Herbert Ave. is not a pedestrian activity center, the step-back will provide no benefit and should be eliminated.

Furthermore, the step-back requirement for the Project's west side did not contemplate a project that straddles Herbert Ave. and extends into the WTA. The WTA allows for building heights of up to 160 feet and does not require a step-back along the Herbert Ave. alley. This request will make the step-back requirements for the Project consistent along both sides of Herbert Ave.

Eliminating the step-back along Herbert Ave. is supported by best practices from several southwest cities. First, the City's IID supports this, as the WTA does not require a step-back along Herbert Ave., as described above. In addition, the following code sections from other cities support this request:

- Phoenix, Arizona: The City of Phoenix Zoning Ordinance ("Phoenix Code") provides an overlay zone for Transit-Oriented development projects along the Central Phoenix/East Valley (CP/EV) Light Rail Corridor. Table 1 outlines the

specific street and interior setbacks related to a development project.³ As noted in the tables below, the Phoenix Code requires interior setbacks at certain building height intervals (setbacks above grade equate to step-backs). However, where a building abuts a commercial zone, no building step-back is required (see far right column below). Here, the Project is within and adjacent to a C-3 zone, and under the Phoenix Code would not require any building step-backs, including adjacent to the alley. Therefore, the Phoenix Code supports this modification request to eliminate the step-back next to Herbert Ave.

TABLE 1:
STANDARDS TOD-1 SETBACKS
STREET SETBACKS

Distance From Station	Max. Building Setback
0—1,000 feet	6 feet
1,000—2,000 feet	12 feet

Where A Site Boundary Abuts Any of The Following Districts:

Building height*	S-1, S-2, RE-43, RE-34, RE-24, R1-14, R1-18, R1-10, R1-8, R1-6, R-2, PAD 1-11	R-3, R-3A, R-4, R-4A, R-5, R-O, MUA, PAD 12-15	CO, CO/GO, CO/MO, PSC, RSC, DC, GC, RH, UR, C-1, C-2, C-3 A-1, A-2, CP, Ind. Pk., P-1, P-2
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Interior Setbacks

0—30'	30'	10'	0'
30+—45'	45'	10'	0'
45+—60'	60'	20'	0'
60+ and above	75'	30' plus 1' setback for each 2' in height increase, up to 75' setback	0'

- Tempe, Arizona: The City of Tempe, Arizona Zoning and Development Code (“Tempe Code”) requires a building to provide a step-back when adjacent to a single-family or multi-family zoning district. However, the building step-back requirement is not applicable to commercial zoning districts that abut, and/or are separated by an alley, to another commercial district (Sec. 4-404).⁴ Here, the

³ City of Phoenix, Arizona Zoning Ordinance – Chapter 6 Zoning Districts – 662 Interim Transit-Oriented Zoning Overlay District One (TOD-1). Ordinance G-6409, passed January 24, 2018.

<http://www.codepublishing.com/AZ/Phoenix/?PhoenixZ06/PhoenixZ0662.html#662>

⁴ City of Tempe, Arizona – Zoning and Development Code, Section 4-404. (Ord. No. 2005.81, 1-5-2006; Ord. No. 2006.82, 1-4-2007; Ord. No. 2014.72, 12-4-2014).

https://library.municode.com/az/tempe/codes/zoning_and_development_code?nodeId=ZONING_DEVELOPMENT_CODE_PT4_DEST_CH4_BUDE_S4-404BUHESTCK

Project is within and adjacent to a C-3 zone, and under the Tempe Code would not require any building step-backs, including adjacent to the alley. Therefore, the Tempe Code supports this modification request to eliminate the step-back next to Herbert Ave.

- Austin, Texas: The City of Austin Land Development Code (“Austin Code”), provides for a University Neighborhood Overlay District (“UNOD”) that is similar in nature and in location to the IID and the FAS. This district requires a building facing a street, other than an alley, to have a 12 foot building step-back above 65 feet in height (§ 25-2-758(B)).⁵ Here, the Project is requesting to eliminate a step-back adjacent to the Herbert Ave. alley. In addition, the Project is within the FAS that has a maximum building height of 60 feet. The Austin Code supports eliminating the step-back adjacent to Herbert Ave. for two reasons. First, the Austin Code exempts buildings adjacent to alleys in the UNOD from its step-back requirements, and therefore would eliminate the Project’s step-back requirement next to Herbert Ave. Second, the Austin Code requires that step-backs begin at 65 ft. As the Project’s total height in the FAS is 60 ft., it would not be subject to a step-back under the Austin Code.

3. Permitted Lot Coverage;

Request: No modification requested. The FAS allows 100% lot coverage (Table 5.12-FAS-3). Open Space is required for multi-unit dwellings at 30 square feet per dwelling unit or 30% of lot area (whichever is greater). Required Open Space = 6,043 square feet. Provided Open Space = 6,598 square feet.

4. Permitted Perimeter Yard;

Request: No modification requested. The FAS allows for 0-foot setbacks on all sides of the proposed development. The development does provide minimum 4’ setbacks along property boundaries shared with existing buildings with 0-foot setbacks, to allow for access and maintenance of the exterior.

5. Permitted Off-Street Vehicle Parking;

Request: A modification request is sought. See Individual Parking Plan section for specifics. Required number of residential vehicular spaces is 1 space per dwelling

⁵ City of Austin, Texas – Code of Ordinances, Title 25. Land Development, Chapter 25-2. Zoning, Subchapter C. Use and Development Regulations, Article 3. Additional Requirement for Certain Districts, Division 9. University Neighborhood Overlay District Requirements, § 25-2-758. Building Wall Height, Stepbacks, and Envelope. Ord. 040902-58.
https://library.municode.com/tx/austin/codes/code_of_ordinances?nodeId=TIT25LADE_CH25-2ZO_SUBCHAPTER_CUSDERE_ART3ADRECEDI_DIV9UNNEOVDIRE_S25-2-758BUWAHESTEN

unit. Total required is 254 vehicular spaces. Proposed number of vehicular spaces is 180 (for entire development, east & west buildings).

6. Permitted Bicycle Parking;

Request: No modification requested. The development exceeds the requirements of Section 7.4.8 and provides 58 short term and 254 long term bicycle parking opportunities within the development.

7. Permitted Solid Waste Collection;

Request: A modification request is sought. Per the Technical Standards Manual Section 8-01.5.0, enclosures are required with gates, leak proof containers stored within enclosure, and if used, a stationary compactor unit shall be screened from adjacent properties and public right-of-way. This project seeks to utilize a compactor trash enclosure, located within the building footprint along Herbert Avenue, and screened from the right-of-way. In addition, trash pick-up will occur 7 days a week in order to ensure proper removal. It will also be the owners/managements responsibility to ensure bins are rolled into Herbert Avenue at scheduled pick-up times as determined by City of Tucson Environmental Services, and relocated within the building upon collection completion.

8. Permitted Landscaping and Screening;

Request: A modification request is sought. Per Table 5.12-DLS-2 A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSO Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers. The project proposes additional landscape/streetscape treatments appropriate for an urban mixed-use development along 5th Avenue, 6th Street, and 4th Avenue. The proposed streetscape will provide over 50% shading to the public sidewalk areas. See Interim Streetscape Policy and Shade Study.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole.

DEVELOPMENT PLAN REVIEW COMMENTS

UNION ON 6TH



Permit Review Details

Permit Detail
Permit: DP18-0067 Parcel: 117050340
Addresses: 314 E 6TH ST

Review Status: **Completed**

Review Details						
Show 50 ▼ entries		Search: <input type="text"/>				
Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment	
3/29/2018	KELLY LEE	START	PLANS SUBMITTED	Completed	None	
3/29/2018	KELLY LEE	UTILITIES	SOUTHWEST GAS	Passed	Agency notified for information only.	
3/29/2018	KELLY LEE	OTHER AGENCIES	PIMA ASSN OF GOVTS	Passed	Agency notified for information only.	
3/29/2018	KELLY LEE	OTHER AGENCIES	U. S. POST OFFICE	Passed	Agency notified for information only.	

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/9/2018	CLAURIE1	DESIGN PROFESSIONAL	REVIEW	Denied	DATE: April 26, 2018 TO: Carolyn Laurie, Principal Planner Development Services Department, City of Tucson Alexandra Hines, AICP Lead Planner at Planning and Development Services, City of Tucson FROM: Corky Poster, Architect (#10611) and Planner (AICP) COT On-Call Design Professional RE: 340 East 6th Street, The Union on 6th, IID-15-01 I have reviewed the Development Package for Union on 6th Street with Professional seals dated 3-18-18 and 3-20-18, 30 sheets, for the purpose of determining its conformance with the Submittal requirements of the IID. My review is only for information presented using only the IID as the evaluation criteria. No other City of Tucson Development Standrads were used. That, I assume is the province of others. 1 & 2 of 30: If the Architect listed is Vaught Frye Larson Architects, why has our interaction been with a23 Studios? Who will be the architect of record? Who is the project design architect? What will be lost in communication in the hand-off from a23 to VFLA? 3 & 4 of 30: Section 5.12.8 of the IID A. 1 f. requires that the sidewalks are done in compliance with the City's Streetscape Design Manual. What is the net width of the sidewalk on 6th Street? The required pedestrian 30' pedestrian easement going from 5th Avenue to Herbert is not provided. (See Table 5.12-WTA-3, 8, K). This will be subject to further studies and best practices discussion. There is what appears to be a pedestrian connection between Herbert and 4th Avenue, ranging from 4.9' to 7.2'. This is not required as per IID. How will it function? How will access be limited? It appears to be a potential accumulator of debris or a possibly unsafe path for pedestrians with no easy exit in dangerous situations. 5 & 6 of 30: No comment other than the total parking spaces does not equal the total number of units as required by the IID for residential development. 7 & 8 of 30: No additional comments. 9 & 10 of 30: No additional comments. 11 & 12 of 30: No additional comments. 13 & 14 of 30: Net sidewalk dimensions still missing here. 15 & 16 of 30: Net sidewalk dimensions still missing here. 17 & 18 of 30: Section 5.12.8 of the IID A.2.a requires 50% shade cover. The canopies shown appear to meet or exceed this standard. 19 & 20 of 30: No additional comments. 21 & 22 of 30: No additional comments. 23 of 30: No additional comments. 24 of 30: The preference for Retail Trade uses at street level is only partially met. Table 5.12-FAS-2 suggests that only a lack of market demand would justify not providing such uses also contingent on meeting all other requirements of the table. Please explain why the 2/3 of the 6th Street frontage between Herbert and 4th Avenue is not street activity retail or other type of public use. 25 of 30: No additional comments. 26 of 30: No additional comments. 27-30 of 30: The required upper massing setback of 50' along the east side of Herbert in the Fourth Avenue Sub-Area (FAS) of the Downtown Links of the IID (E in Table 5.12-FAS-2) is not provided. This will be subject to further studies and best practices discussion.
4/18/2018	GARY WITTWER	DOT LANDSCAPE	REVIEW	Reqs Change	1. Brick Paving in heavy pedestrian areas. The City has moved away from pavers in the main pedestrian areas due to tripping hazard liability and maintenance. Pavers could be accepted if placed on a concrete sub-base. Pavers may not be the look that will blend with 4th Ave. 2. Tree planting on 6th St. While we do have tree planting right back of curb in the downtown areas, they usually have a parking buffer before the travel lane. We need to have a setback when this close to the travel lanes. 3. Raised planters on 6th St. We need to have at least a 12" setback off curb. 4. Plant materials close to peds. If I'm reading the planting plan correctly - the ocotillo are too close to the ped path. Hard to read the smaller plant materials. 5. The irrigation plan needs to follow all the standard rules. No mainline, no RCV and no controllers in ROW. Gary

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/23/2018	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Needs Review	<p>April 23, 2018 ACTIVITY NUMBER: DP18-0067 PROJECT NAME: Union on 6th PROJECT ADDRESS: 314 E 6th Street PROJECT REVIEWER: Zelin Canchola TDOT</p> <p>Resubmittal Required: The following items must be revised or added to the Development package.</p> <p>1. A Traffic Impact analysis is required to determine any transportation improvements or traffic mitigation measures.</p> <p>If you have any questions, I can be reached at 520 837 6659 or zelin.canchola@tucsonaz.gov</p>
4/23/2018	MARTIN BROWN	COT NON-DSD	FIRE	Reqs Change	<p>Please indicate on plans locations of existing and/or proposed fire hydrants. Refer to 2012 International Fire Code, section 507.5 for guidance. Confirm with Tucson Water a backflow preventer for the 6" fire line is required for this project. Not required by Tucson Fire.</p>
4/25/2018	ALEXANDRA HINES	COT NON-DSD	PARKS & RECREATION	Approved	<p>No existing or proposed Tucson Parks and Recreation facilities are affected by this development.</p> <p>Howard B. Dutt, RLA</p> <p>Landscape Architect Tucson Parks & Recreation (520) 837-8040</p> <p>Howard.Dutt@tucsonaz.gov</p>
4/25/2018	ALEXANDRA HINES	PIMA COUNTY	ADDRESSING	Reqs Change	<p>***Attachment can be viewed in documents folder in PRO.***</p> <p>DP18-0067 Union on 6th / 1st Submittal is being Returned for Corrections by Pima County Addressing.</p> <p>The attached pdf contains Addressing's comments. Please let me know if you have any questions.</p> <p>Thank you,</p> <p>Robin Freiman Addressing Official Pima County Development Services Department 201 N Stone AV – 1st Floor Tucson, AZ 85701 (520) 724-7570</p>
4/25/2018	LIZA CASTILLO	UTILITIES	TUCSON ELECTRIC POWER	Passed	<p>Agency notified for information only.</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/25/2018	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	UNIFIED DEVELOPMENT CODE
					4.1 Identification and Descriptive Data
					A. All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.
					The landscape plan will contain the following identification in the lower right corner of each sheet:
					Any other relevant case number for reviews or modifications that affect the site.
					The landscape plan cannot be approved until the overlay review is complete and obtained all the appropriate divisions reviews and approvals for the project.
					The following is applicable for this site.
					5.12.11. DOWNTOWN LINKS SUBDISTRICT (DLS)
					LANDSCAPING AND SCREENING
					A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSD Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City's Building Code.
					Streetscape Design
					Streetscape design must comply with the street design standards in the Technical Manual and the Streetscape Design Policy.
					Any one or more of the following types of landscaping and improvements may be used to comply with this section:
					(2) Shade trees in the right-of-way;
					(3) Green walls or green roofs; and/or
					(4) Shade structures, such as awnings.
					Shade
					a. Except as provided below, shade shall be provided for at least 50% of all sidewalks and pedestrian access paths as measured at 2:00 p.m. on June 21 when the sun is 82 degrees above the horizon. Shade may be provided by trees, arcades, canopies, or shade structures provided their location and design characteristics are compatible with the historic and design context of the street and the architectural integrity of the building. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard with the approval of the Transportation Department. The shade provided by a building may serve to meet this standard.
					b) The PDSD Director may approve an IID Plan providing less than 50% shade where compliance is not feasible due to a project site's location and/or building orientation and the applicant has made a reasonable attempt to comply with this standard.
4/26/2018	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Approved	Regional Traffic Engineering has no comments on this submittal and supports its acceptance. Because of the development location, it will have no impact to any ADOT facilities. Thank you.
					Tom Martinez
4/26/2018	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Completed	None
4/27/2018	LOREN MAKUS	ENGINEERING	REVIEW	Reqs Change	1. Revise the SWPPP NOI instructions to reference "myDEQ" instead of SmartNOI. SmartNOI is no longer active. http://azdeq.gov/node/331 2. The solid waste stream calculation section seems to be missing information. Please confirm that it is complete and coherent. 3. Include the cut and fill quantities in the notes. 4. Remove the bollards where the sidewalk intersect Herbert Avenue or provide correspondence with transportation allowing their use. 5. Clearly indicate that a track access permit may be required for construction adjacent to the streetcar tracks. 6. Show drainage patterns and demonstrate how water harvesting will be maximized.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/27/2018	ALEXANDRA HINES	COT NON-DSD	ENVIRONMENTAL SERVICES	Reqs Change	<p>The Environmental & General Services Department (EGSD) has completed our review of DP18-0067 for the Union on 6th property. Two buildings are proposed for this site which will contain parking, sales and office space and multifamily residential facilities. Building 1 will contain 244,350 square feet of space including 68,000 square feet of parking area. Building 2 will contain 56,350 square feet of floor area.</p> <p>My calculation of the waste generation rate in Building 1 does not agree with Cypress' calculation. Cypress' waste generation calculations are provided on General Note 22 on Sheet 1 of 30. Cypress stated that 675.7 tons of waste will be generated from Building 1. The amount of waste to be generated from Building 2 does not appear to be specified in General Note 22.</p> <p>EGSD waste generation calculations are:</p> <p>Building 1</p> <p>Sales / Office Space 4,126 square feet x 0.0013 tons per square foot = 5.4 tons of waste per year</p> <p>Multifamily Dwellings 172,224 square feet x 0.0057 tons per square foot = 981.7 tons of waste per year</p> <p>Total Waste Generation for Building 1 per year. 5.4 tons + 981.7 tons = 987.1 tons</p> <p>Building 2</p> <p>Sales / Office Space 3,390 square feet x 0.0013 tons per square foot = 4.4 tons of waste per year</p> <p>Multifamily Dwellings 52,960 square feet x 0.0057 tons per square foot = 301.9 tons of waste per year</p> <p>Total Waste Generation for Building 2 per year. 4.4 tons + 301.9 tons = 306.3 tons</p> <p>Please have the applicant review the waste generation calculations and make any adjustments, if needed. Also, make any adjustments in the compactor and metal waste container design needed due to any waste generation adjustments.</p> <p>Please contact me if there are any questions concerning this review. Thank you.</p> <p>Tom Ryan, P. E. City of Tucson - Environmental & General Services Department</p>
4/27/2018	AHINES2	ZONING HC	REVIEW	Reqs Change	See zoning review comments.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/27/2018	ALEXANDRA HINES	ZONING	REVIEW	Reqs Change	FROM: Alexandra Hines, AICP, Lead Planner
					PROJECT: DP18-0067 Union on 6th (1st Review)
					TRANSMITTAL DATE: April 26, 2018
					COMMENTS: Please resubmit revised drawings with a detailed response letter, which states how all zoning review comments were addressed.
					This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).
					1. UDC 3.3.3.G.5.c - An applicant has one year from the date of application, 3/23/18, to obtain approval of a site plan.
					2. 2-06.3.5 - Remove stamp and reserve a blank three-inch by five-inch space in the lower right quadrant of each sheet for an electronic approval stamp.
					3. 2-06.4.3 - Provide activity number, DP18-0067, and relevant activity number, T17SA00360, adjacent to the title block on each sheet.
					4. 2-06.4.7.A.6 - Provide a general note with the type of application processed or overlays applicable, a statement that the project meets the criteria/conditions of the additional application or overlay, the activity number, date of approval, what was approved, and the conditions of approval, if any, and specify which lots are affected.
					5. 2-06.4.8.B - Provide vacation of five (5) foot telephone easement in conflict with building #2, prior to approval of plan unless written permission from easement holder(s) is provided.
					6. 2-06.4.9.A - Show combination information for lots under building #1.
					7. 2-06.4.9.H.5.a - Provide or request modification of the number of vehicle parking spaces required. Correct the total required (UDC), 343 not 342, per UDC 7.4.3.G.
					8. 2-06.4.9.H.5.b - Provide the city's required parking agreement for N 4th Ave and N 5th Ave, if applicable (include a copy of the lease agreement if applicable).
					9. 2-06.4.9.H.5.d - Correct the bicycle parking calculation to reflect the use area breakdown.
					10. 2-06.4.9.H.5.d - Provide the bedroom breakdown next to the use area breakdown to assist in bicycle parking review.
					11. 2-06.4.9.H.5.d - Remove from asterisk note or showcase how bicycle parking and loading zone are modified per 5.12.11.
					12. 2-06.4.9.I - Show the future right-of-way, up to one-half (1/2), to complete the street width for E 6th St MS&R.
					13. 2-06.4.9.I - Provide the city's TDOT approval for use of alley, N Herbert Ave.
					14. 2-06.4.9.O - Develop or request modification to the zoning setback along the future right-of-way, up to one-half, to complete the street width for E 6th St MS&R per UDC Article 5.4.7. The proposed setback is zero (0) feet from E 6th St, N 5th Ave, N 4th Ave, and N Herbert Ave.
15. 2-06.4.9.Q - Provide or request modification for the maximum building height, seventy-five (75) feet, for the C-3 zone. The proposed height is eighty-six (86) feet.					
16. 2-06.4.9.Q - Provide or request modification for the maximum residential density, eighty-seven (87) units/acre, for the C-3 zone. Correct the residential density calculation for actual, 254 not 253 units. The proposed residential density is 180.7 units per/acre.					
17. 2-06.4.9.S - Show on-site ADA path from building #1 to building #2 per TSM 7-01.3.3.B or request modification. The proposed path crosses N Herbert Ave to connect the buildings.					
18. UDC 7.3.2 - Mitigate effect or take measures to minimize the adverse effects of the shading.					
Additional review comments may be forthcoming due to response to zoning review comments or other review agency comments including owner driven changes to the plan. Provide the director's decision letter for IID overlay in submittal to obtain development package approval.					
If you have any questions about this transmittal, please contact Alexandra Hines at (520) 837-6975 or alexandra.hines@tucsonaz.gov.					

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
5/3/2018	ALEXANDRA HINES	COT NON-DSD	REVIEW	Approved	<p>I have no issues with the on-street parking plan, nor with the garage parking plan.</p> <p>I am pleased to see the addition of the commercial space along 5th Avenue as I had suggested in the IID meeting. This will help to activate the 5th Avenue frontage, encourage pedestrian activity, provide more eyes on the street, and present a more appealing and lively face to that side of the building. Depending on the nature of the business, it can be an amenity for the new residents as well.</p> <p>The presence of the small commercial space will help to mitigate the lack of pedestrian interest or activation that is characteristic of off-street parking that is brought up to the lot line as it does with this development.</p> <p>Thank you.</p> <p>Donovan Durband, M.S., CAPP Administrator, Park Tucson Division Department of Transportation, City of Tucson 110 E. Pennington St., #150 P.O. Box 27210 Tucson, Arizona 85726-7210 Office: 520.791.5071 Direct: 520.837.6506 Fax: 520.791.5782 Donovan.Durband@tucsonaz.gov http://www.TucsonAZ.gov/Park-Tucson</p>
5/4/2018	ALEXANDRA HINES	COT NON-DSD	REAL ESTATE	Reqs Change	<p>Should any ground or aerial encroachments into City right-of-way come to be included, applicant is requested to contact the Real Estate Division to apply for easements. Any development in Herbert Ave or in the 4th and 5th Aves and 6th St RoW that cannot be addressed by a PIA should be directed to Real Estate as well.</p> <p>John Cahill Interim Real Estate Administrator City Dept. of Transportation 201 North Stone Av. 6th Floor Tucson, AZ 85701 (520) 837-6768</p>
5/4/2018	ALEXANDRA HINES	ZONING-DECISION LETTER	REVIEW	Reqs Change	<p>Plan Returned for Corrections Notice: DP18-0067Project Description: E SITE/GRADE/SWPPP - UNION ON 6TH</p> <p>To see reviewer's comments about your plans, please visit https://www.tucsonaz.gov/pro/pdsd/activity_search.You will need to enter the activity number shown above to see comments about the plan.</p> <p>This review has been completed and resubmittal is required. Prepare a Comment Response Letter which tells the reviewers what changes have been made to the plan and what comments are addressed. When you have made the necessary corrections to the plans, please resubmit the following items to PDS D Filedrop and the plans will re-enter the review cycle:1) Corrected plan set2) Items requested by review staff</p> <p>Please remember to name your files appropriately, for example: second (2nd) submittal/2_plan_set.pdf2_response_letter.pdfPlan Returned for Corrections Notice: DP18-0067Project Description: E SITE/GRADE/SWPPP - UNION ON 6TH</p> <p>To see reviewer's comments about your plans, please visit https://www.tucsonaz.gov/pro/pdsd/activity_search.You will need to enter the activity number shown above to see comments about the plan.</p> <p>This review has been completed and resubmittal is required. Prepare a Comment Response Letter which tells the reviewers what changes have been made to the plan and what comments are addressed. When you have made the necessary corrections to the plans, please resubmit the following items to PDS D Filedrop and the plans will re-enter the review cycle:1) Corrected plan set2) Items requested by review staff</p> <p>Please remember to name your files appropriately, for example: second (2nd) submittal/2_plan_set.pdf2_response_letter.pdf</p>
Showing 1 to 21 of 21 entries					Previous1Next

Task End Date	Reviewer's Name	Type of Review	Description
5/4/2018	AHINES2	OUT TO CUSTOMER	Completed
5/4/2018	AHINES2	OUT TO CUSTOMER	Completed
Showing 1 to 2 of 2 entries		Previous	1Next

PIMA COUNTY ASSESSOR'S RECORD PARCEL DETAIL & MAP

UNION ON 6TH



Parcel Number: 117-05-0430**Property Address**

Street Number	Street Direction	Street Name	Location
420	N	5TH AV	Tucson
422	N	5TH AV	Tucson

Contact Information

Taxpayer Information:	Property Description:
TIGRE PROPERTIES I LLC 1/2 & HONEYBADGER HAPPENINGS LLC 1/2 PO BOX 43025 TUCSON AZ 85733-3025	TUCSON LOT 6 BLK 68

Valuation Data

Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$197,550	\$197,550	\$35,559
2018	COMMERCIAL (1)	18.0	\$237,060	\$207,428	\$37,337

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	12,197.00F	Group Code:	
Census Tract:	400	File Id:	1	Date of Last Change:	3/9/2017
Use Code:	1511 (OFFICE BUILDING 1 STORY)				

District Supervisor: RICHARD ELIAS District No: 5				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
20170460374	0	0	2/15/2017	WTDEED
20020750995	11781	3865	4/18/2002	DEED
20020750994	11781	3864	4/18/2002	QCDEED
0	7014	356	1/1/1753	

Property Appraiser: Mark Baudendistel Phone: (520) 724-7458				
Commercial Summary				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	2,634	\$253,835	\$0	\$0

Commercial Detail					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1985	151/3	\$313,601	\$227,486	BUSINESS OFFICE
002-001	1985	101/3	\$2,162	\$1,206	COMMERCIAL YARD IMPROVEMENTS
003-001	1985	101/3	\$29,553	\$16,491	COMMERCIAL YARD IMPROVEMENTS
004-001	1985	290/3	\$24,034	\$8,652	PARKING LOT

Tax Year	Owner's Estimate	Petition	Work Up
2016	\$118,530	pdf (/ParcelData/Petition/Initial/2016/117050430.pdf)	(/ParcelData/)
2015	\$158,000	(/ParcelData/)	(/ParcelData/)
2013	\$200,000	(/ParcelData/)	(/ParcelData/)
2011	\$100,000	(/ParcelData/)	(/ParcelData/)
2009	\$279,280	(/ParcelData/)	(/ParcelData/)
2006	\$150,000	(/ParcelData/)	(/ParcelData/)
2002	\$130,000	(/ParcelData/)	(/ParcelData/)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
CPET11418	PET ~	05/10/2012	06/04/2012	ASR						05/29/2012	0
Description: ACCORDING TO PETITIONER APPROX. 1,300 SF IS STORAGE											

<p>Created: 8/5/2015</p> <p>Modified: 8/5/2015</p>	PETITION 2016 A LEVEL RULE A
<p>Created: 7/25/2012</p> <p>Modified: 7/25/2012</p>	PETITION 2013 A LEVEL RULE A
<p>Created: 5/29/2012</p> <p>Modified: 5/29/2012</p>	2013S-Per F/C 05/22/12 building has two storage areas 447 SQFT accessible from the exterior only & 411 SQFT accessible from the interior update CCS SQFT from 3491 SQFT to 2634 SQFT P/U Detached Carport for 2014N
<p>Created: 11/22/2010</p> <p>Modified: 11/22/2010</p>	2011 B-LEVEL: REVIEWED & ADJUSTED.
<p>Created: 8/2/2010</p> <p>Modified: 8/2/2010</p>	2011 A-LEVEL: REVIEWED & ADJUSTED
<p>Created: 10/6/2008</p> <p>Modified: 10/6/2008</p>	2009 SBOE LEVEL: REVIEWED & ADJUSTED.Q
<p>Created: 7/8/2005</p> <p>Modified: 7/8/2005</p>	'06 ~ A-LEVEL A-OK.

Parcel Number: 117-05-0370**Property Address**

Street Number	Street Direction	Street Name	Location
424	N	5TH AV	Tucson

Contact Information

Taxpayer Information:	Property Description:
HONEYBADGER HAPPENINGS LLC & TIGRE PROPERTIES LLC PO BOX 43025 TUCSON AZ 85733-3025	TUCSON LOT 3 BLK 68

Valuation Data

Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$86,051	\$86,051	\$15,489
2018	COMMERCIAL (1)	18.0	\$99,447	\$90,354	\$16,264

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	12,197.00F	Group Code:	000
Census Tract:	400	File Id:	1	Date of Last Change:	10/28/2014
Use Code:	1120 (STORE FRONT COMMERCIAL BLDG)				

Affidavit of Fee No.	Sale Date	Property Type	Sale	Validation
20142650503	8/2014	Commercial/Industrial	\$525,000	X RJM
20012130274	11/2001	Commercial/Industrial	\$240,000	X JAC DEED: Warranty Deed

District Supervisor: RICHARD ELIAS District No: 5				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
20172280412	0	0	8/16/2017	WTDEED
20142650503	0	0	9/22/2014	WTDEED
20012130274	11668	674	11/2/2001	WTDEED
96178629	10403	1231	10/18/1996	

Property Appraiser: John Becker Phone: (520) 724-3046					
Commercial Summary					
Interface	Total Sq Ft	Cost Value	CCS Override		Market Override
Y	0	\$13,946	\$0		\$0
Commercial Detail					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1996	101/3	\$2,148	\$1,585	COMMERCIAL YARD IMPROVEMENTS
002-001	1980	290/3	\$34,335	\$12,361	PARKING LOT

Created: 1/22/2004 Modified: 1/22/2004	'04 ~ FOLLOW-UP TO '03 NOTICE OF CLAIM
Created: 1/22/2004 Modified: 1/22/2004	'03 ~ A-LEVEL OK.
Created: 1/16/2004 Modified: 1/16/2004	DELETE PAVING AND BLOCK WALL - LIST CHAIN LINK FENCE W/GATE - PARCEL USED AS PARKING FOR 117-05-0340/0360 - USE 1120 AND 30@25% OK

Parcel Number: 117-05-0340

Property Address

Street Number	Street Direction	Street Name	Location
314	E	6TH ST	Tucson
316	E	6TH ST	Tucson

Contact Information

Taxpayer Information:	Property Description:
HONEYBADGER HAPPENINGS LLC & TIGRE PROPERTIES I LLC PO BOX 43025 TUCSON AZ 85733-3025	TUCSON E70' OF LOT 2 BLK 68

Valuation Data

Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$384,387	\$192,512	\$34,652
2018	COMMERCIAL (1)	18.0	\$46,246	\$41,205	\$7,417

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	4,620.00F	Group Code:	000
Census Tract:	400	File Id:	1	Date of Last Change:	10/10/2017
Use Code:	2811 (PART COMP CONV/STRIP STORES SUPERMARKETS)				

Affidavit of Fee No.	Sale Date	Property Type	Sale	Validation
20142650503	8/2014	Commercial/Industrial	\$525,000	X RJM
20012130274	11/2001	Commercial/Industrial	\$240,000	X JAC DEED: Warranty Deed

District Supervisor: RICHARD ELIAS District No: 5

Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
20172280412	0	0	8/16/2017	WTDEED
20142650503	0	0	9/22/2014	WTDEED
20012130274	11668	674	11/2/2001	WTDEED
96178629	10403	1231	10/18/1996	

Tax Year	Owner's Estimate	Petition	Work Up
2017	\$233,090	pdf (/ParcelData/Petition/Initial/2017/117050340.pdf)	(/ParcelData/)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T010T00058	COTH ~ FINAL	08/03/2001	08/08/2001	TUC	\$0	1,155	3/*		12/29/2015	12/29/2015	0
	Description: C OF O:SOUTHERN AZ AIDS FOUNDATION										
T97EL00905	COTH ~ FINAL	08/04/1997	08/11/1997	TUC	\$0	0		07/31/2007		07/31/2007	0
	Description: UPGRADE:200 AMP OVERHEAD										
T15BU00843	CDMO ~ ISSUED	09/03/2015		TUC	\$2,311	0	3/*	09/11/2015	11/16/2016		40
	Description: DEMO; COMM										

Created: 1/10/2017 Modified: 1/10/2017	2018N Update use code from 1120 to 2811. No change to Land class 1/0. Update IMP class from 1/0 to 0/0. Delete CCS IMP 001, DEMO. Updated APEX/Photos in Book-Map.
Created: 8/24/2016 Modified: 8/24/2016	2018N- No change to Use Code 1120. No change to Land/IMP Class at 1/0. Updated Photos in Book-Map.
Created: 12/29/2015 Modified: 12/29/2015	2017N No change use code 1120. No change to Land/IMP class 1/0. No progress on renovation. Updated Photos in Book-Map.
Created: 9/11/2015 Modified: 9/11/2015	2017N No change use code 1120. No change to Land/IMP class 1/0. Interior demo underway. Created APEX/Photos in Book-Map.

Parcel Number: 117-05-033A

Property Address

Street Number	Street Direction	Street Name	Location
340	E	6TH ST	Tucson
431	N	HERBERT AV	Tucson

Contact Information

Taxpayer Information:	Property Description:
FOUR EMERALDS LLC ATTN: JUSTIN MC LAMARRAH 340 E 6TH ST TUCSON AZ 85705-8460	TUCSON LOTS 1 & 4 EXC E2 S46' LOT 4 BLK 68

Valuation Data

Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$787,840	\$721,069	\$129,792
2018	COMMERCIAL (1)	18.0	\$787,840	\$757,122	\$136,282

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	20,143.00F	Group Code:	000
Census Tract:	400	File Id:	1	Date of Last Change:	7/31/2014
Use Code:	2020 (RESTAURANT SIT DOWN W/ COCKTAIL LOUNGE)				

Affidavit of Fee No.	Sale Date	Property Type	Sale	Validation
20141070241	3/2014	Commercial/Industrial	\$1,300,000	W1 RJM
20001440933	6/2000	Commercial/Industrial	\$600,000	X JAC DEED: Warranty Deed

District Supervisor: RICHARD ELIAS District No: 5

Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
20141070241	0	0	4/17/2014	WTDEED
20001440933	11348	3028	7/26/2000	
87115406	8073	2077	7/9/1987	
0	7822	1342	7/9/1986	

Property Appraiser: Eduardo Puig Phone: (520) 724-6980

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	4,924	\$209,652	\$0	\$0

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1950	201/3	\$520,619	\$193,670	RESTAURANT FULL SERVICE
003-001	1987	290/3	\$44,395	\$15,982	PARKING LOT

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T00CM04262	CALT ~ FINAL	09/06/2000	02/15/2001	TUC	\$40,000	21,200		12/22/2010	12/22/2010	12/22/2010	0
	Description: TI:RESTAURANT										
T10CM03061	CALT ~ FINAL	12/15/2010	11/07/2011	TUC	\$51,000	4,888	3/*	12/22/2010	12/22/2010	12/22/2010	0
	Description: TI:BAR										
T04BU01239	COTH ~ FINAL	05/25/2004	10/06/2004	TUC	\$5,490	0		12/22/2010	12/22/2010	12/22/2010	0
	Description: FIRE SPKR:ADD 49 & INSTALL 10LF OF 4" PIPE										
T03CM03499	CALT ~ FINAL	05/25/2004	10/15/2004	TUC	\$33,673	6,331		12/22/2010	12/22/2010	12/22/2010	0
	Description: TI:BAR										

Created: 6/2/2004 Modified: 6/2/2004	6/2/04 NO CHANGE PER COST. GEH
Created: 4/8/2004 Modified: 4/8/2004	FC - VERIFY IMPS - CCS HAVE BEEN TRANSFERRED FROM 117-05-0330 & -0380 TO -033A - NC USE 2020, CLASS, RATIO 30@25%
Created: 3/16/2004 Modified: 3/16/2004	2004 COMBO OF 117-05-0330 & 0380 PER REQUEST FROM MACBELLE REED 1/9/04 AREA CALC PER APIQ

Parcel Number: 117-05-0450**Property Address**

Street Number	Street Direction	Street Name	Location
419	N	HERBERT AV	Tucson

Contact Information

Taxpayer Information:	Property Description:
HAUSKNECT WAYNE 419 N HERBERT AVE TUCSON AZ 85705-8432	TUCSON S30' OF E75' OF LOT 7 BLK 68

Valuation Data

Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$43,956	\$43,956	\$7,912
2018	COMMERCIAL (1)	18.0	\$46,953	\$46,154	\$8,308

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	2,250.00F	Group Code:	
Census Tract:	400	File Id:	1	Date of Last Change:	8/8/2014
Use Code:	3010 (MULTIUSE OR MISCELLANEOUS INDUSTRIAL)				

District Supervisor: RICHARD ELIAS District No: 5				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
0	7483	455	3/5/1985	

Property Appraiser: John Becker Phone: (520) 724-3046					
Commercial Summary					
Interface	Total Sq Ft	Cost Value	CCS Override		Market Override
Y	999	\$14,175	\$0		\$0
Commercial Detail					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1925	381/2	\$38,106	\$14,175	UTILITY/STORAGE

Parcel Number: 117-05-0440

Property Address			
Street Number	Street Direction	Street Name	Location
420	N	HERBERT AV	Tucson

Contact Information	
Taxpayer Information:	Property Description:
GASTON DARLENE I 7777 W 91ST ST UNIT E2142 PLAYA DEL REY CA 90293-7336	TUCSON N36' LOT 7 & S30' W109.8' LOT 7 BLK 68

Valuation Data					
Valuation Year	Legal Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2017	VACANT/AG/GOLF (2)	15.0	\$69,629	\$69,629	\$10,444
2018	VACANT/AG/GOLF (2)	15.0	\$69,629	\$69,629	\$10,444

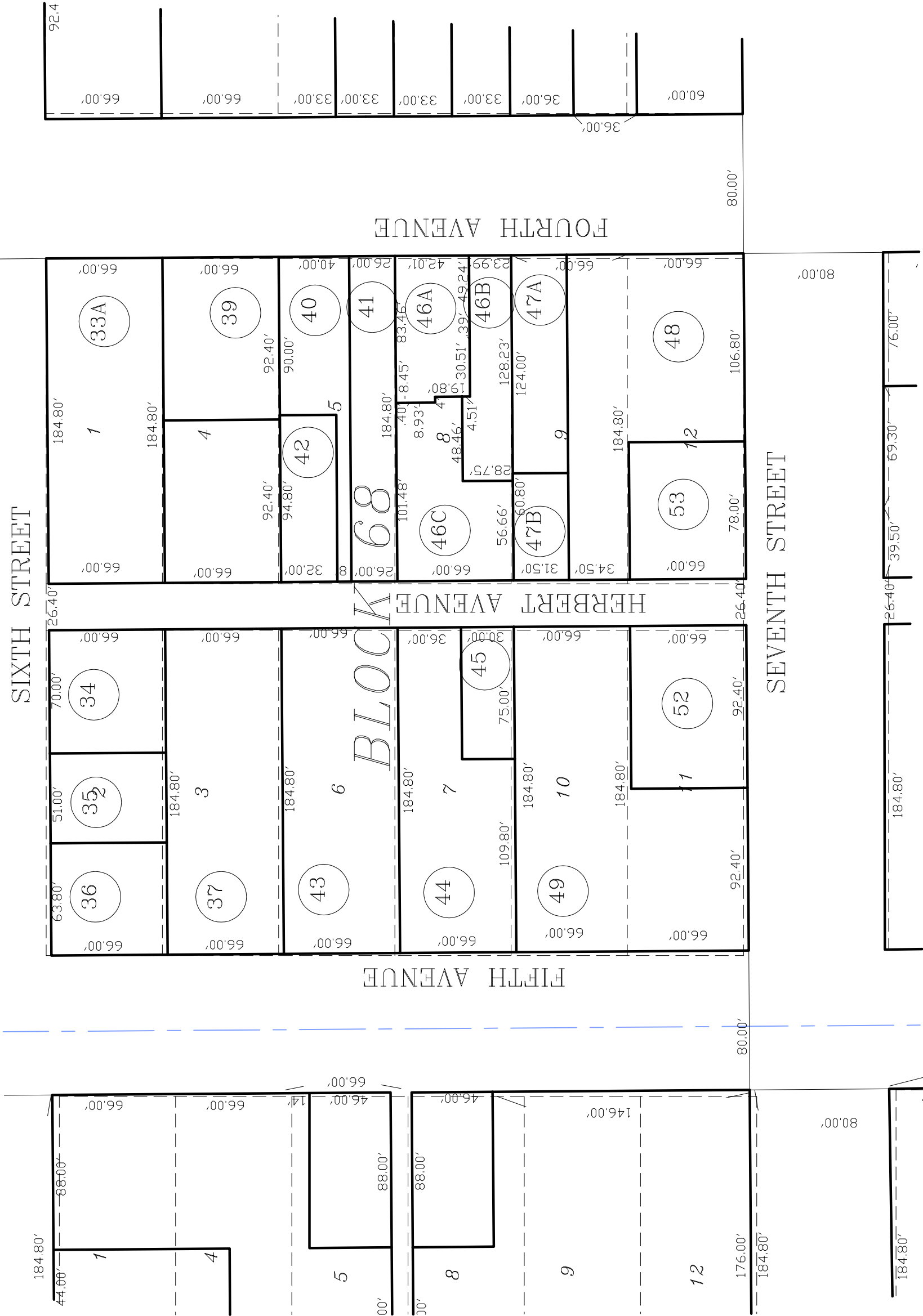
Property Information					
Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	068	Tract:	
Rule B District:	1	Land Measure:	9,947.00F	Group Code:	
Census Tract:	400	File Id:	1	Date of Last Change:	12/6/2012
Use Code:	0021 (VACANT COMMERCIAL URBAN SUBDIVIDED)				

District Supervisor: RICHARD ELIAS District No: 5				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	6	UN_WEST_UNIVERSITY	01020201	30

Sequence No.	Docket	Page	Date Recorded	Type
20080010002	13213	6	1/2/2008	WTDEED
0	3891	110	12/14/1970	

Tax Year	Owner's Estimate	Petition	Work Up
2011	\$132,693	(/ParcelData/)	(/ParcelData/)

Created: 11/21/2012 Modified: 11/21/2012	Salvage Review - Per Aerial Building Demoed. Use Code to 0021. Delete Residential Listing. Rule A
Created: 7/20/2010 Modified: 7/20/2010	2011 A-LEVEL: REVIEWED & ADJUSTED--> SALVAGE 4DUC TO 0910 CLS 4(2)16% --> RULE B.
Created: 7/19/2010 Modified: 7/19/2010	7/10: USE CODE FROM 0911 (INVALID USE CODE) TO 0910
Created: 7/13/2010 Modified: 7/13/2010	fc-structure has major structural cracks and is not habitable. reduce to salvage value: uc 0111>0911, class 3>2, 10%>16%



EXISTING PHOTO STUDY

UNION ON 6TH



EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to the UNION ON 6TH development area. Please refer to this page to orient the following photos with the surrounding area.



CYPRESS
CIVIL DEVELOPMENT

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VFLA
ARCHITECTURE + DESIGN

LS

EdR

UNION ON 6TH

NORTH CENTRAL

This picture displays the existing conditions at the north central area of the site, along 6th Street —looking east. This photo displays the existing streetscape along 6th Street.



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ARCHITECTURE + DESIGN

LB

EOR

UNION ON 6TH

NORTH CENTRAL

This picture displays the existing conditions at the north central area of the site, along 6th Street —looking west.
This photo displays the existing streetscape along 6th Street.



NORTH CENTRAL

This picture displays the existing conditions at the north central area of the site, along 6th Street —looking south. This photo displays the existing streetscape along Herbert Avenue.



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LS

EOR

UNION ON 6TH

NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, at 4th Avenue and 6th Street — looking west. This photo displays the existing streetscape along 6th Street.



NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, at 4th Avenue and 6th Street — looking south. This photo displays the existing streetscape along 4th Avenue.



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ARCHITECTURE + DESIGN

LB

EOR

UNION ON 6TH

NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, at 4th Avenue and 6th Street — looking south. This photo displays the existing streetscape along 4th Avenue.



NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along 5th Avenue —looking north. This photo displays the existing streetscape and properties adjacent to the property.



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ARCHITECTURE + DESIGN

LB

EOR

UNION ON 6TH

NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along 5th Avenue —looking south. This photo displays the existing streetscape and properties adjacent to the property.



SOUTH CENTRAL

This picture displays the existing conditions at the south central area of the site, along Herbert Avenue —looking north. This photo displays the existing streetscape along Herbert.



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LB

EOR

UNION ON 6TH

SOUTH CENTRAL

This picture displays the existing conditions at the south central area of the site, along Herbert Avenue —looking south. This photo displays the existing streetscape along Herbert.



SOUTH CENTRAL

This picture displays the existing conditions at the south central area of the site, along Herbert Avenue —looking east. This photo displays the existing properties along 4th Avenue from the rear along Herbert.



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LB

EdR

UNION ON 6TH

SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, along 5th Avenue —looking north. This photo displays the existing streetscape and properties adjacent to the property.



SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, along 5th Avenue —looking north. This photo displays the existing south boundary and adjacent property walls.



CYPRESS
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ARCHITECTURE + DESIGN

LS

EOR

UNION ON 6TH

ARCHITECTURAL PRECEDENCE/ANALYSIS

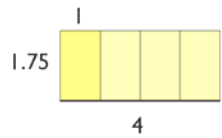
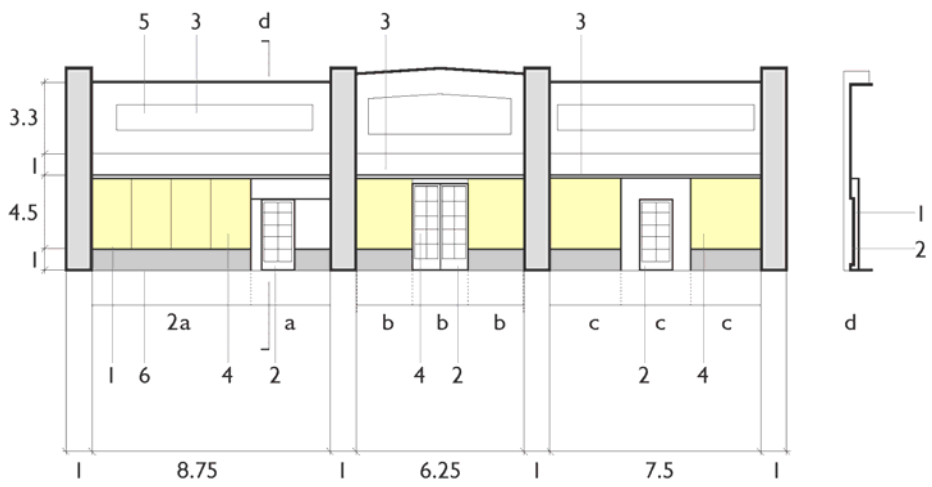
UNION ON 6TH



ARCHITECTURAL PRECEDENCE



CONTEXT



PROPORTIONS

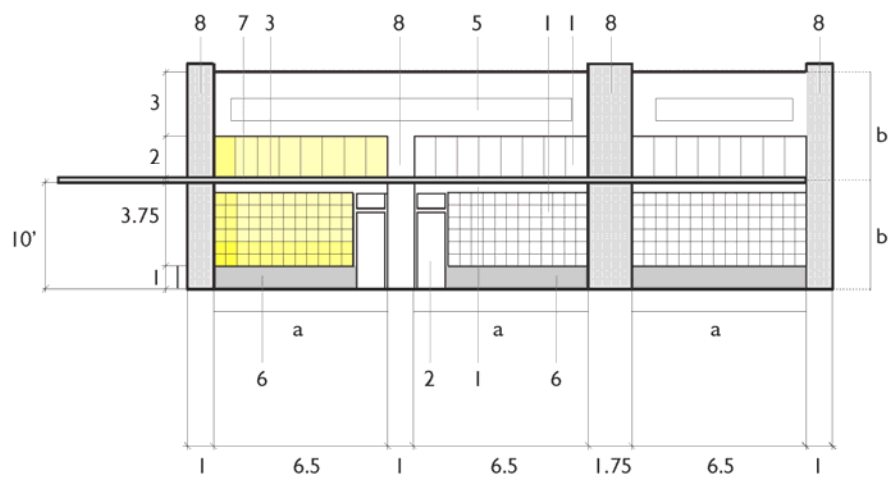
ANALYSIS

- 1. recessed bays
- 2. recessed doors
- 3. horizontal definition
- 4. window grid variation
- 5. signage molding
- 6. low wall / raised sill
- 7. columns / bay definition

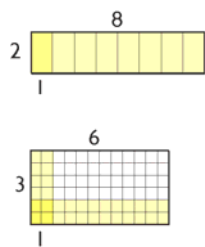
ARCHITECTURAL PRECEDENCE



CONTEXT



ANALYSIS



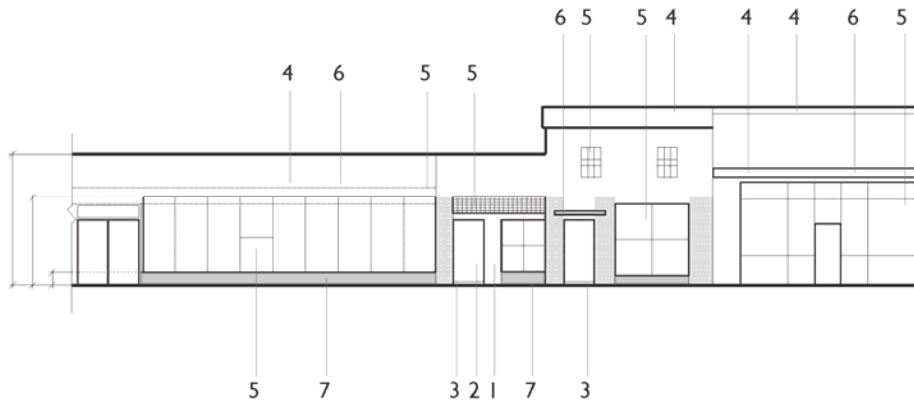
PROPORTIONS

- 1. recessed bays
- 2. recessed doors
- 3. horizontal definition
- 4. window grid variation
- 5. signage molding
- 6. low wall / raised sill
- 7. overhang / awnings
- 8. columns / bay definition

ARCHITECTURAL PRECEDENCE



CONTEXT



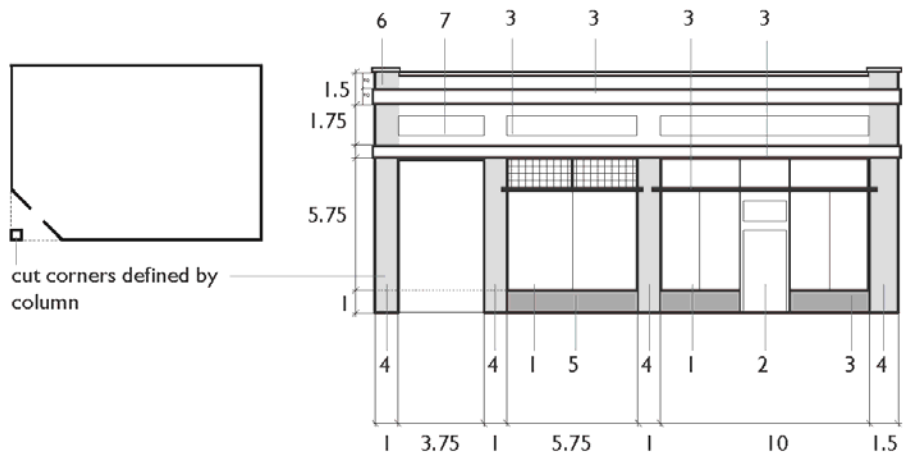
ANALYSIS

- 1. recessed bays
- 2. recessed doors
- 3. step up to door
- 4. horizontal definition
- 5. window grid variation
- 6. overhangs / awnings
- 7. low wall / raised sill

ARCHITECTURAL PRECEDENCE



CONTEXT



ANALYSIS

1. recessed bays
2. recessed doors
3. horizontal definition
4. columns / bay definition
5. low wall / raised sill
6. capped columns
7. signage molding

ARCHITECTURAL PRECEDENCE



CONTEXT



ANALYSIS

- 1. recessed bays
- 2. recessed doors
- 3. horizontal definition
- 4. low wall / raised sill
- 5. signage molding
- 6. step up to door
- 7. window grid variation

ARCHITECTURAL PRECEDENCE



CONTEXT



ANALYSIS

1. recessed bays
2. recessed doors
3. horizontal definition
4. low wall / raised sill
5. signage molding
6. step up to door
7. window grid
8. overhang / awnings

ARCHITECTURAL PRECEDENCE

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ARCHITECTURE + DESIGN

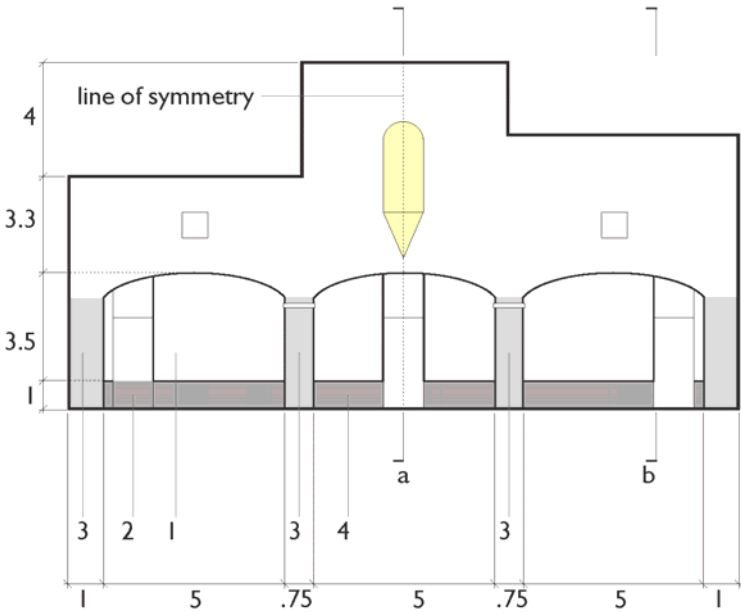
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UNION ON 6TH



CONTEXT



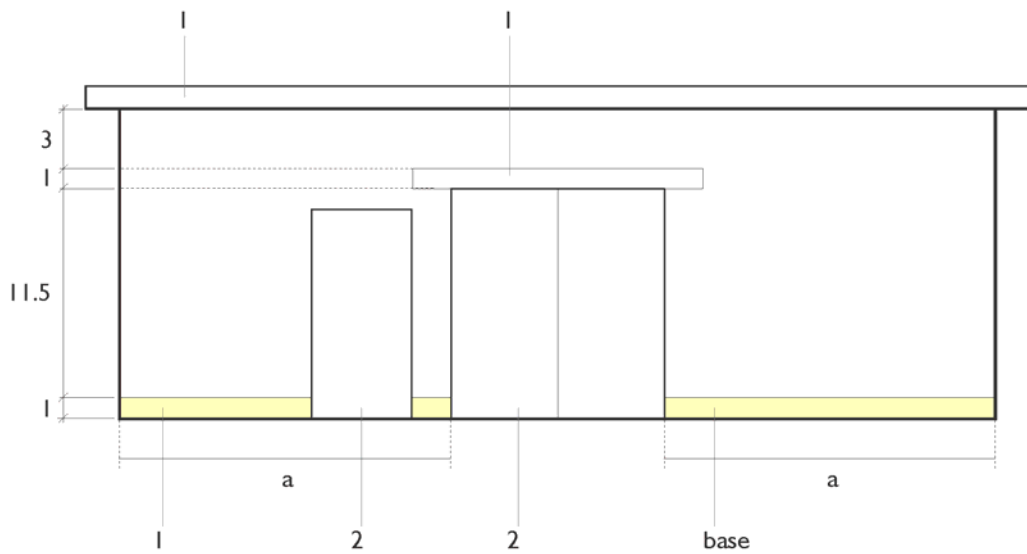
ANALYSIS

- 1. recessed bays
- 2. recessed doors
- 3. columns / bay definition
- 4. low wall / raised sill

ARCHITECTURAL PRECEDENCE



CONTEXT



ANALYSIS

- 1. horizontal definition
- 2. recessed doors

HISTORIC PROPERTY OVERVIEW

UNION ON 6TH



Union on 6th Historic Property Overview

The Union on 6th project (“Project”) will maintain the historic status of the site’s sole existing historic contributing property, therefore allowing it to use the Infill Incentive District (“IID”) development standards. The IID requires that all developments using its urban overlay standards have no negative impact on the status of the historic properties in and around the project. Specifically, a project cannot use the IID if it causes a historic property to be demolished or delisted from the National Historic Register. UDC § 5.12.6.E.3-4.

The Project is located within two National Register Historic Districts (“Historic Districts”): the Warehouse District (est. 1999) and the Fourth Ave. Commercial Historic District (est. 2017). As described below, the Project includes one contributing property to the Warehouse Historic District. The Project will ensure that property stays historic, and will also not impact the historic status of the surrounding historic properties.

I. Historic Status of the Project’s Current Structures

The Project site is currently made up of six parcels. Below is a list of those parcels along with the historic status of the structures, if any, on those parcels:

Parcel No.	Address	Structure/Historic Status Description
117-05-033A	340 E. 6 th St.	Non-contributing structure in the 4 th Ave. Commercial Historic District. This structure currently is the Flycatcher bar with associated parking. See Attachment 1.
117-05-0340	314-316 E. 6 th St.	Non-contributing structure in the Warehouse National Register Historic District. Demolished pursuant to permit No T15BU00843. See Attachment 2.
117-05-0370	424 N. 5 th Ave.	Parking lot with no structures .
117-05-0430	420-422 N 5th Ave.	Non-contributing structure in the Warehouse National Register Historic District. See Attachment 3 (Note: street number on form is incorrect, but record’s map indicates this is the correct property).
117-05-0440	420 N. Herbert	Currently a vacant parcel with no structures . Up until 2012, the parcel had a contributing structure in the Warehouse National Register Historic District. In 2007, the structure was condemned due to its

Parcel No.	Address	Structure/Historic Status Description
		deteriorating condition. In 2012, the structure was demolished pursuant to permit No. T12BU00065. <i>See</i> Attachment 4.
117-05-0450	419 N. Herbert	Contributing structure in the Warehouse National Register Historic District. <i>See</i> Attachment 5.

II. The Historic Status of the Project's Contributing Structure will not change.

The Project's sole contributing property is located on the Herbert Ave. alley, and currently is used as a commercial woodshop (the "Woodshop"). The Woodshop was built around 1904, and originally served as a residence before being converted to a commercial use. It is approximately 1,300 sq. ft. and made of adobe and stucco.

The Project complies with the IID's historic property requirements because it will maintain the Woodshop's historic status. The Project will not demolish the Woodshop, nor modify or change its exterior facades, and it will maintain the Woodshop in a way that maintains the structure's historic status. The Project will incorporate the Woodshop into its overall site plan, likely converting it into a maintenance shop and/or storage area. By incorporating the Woodshop into the overall Project design and maintaining it in the future, the Project may utilize the IID for the Project's overall development.

Attachments are found at Appendix 1.

**DEVELOPMENT PLAN PACKAGE
(SITE & LANDSCAPE PLAN)**

UNION ON 6TH



GENERAL NOTES

1. OWNER/DEVELOPER:
EDUCATION REALTY TRUST, INC.
999 SOUTH SHADY GROVE ROAD, SUITE 600
MEMPHIS, TENNESSEE 38120
2. THE EXISTING ZONING IS **C-3**, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
3. THE EXISTING USE IS **COMMERCIAL**. THE PROPOSED DEVELOPMENT IS MIXED USE: **PARKING, MULTIFAMILY DWELLING, ADMINISTRATIVE AND PROFESSIONAL OFFICE, AND GENERAL MERCHANDISE SALES** (EXCLUDING LARGE RETAIL ESTABLISHMENT). GENERAL MERCHANDISE SALES USE IS SUBJECT TO USE SPECIFIC STANDARDS OF 4.9.9.B.1.
4. THERE WILL BE 254 PROPOSED RESIDENTIAL UNITS (TOTAL).
BUILDING #1 - 203 UNITS.
BUILDING #2 - 51 UNITS.
5. USE AREA BREAKDOWN: BUILDING #1
PARKING = 68,000 SF
GENERAL MERCHANDISE SALES/ADMINISTRATIVE AND PROFESSIONAL OFFICE = 4,126 SF
MULTIFAMILY DWELLING = 172,224 SF
- USE AREA BREAKDOWN: BUILDING #2
GENERAL MERCHANDISE SALES/ADMINISTRATIVE AND PROFESSIONAL OFFICE = 3,390 SF
MULTIFAMILY DWELLING = 52,960 SF
6. THE GROSS SITE AREA IS **59,112** SQUARE FEET, OR **1.4** ACRES. WESTERN LOT IS **41,219** SQUARE FEET, OR **0.9** ACRES. EASTERN LOT IS **20,145** SQUARE FEET, OR **0.5** ACRES.
7. THE TOTAL BUILDING GFA IS **300,700** SF. THE BUILDING #1 IS **244,350** SF. THE BUILDING #2 IS **56,350** SF. THE TOTAL PAVED AREA IS **4,600** SF ±.
8. THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **77,994** SF.
9. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
10. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
11. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
12. ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
13. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
14. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
15. MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
16. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
17. ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36". THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (5" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

18. DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-3 ZONING:
- RESIDENTIAL DENSITY CALCULATION:
MAXIMUM = 87 UNITS/ACRE
ACTUAL = 253/1.4 = 180.7 UNITS/ACRE
- LOT COVERAGE CALCULATION:
MAXIMUM = N/A
ACTUAL = 60,364/61,364 = 98%
- MAXIMUM BUILDING HEIGHT = 75'
ACTUAL BUILDING HEIGHT* = 25'-86'
- BUILDING SETBACKS*:
- | | REQUIRED | PROVIDED |
|------------------|----------|-----------|
| BUILDING #1: | | |
| NORTH (STREET) | - 25' | 0' MIN. |
| NORTH (BUILDING) | - 0' | 4.5' MIN. |
| EAST (STREET) | - 43' | 0' MIN. |
| SOUTH (BUILDING) | - 0' | 0' MIN. |
| WEST (STREET) | - 86' | 0' MIN. |
| BUILDING #2: | | |
| NORTH (STREET) | - 36' | 0' MIN. |
| EAST (STREET) | - 36' | 0' MIN. |
| SOUTH (BUILDING) | - 0' | 4.9' MIN. |
| WEST (STREET) | - 30' | 0' MIN. |
- NOTE: FOR DIMENSIONAL STANDARDS PURPOSES, MULTIFAMILY DEVELOPMENT IS NOT CONSIDERED A RESIDENTIAL USE PER SECTION 6.3.3.C.
- *WITHIN THE WAREHOUSE TRIANGLE SUBAREA AND FOURTH AVENUE SUBAREA OF THE DOWNTOWN LINKS SUBDISTRICT OF THE INFILL INCENTIVE DISTRICT OVERLAY ZONE, DIMENSIONAL REQUIREMENTS CAN BE MODIFIED.
19. PARKING REQUIREMENTS:
- MOTOR VEHICLE PARKING:
- UDC: 1.25 SPACES PER DWELLING UNIT FOR MULTIFAMILY (OVER 70 UNITS/ACRE) + 1 SPACE PER 300 SF OF GENERAL RETAIL & ADMINISTRATIVE/PROFESSIONAL OFFICE
IID: 1.00 SPACE PER RESIDENTIAL DWELLING UNIT + 0 SPACE PER NON-RESIDENTIAL UNIT
- TOTAL REQUIRED (UDC) = (254*1.25)+(7,516/300)= 342 SPACES
- TOTAL REQUIRED (IID) = (254*1)+(7,516*0) = 254 SPACES
TOTAL PROVIDED (ON-SITE) = 180 SPACES
- ACCESSIBLE SPACES REQUIRED = 6 SPACES
ACCESSIBLE SPACES PROVIDED = 6 SPACES
- BICYCLE PARKING:
- SHORT TERM: 1 SPACE PER 20,000 SF GFA OF OFFICE (2 MIN.); 1 SPACE PER 5,000 SF OF RETAIL (2 MIN.); 0.10 SPACES PER BEDROOM (2 MIN.).
LONG TERM: 1 SPACE PER 6,000 SF GFA OF OFFICE (2 MIN.); 1 SPACE PER 12,000 SF OF RETAIL (2 MIN.); 0.5 SPACES PER BEDROOM (2 MIN.).
- NOTE: LONG TERM SPACES ARE PROVIDED IN EACH RESIDENTIAL UNIT AS WELL AS STORAGE UNITS WITHIN THE PARKING GARAGE.
NOTE: THERE ARE 12 SHORT TERM SPACES EXISTING IN THE ADJACENT RIGHT-OF-WAYS WHICH ARE NOT INCLUDED IN THE FOLLOWING CALCULATIONS.
- BUILDING #1:
SHORT TERM:
TOTAL REQUIRED = (2,900/20,000)+(305x0.10) = 33 SPACES
TOTAL PROVIDED = 34 SPACES
LONG TERM:
TOTAL REQUIRED = (2,900/6,000)+(305x0.5) = 155 SPACES
TOTAL PROVIDED = 202 SPACES
- BUILDING #2:
SHORT TERM:
TOTAL REQUIRED = (1,190/20,000)+(1,015/5,000)+(92x0.10) = 13 SPACES
TOTAL PROVIDED = 13 SPACES
LONG TERM:
TOTAL REQUIRED = (1,190/6,000)+(1,015/12,000)+(92x0.5) = 50 SPACES
TOTAL PROVIDED = 51 SPACES
- LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES
- *PARKING REQUIREMENTS: WITHIN THE WAREHOUSE ARTS SUBAREA AND FOURTH AVENUE SUBAREA OF THE DOWNTOWN LINKS SUBDISTRICT OF THE INFILL INCENTIVE DISTRICT OVERLAY ZONE, MOTOR VEHICLE PARKING, BICYCLE PARKING, AND LOADING ZONE REQUIREMENTS ARE MODIFIED PER 5.12.11.
20. NO FREE STANDING MONUMENT SIGNS ARE PROPOSED WITHIN THIS DEVELOPMENT.
21. MAIL SERVICE TO BE LOCATED INSIDE THE BUILDINGS.
22. WASTE STREAM CALCULATION:

PER TSM 8-01.8.0 THE BUILDING #1 SITE PRODUCES APPROXIMATELY 675.7 TONS OF SOLID WASTE PER YEAR (EQUATING TO 8,662 GALLONS PER WEEK). A MINIMUM OF **42.9** CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.

A TRASH COMPACTOR WILL BE USED, PROVIDING APPROX. 75% DECREASE IN WASTE VOLUME, LEAVING **10.7** CUBIC YARDS OF WASTE TO BE REMOVED FROM THE SITE EACH WEEK.

THIS WILL BE ACCOMPLISHED BY PROVIDING ONE 6-CUBIC-YARD TRASH BIN AND ONE 6-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.

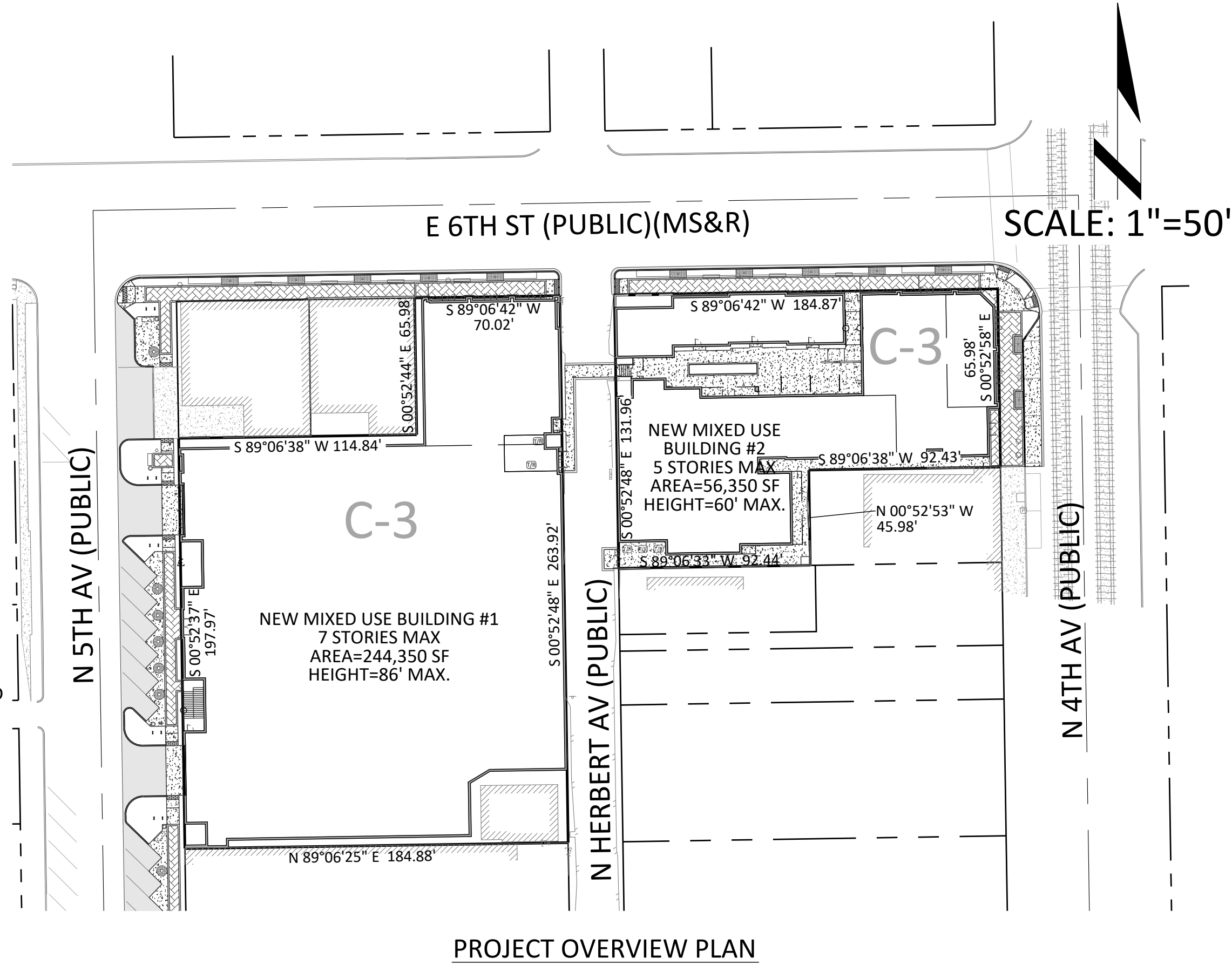
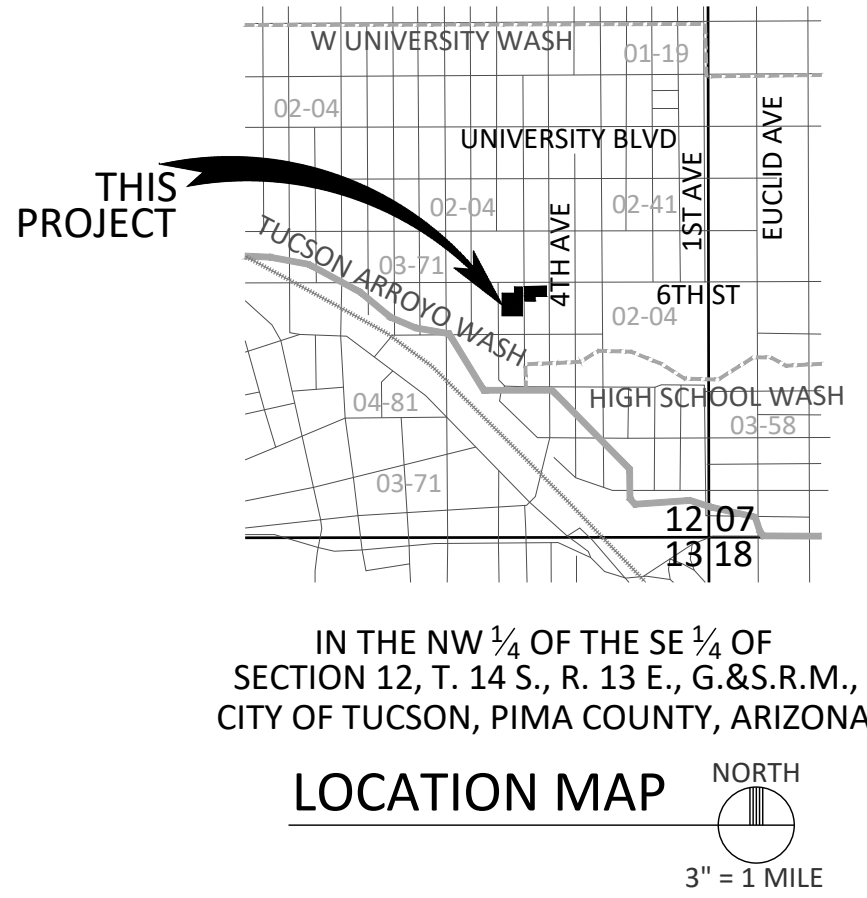
GENERAL NOTES (cont.)

- THIS WILL BE ACCOMPLISHED BY TWO 4-CUBIC-YARD TRASH BINS AND ONE 6-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
- NOTE: FOR BOTH BUILDINGS, IT WILL BE THE OWNER'S RESPONSIBILITY TO ROLL THE BINS INTO THE ALLEY AT THE TIMES SCHEDULED BY THE CITY OR OTHER WASTE MANAGEMENT COMPANY.
22. ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
23. THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) AND UDC SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID).

LEGEND

	PROJECT BOUNDARY		EXISTING WATER MONITORING WELL
	RIGHT-OF-WAY		EXISTING WATER VALVE
	OTHER PARCEL LINE		EXISTING FIRE CONNECTION
	ROADWAY CENTERLINE		EXISTING LIGHT PULL BOX
	EXISTING EASEMENT		EXISTING GAS METER
	EXISTING CONTOUR		EXISTING UNKNOWN UTILITY
	SPOT ELEV. (NEW GRADE)		NEW SEWER
	SPOT ELEV. (EXIST. GRADE)		NEW WATER
	EXISTING PAVEMENT EDGE		NEW FIRE SERVICE
	EXISTING CURB		NEW TRASH OR RECYCLE BIN
	EXISTING PAINT STRIPE		NEW SEWER CLEANOUT
	EXISTING CONCRETE		NEW WATER METER
	EXISTING FENCE		NEW BACKFLOW PREVENTER
	NEW CURB		NEW FIRE HYDRANT
	NEW PAINT STRIPE		NEW FIRE CONNECTION
	NEW ASPHALT		NEW TRANSFORMER
	NEW CONCRETE		SURVEY MONUMENTATION AS NOTED
	NEW FENCE		PARKING SPACE COUNT
	NEW RAILING		ZONING DIVISION
	NEW WALL		SIGHT VISIBILITY TRIANGLE
	EXISTING PARKING METER		RIGHT-OF-WAY
	EXISTING SIGN		RECORDED DISTANCE
	EXISTING STREET/TRAFFIC LIGHT		RADIUS
	EXISTING SEWER		PAVEMENT (ASPHALT)
	EXISTING WATER		CONCRETE
	EXISTING OVERHEAD ELECTRIC		TOP OF CURB
	EXISTING GAS LINE		FINISHED FLOOR ELEVATION
	EXISTING SEWER MANHOLE		
	EXISTING WATER METER		

DEVELOPMENT PACKAGE for UNION ON 6TH



SHEET INDEX

- | | | |
|---|---|--------------------------|
| 1. COVER SHEET | 11. NATIVE PLANT PRESERVATION PLAN | 21. SITE AMENITY DETAILS |
| 2. NOTES | 12. HARDSCAPE SITE PLAN | 22. LANDSCAPE DETAILS |
| 3. SITE PLAN - BUILDING #1 | 13. HARDSCAPE ENLARGEMENT - WEST BUILDING | 23. IRRIGATION DETAILS |
| 4. SITE PLAN - BUILDING #2 | 14. HARDSCAPE ENLARGEMENT - WEST BUILDING | 24. ADDRESSING |
| 5. PARKING PLAN | 15. HARDSCAPE ENLARGEMENT - EAST BUILDING | 25. ADDRESSING |
| 6. GRADING + DRAINAGE PLAN - BUILDING #1 | 16. LANDSCAPE PLAN - WEST | 26. ADDRESSING |
| 7. GRADING + DRAINAGE PLAN - BUILDING #2 | 17. LANDSCAPE PLAN - EAST | 27. ADDRESSING |
| 8. UTILITIES + EASEMENTS PLAN - BUILDING #1 | 18. IRRIGATION PLAN - WEST | 28. ADDRESSING |
| 9. UTILITIES + EASEMENTS PLAN - BUILDING #2 | 19. IRRIGATION PLAN - EAST | 29. ADDRESSING |
| 10. DETAILS | 20. HARDSCAPE DETAILS | 30. ADDRESSING |

ARCHITECT

VAUGHT FRYE LARSON ARCHITECTS
419 CANYON AVENUE SUITE 200
FORT COLLINS, COLORADO 80521
ATTN: MR. JUSTIN LARSON
PH: (970) 224-1191
E: justin@vfla.com

LANDSCAPE ARCHITECT

ARC STUDIOS INC.
3117 EAST FLOWER STREET
TUCSON, ARIZONA 85716
ATTN: MR. ERIC BARRETT
PH: (520) 882-9655
E: erb@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edtrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705



CYPRESS PROJECT NO: 17.097
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for UNION ON 6TH cover sheet



GENERAL PAVING + GRADING NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
2. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
4. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
6. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
7. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
9. CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
10. PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):

TOTAL CUT

TOTAL FILL

COMPOSITE

CY

CY

CY(C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
11. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
12. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
13. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
14. CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
16. THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING + GRADING NOTES (cont.)

17. CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
18. DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
19. ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
20. CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
21. ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
22. AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
23. ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
24. ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
25. PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
26. THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
27. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
28. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
29. THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
30. ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
31. CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accela/velohall/index.cfm?city=tucson&state=arizona>
32. ANY REVISION TO THE GRADING PLAN **MAY** REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
33. CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

1. A PROJECT SPECIFIC GEOTECHNICAL ENGINEERING INVESTIGATION AND ANALYSIS WAS NOT PROVIDED TO CYPRESS CIVIL DEVELOPMENT FOR THIS PROJECT. CYPRESS CIVIL ASSUMES NO RESPONSIBILITY AND/OR NO LIABILITY FOR THE SOILS INFORMATION SHOWN HEREON, TO INCLUDE PAVEMENT STRUCTURE SECTIONS. CYPRESS CIVIL WAS SPECIFICALLY DIRECTED BY THE PROJECT'S OWNER TO INDICATE THE PAVEMENT SECTIONS AS THEY ARE SHOWN ON THIS PLAN.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
3. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIP RAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIP RAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:
- SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL
- FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE **UNLESS OTHERWISE NOTED** ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.
- SEE RIP RAP NOTES FOR SPECIFICATIONS.

SWPPP NOTES

1. SEE THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN AS A PART OF THIS GRADING PERMIT.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT.
3. ALL REMAINING DISTURBED AREAS NOT OTHERWISE ALREADY TREATED SHALL BE STABILIZED IN A FINAL MANNER IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. A NOTICE OF TERMINATION TO CLOSE OUT THE SWPPP'S NOTICE OF INTENT CANNOT BE FILED WITH ADEQ UNTIL THESE FINAL STABILIZATION MEASURES ARE APPLIED.
4. THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE DETENTION/RETENTION BASIN AND SCARIFY THE BASIN BOTTOM ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION. INSTALL BMP'S AT THE BASIN INLET(S) TO PREVENT THE FINES FROM ENTERING THE BASIN.

SURVEY NOTES

1. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTERLINE OF 4TH AVENUE, AS SHOWN ON THE "MODERN STREET CAR" SURVEY, RECORDED IN SEQ.20120120179, RECORDS, PIMA COUNTY AZ. THE BEARING OF SAID LINE IS **N 00°52'58" W**.
2. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BASED ON PIMA COUNTY D.O.T./CITY OF TUCSON D.O.T. GEODETIC CONTROL POINT "EG01" . THE ELEVATION OF SAID BENCHMARK IS **2401.86'**, NAVD 88 DATUM.
3. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
ALTA LAND SURVEY, INC.
5930 E. PIMA STREET, SUITE 130
TUCSON, ARIZONA 85712
ATTN: MR. JOHN DAVID REYES, AZ RLS #41603
PH: (520) 398-6651
4. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
5. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

INFILL INCENTIVE DISTRICT (IID) NOTES

[NOTES/CONDITIONS TO BE DETERMINED]



CITY OF TUCSON

DEVELOPMENT PACKAGE PSDS APPROVAL

☐ Site/Dev Plan

☐ Tentative Plat

☐ Grading

☐ SWPPP

☐ FUP

☐ SCZ

☐ FRZ

☐ HDZ

☐ WASH

☐ Other

DVPKG MGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PL/ME _____ Date _____

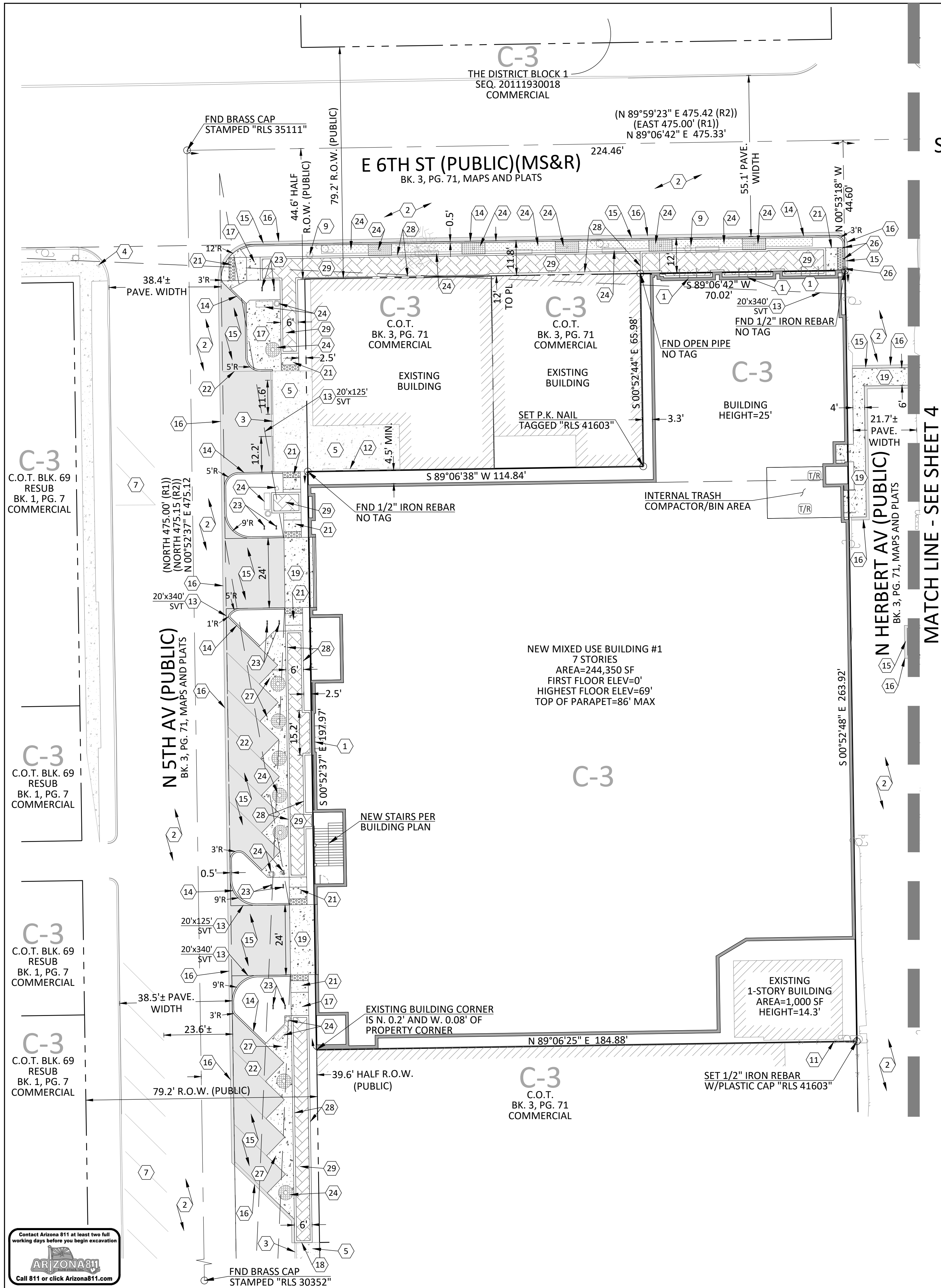
Revision # _____ ☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrst.com
				SITE ADDRESS
				314 EAST 6TH STREET TUCSON, ARIZONA 85705

PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
notes

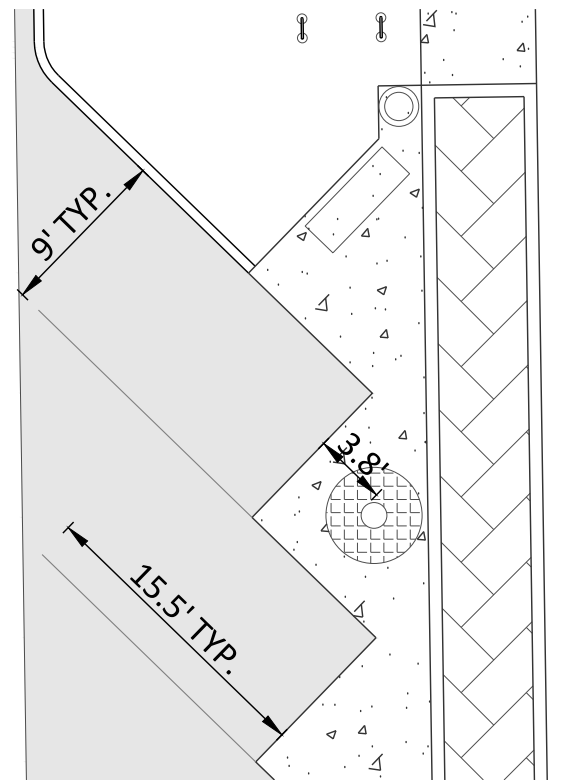
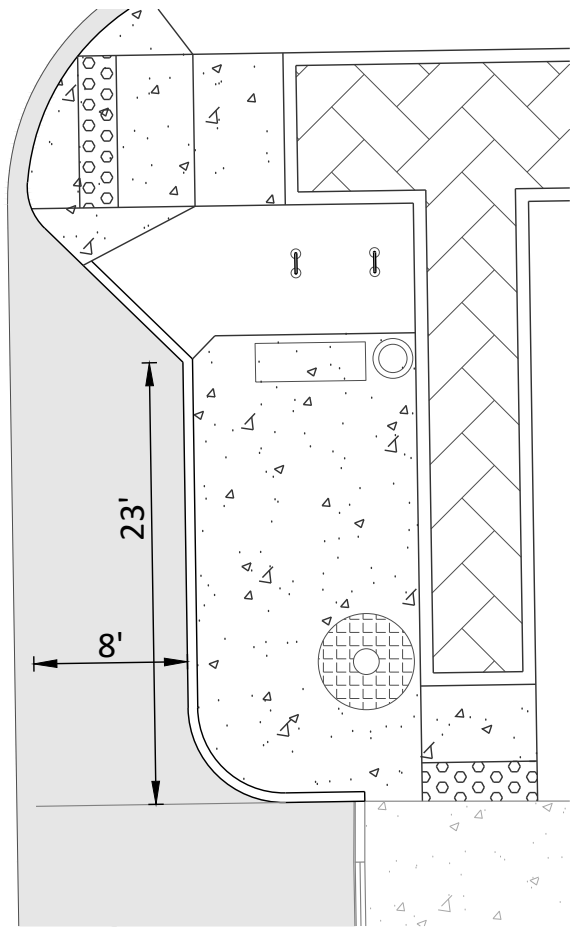
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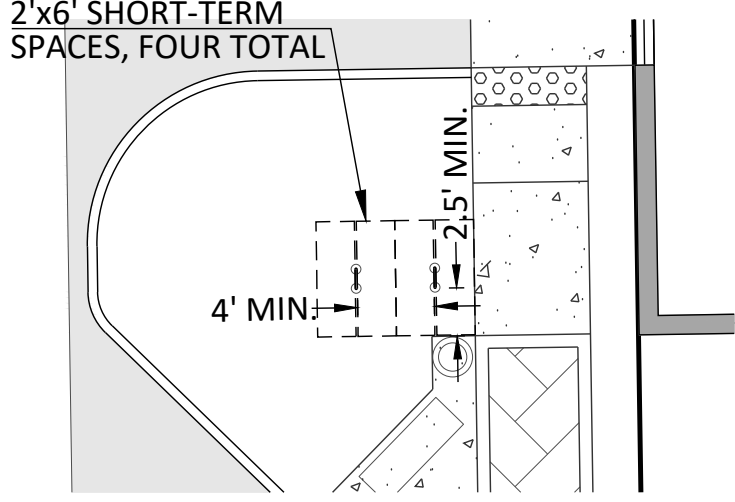
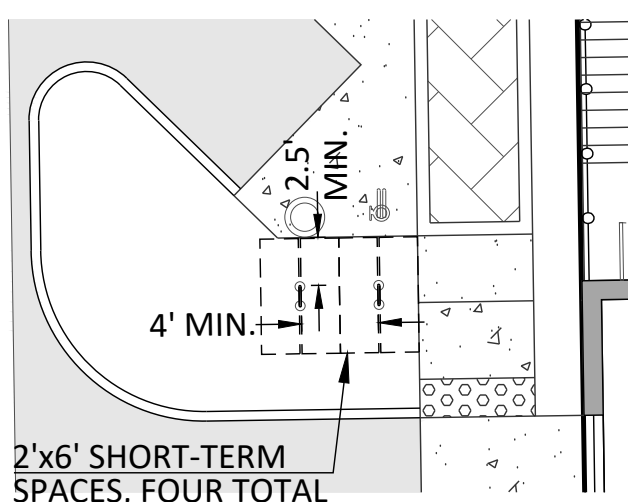
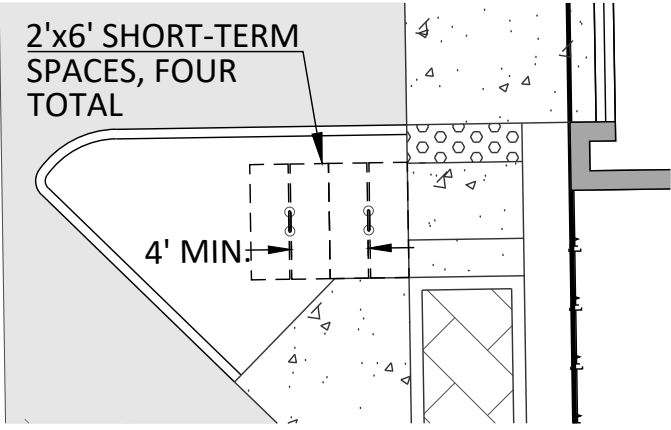
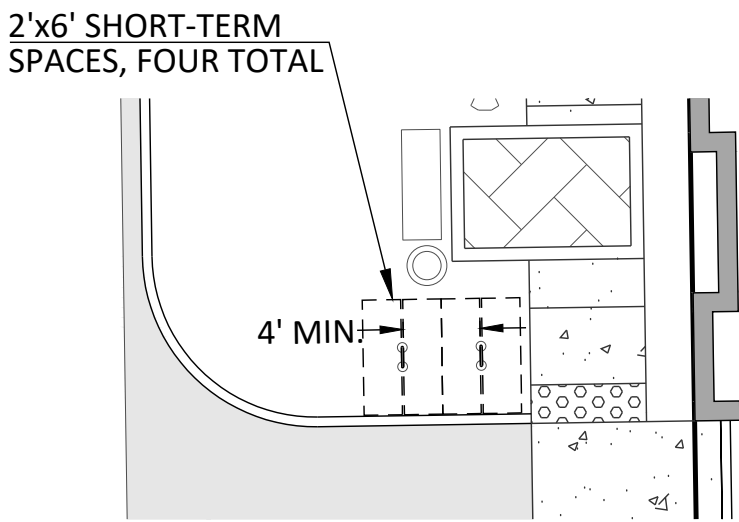
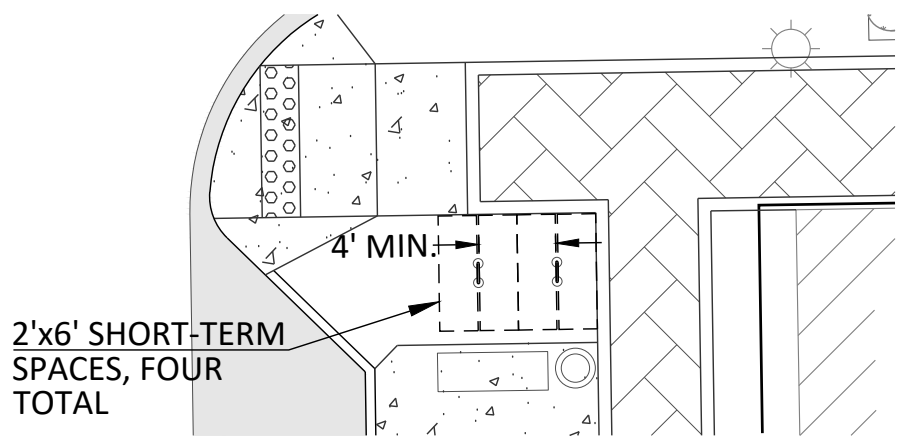
SCALE: 1"=20'

MATCH LINE - SEE SHEET 4

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 [NOT USED]
 - 7 EXISTING STRIPING TO REMAIN.
 - 9 EXISTING LIGHT TO REMAIN.
 - 11 EXISTING FENCE TO REMAIN.
 - 12 EXISTING WALL TO REMAIN.
 - 13 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 10. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 15 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 10.
 - 16 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 17 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 19 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 10.
 - 21 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207, EXCEPT AS MODIFIED HEREON.
 - 22 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 23 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL D, SHEET 10. FOR RACK SPACING SEE DETAIL, THIS SHEET.
 - 24 NEW SITE AMENITY (PLANTER, BENCH, ETC.). SEE LANDSCAPE PLANS (TYP.).
 - 26 NEW POST BARRICADE (TYPE A) PER PAG DETAIL 106.
 - 27 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL D, SHEET 10.
 - 28 NEW 8" WIDE CONCRETE HEADER PER LANDSCAPE PLAN.
 - 29 NEW BRICK PAVERS PER LANDSCAPE PLAN.



OFF-SITE PARKING DETAIL
SCALE: 1"=10'



BIKE RACK PLACEMENT DETAIL
SCALE: 1"=10'

CITY OF TUCSON

DEVELOPMENT PACKAGE

PDSD APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

☐ FUP ☐ Other

DVPKG MGR _____ **Date** _____

Zoning _____ **Date** _____

Engineering _____ **Date** _____

H/C Site _____ **Date** _____

Fire _____ **Date** _____

Landscape _____ **Date** _____

PL/ME _____ **Date** _____

Revision # _____ ☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC.
				999 SOUTH SHADY GROVE ROAD, SUITE 600
				MEMPHIS, TENNESSEE 38120
				ATTN: MR. RODNEY KING
				PH: (901) 259-2500
				EMAIL: rking@edrttrust.com
				SITE ADDRESS
				314 EAST 6TH STREET
				TUCSON, ARIZONA 85705

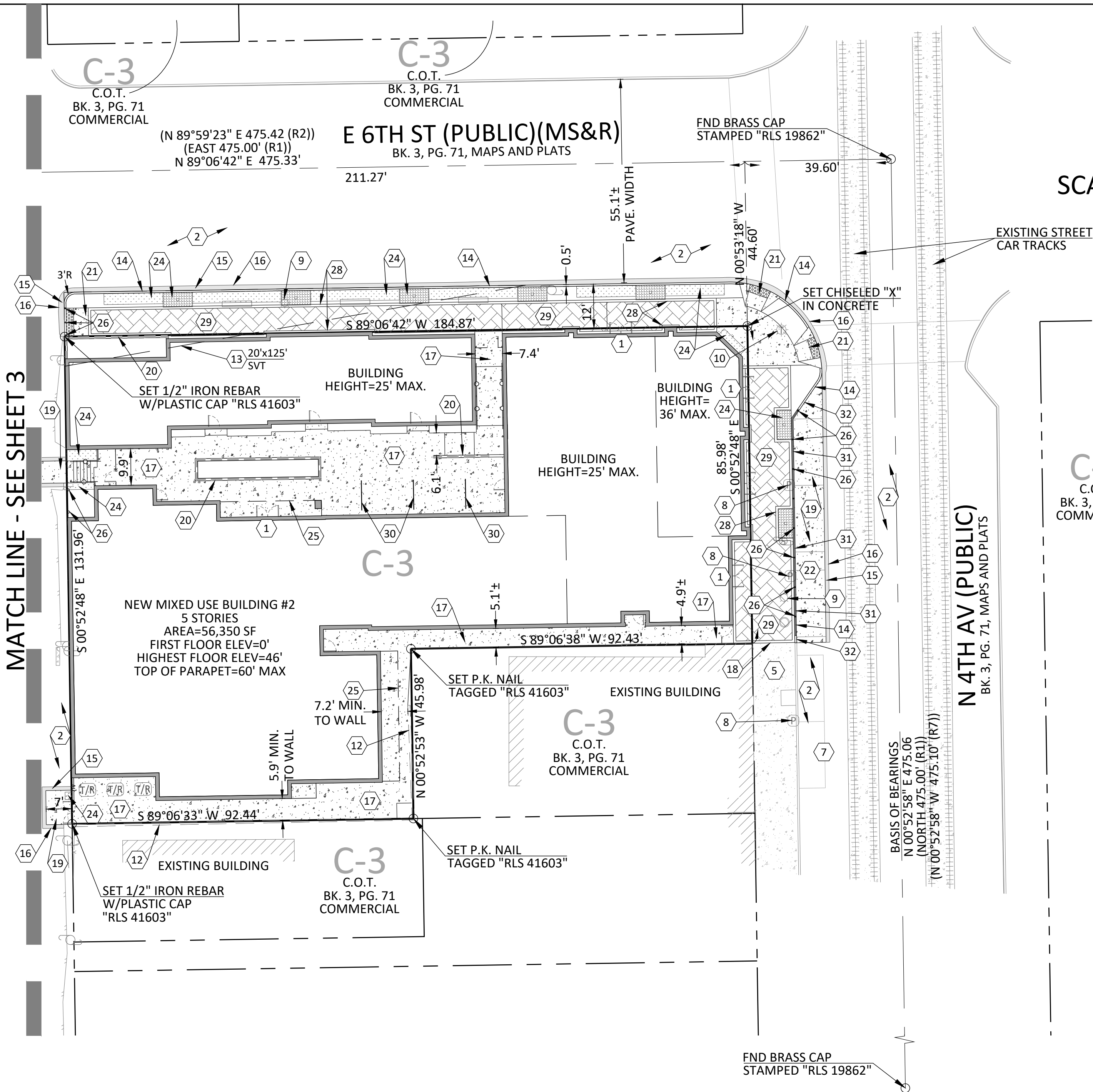


CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

CYPRESS PROJECT NO: 17.097

2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

DEVELOPMENT PACKAGE for
UNION ON 6TH
site plan - building #1



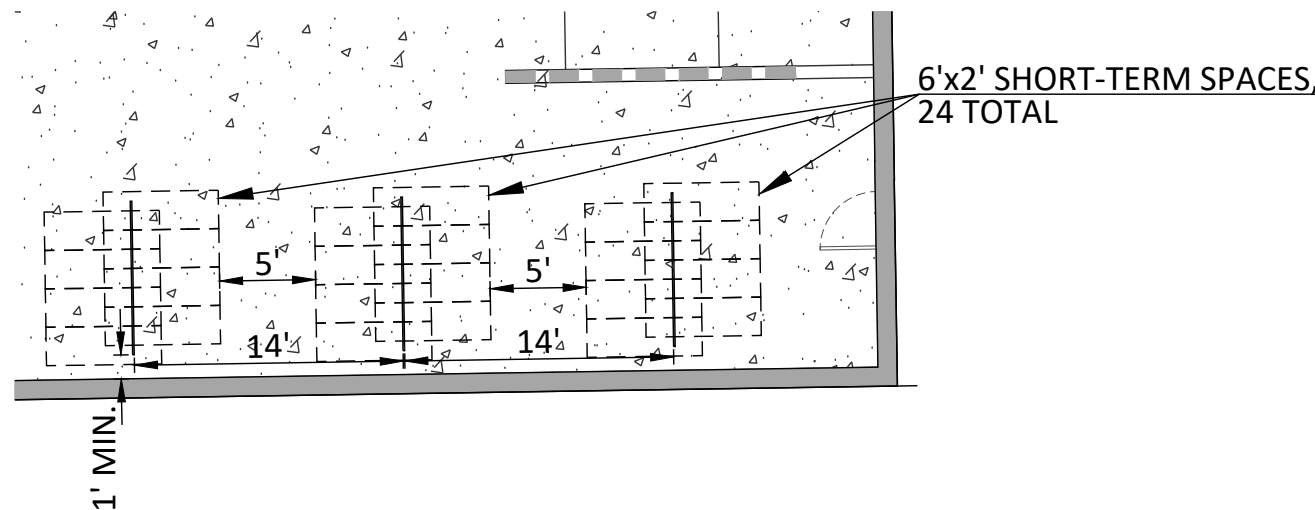
MATCH LINE - SEE SHEET 3

SCALE: 1"=20'

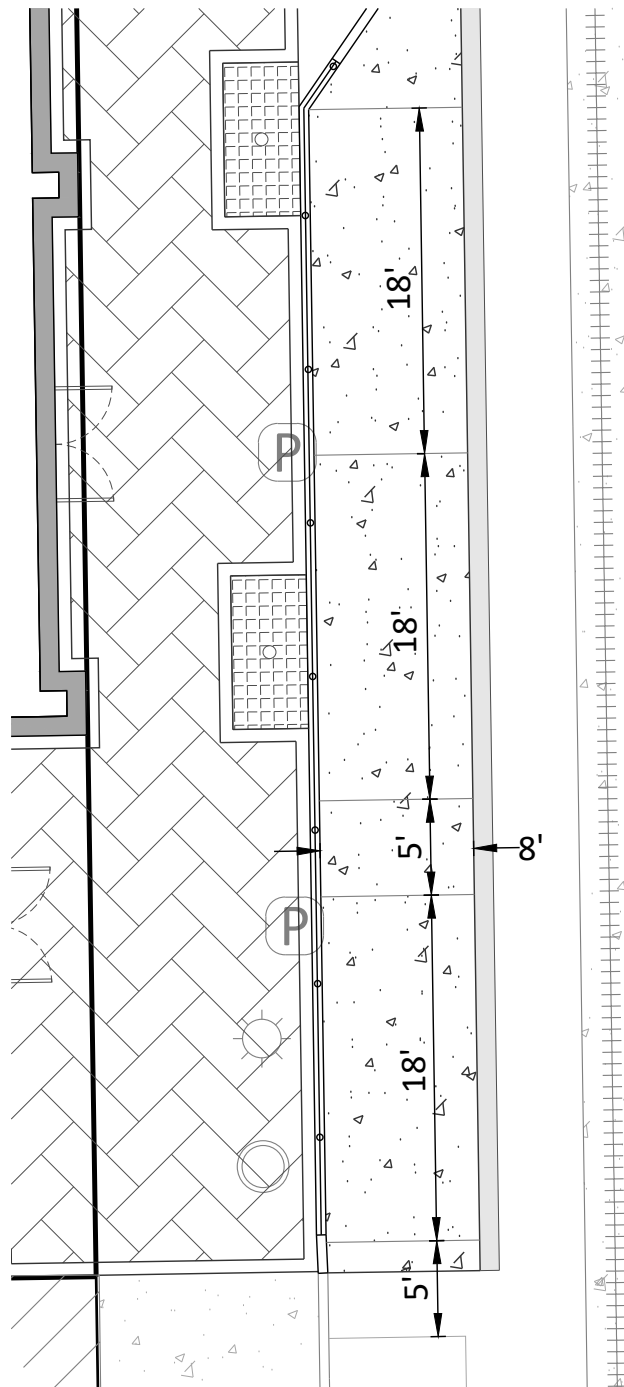
C-3
C.O.T.
BK. 3, PG. 71
COMMERCIAL

N 4TH AV (PUBLIC)
BK. 3, PG. 71, MAPS AND PLATS

NOTE: BICYCLE PARKING AREA TO
BE ILLUMINATED BY ADJACENT
BUILDING LIGHTING



BIKE RACK PLACEMENT DETAIL
BUILDING #2 SCALE: 1"=10'



OFF-SITE PARKING
4TH AV SCALE: 1"=10'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 [NOT USED]
 - 7 EXISTING STRIPING TO REMAIN.
 - 8 EXISTING PARKING METER TO REMAIN. CONTRACTOR TO RESET AS NEEDED.
 - 9 EXISTING LIGHT TO REMAIN.
 - 10 EXISTING STREET CAR POLE TO REMAIN.
 - 12 EXISTING WALL TO REMAIN.
 - 13 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 10. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 15 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 10.
 - 16 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 17 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 33 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 10.
 - 20 NEW WALL PER BUILDING PLANS.
 - 21 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207, EXCEPT AS MODIFIED HEREON.
 - 22 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 24 NEW SITE AMENITY (PLANTER, BENCH, ETC.). SEE LANDSCAPE PLANS (TYP.).
 - 25 NEW BUILDING OVERHANG PER BUILDING PLANS.
 - 26 NEW POST BARRICADE (TYPE B) PER PAG DETAIL 106.
 - 28 NEW 8" WIDE CONCRETE HEADER PER LANDSCAPE PLAN.
 - 29 NEW BRICK PAVERS PER LANDSCAPE PLAN.
 - 30 NEW SHORT-TERM BICYCLE RACK. OWNER/ARCHITECT TO PROVIDE DETAILS + FINISHES. FOR RACK PLACEMENT, SEE DETAIL, THIS SHEET.
 - 31 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 32 NEW CURB TRANSITION (VERTICAL TO HEADER) PER PAG DETAIL 212.

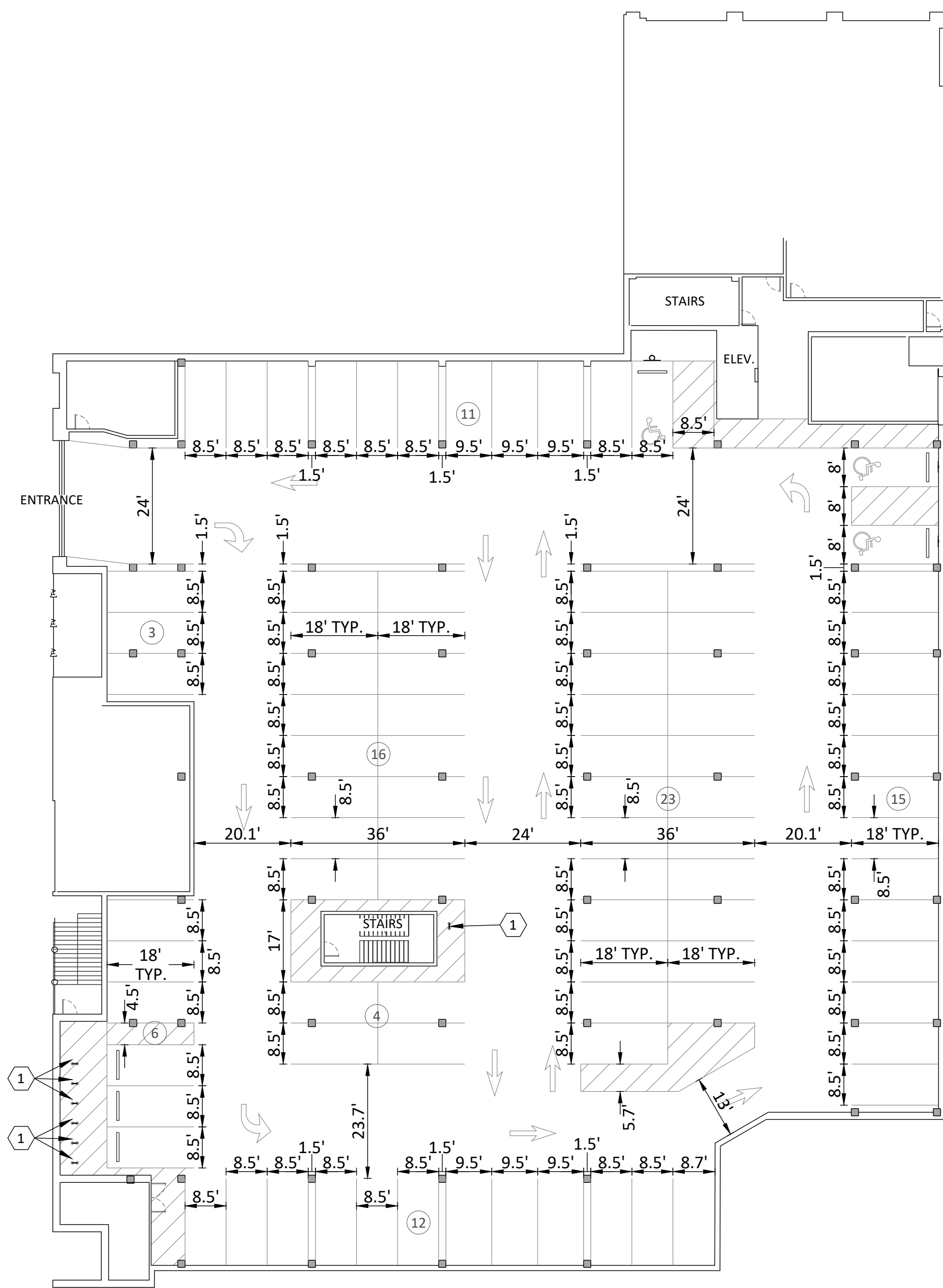
CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDSD APPROVAL	
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<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edtrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

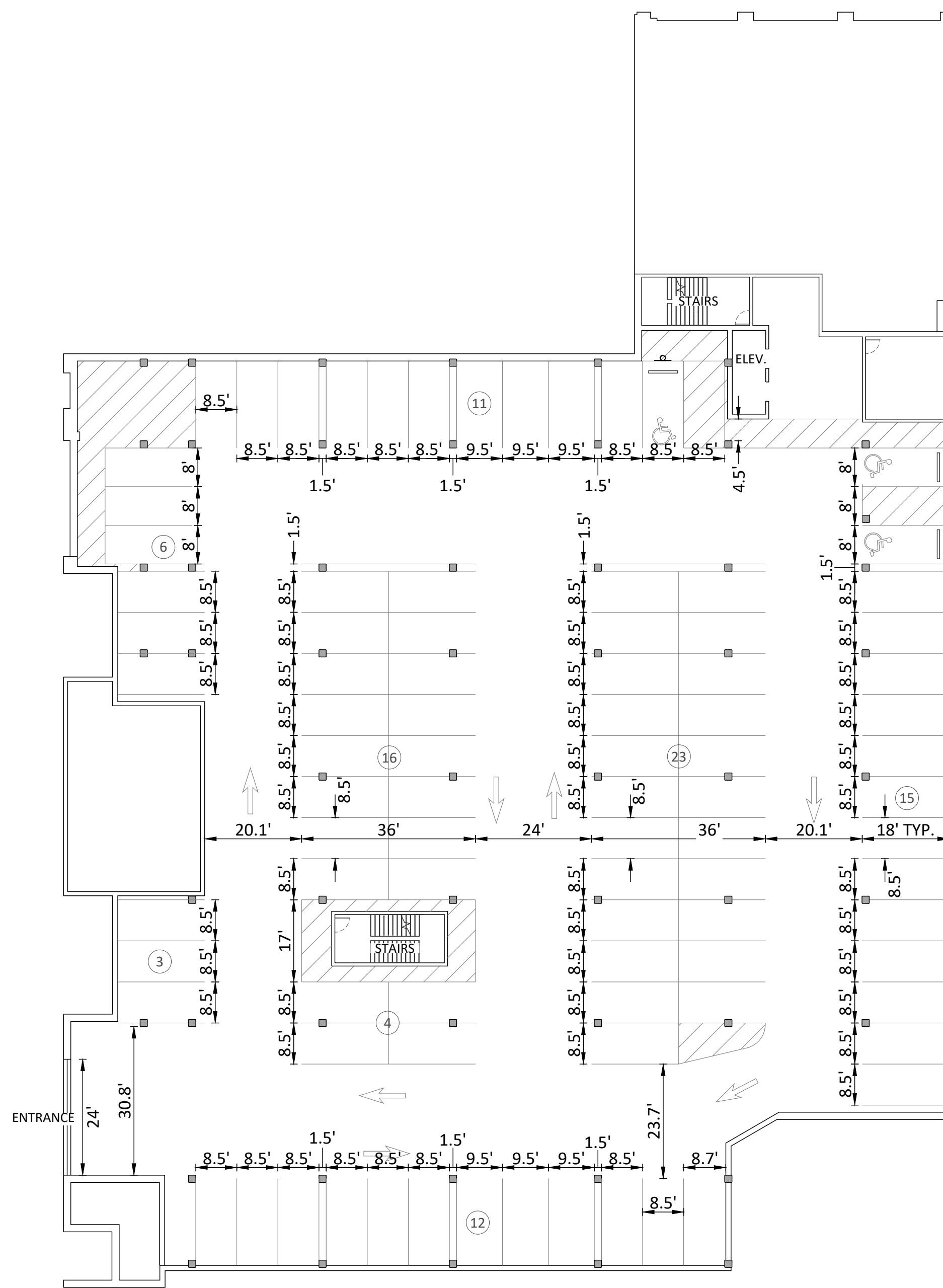
CYPRESS PROJECT NO: 17.097	2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cyppresscivil.com
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PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
AND PLATS. LOCATED IN THE NW 1/4 OF
THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
site plan - building #2

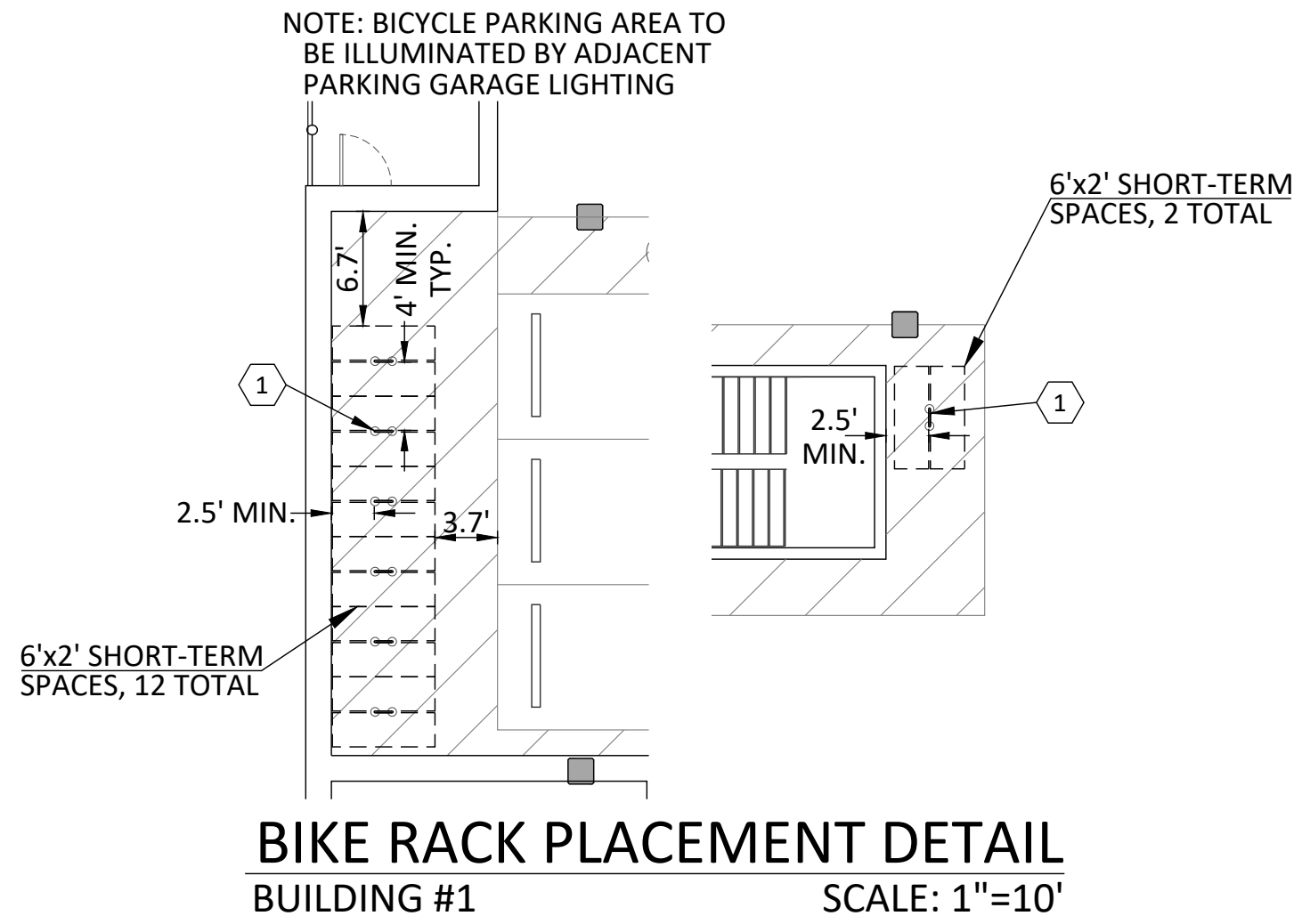


PARKING PLAN - BUILDING #1
GROUND FLOOR SCALE: 1"=20'



PARKING PLAN - BUILDING #1
BASEMENT SCALE: 1"=20'

- KEYNOTES**
- 1 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL D, SHEET 10. FOR RACK SPACING SEE DETAIL, THIS SHEET.
 - C COMPACT PARKING SPACE



CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
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DVPKG MGR _____	Date _____
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PL/ME _____	Date _____
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				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

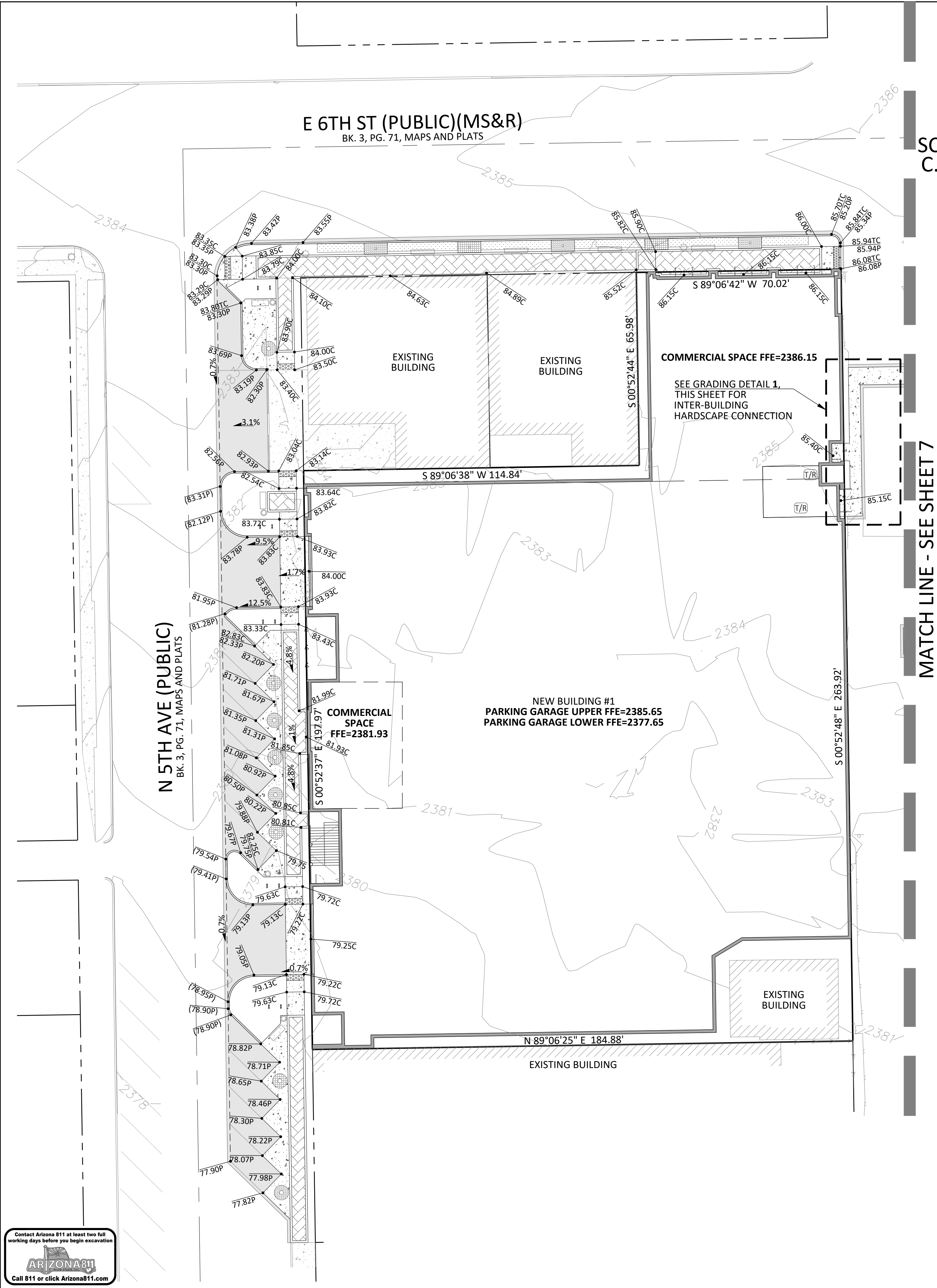
CYPRESS PROJECT NO: 17.097	2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cyresscivil.com
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PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

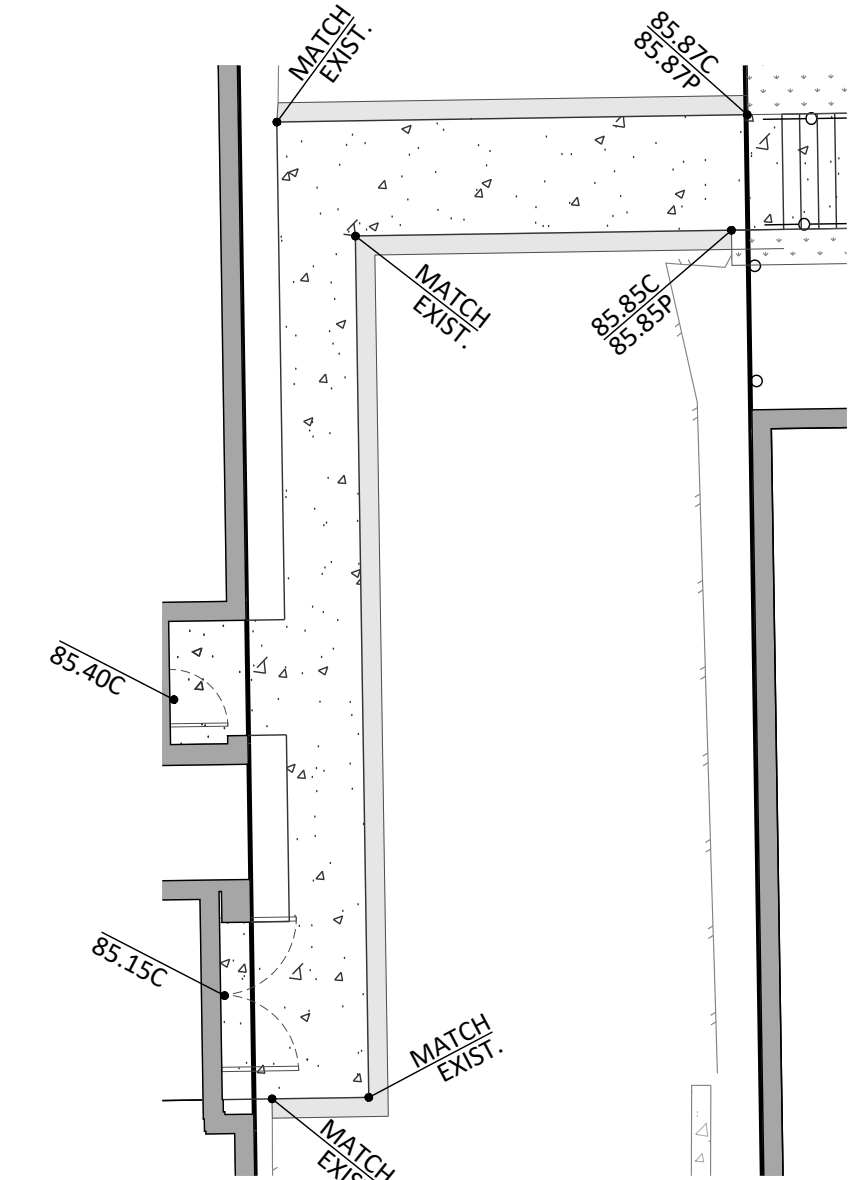
DEVELOPMENT PACKAGE for
UNION ON 6TH
parking plan





SCALE: 1"=20'
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 7



1 INTER-BUILDING HARDSCAPE
SCALE: 1"=10'

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com
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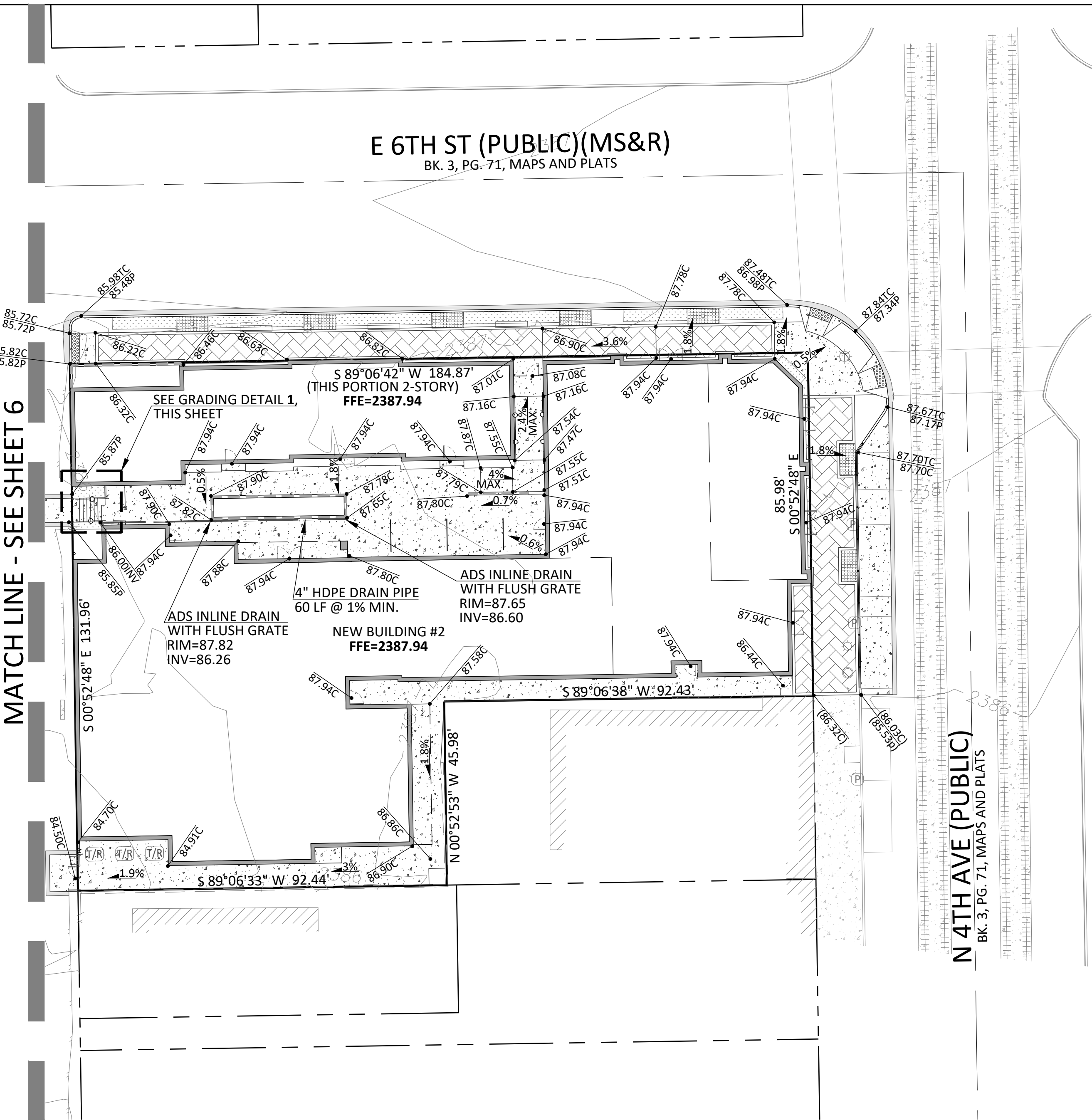
Professional Engineer
KEVIN M. HALL
ARIZONA, U.S.A.
Expires 06/30/2020

CYPRESS CIVIL DEVELOPMENT
strength + sustainability

CYPRESS PROJECT NO: 17.097
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
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THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
grading + drainage plan - building #1

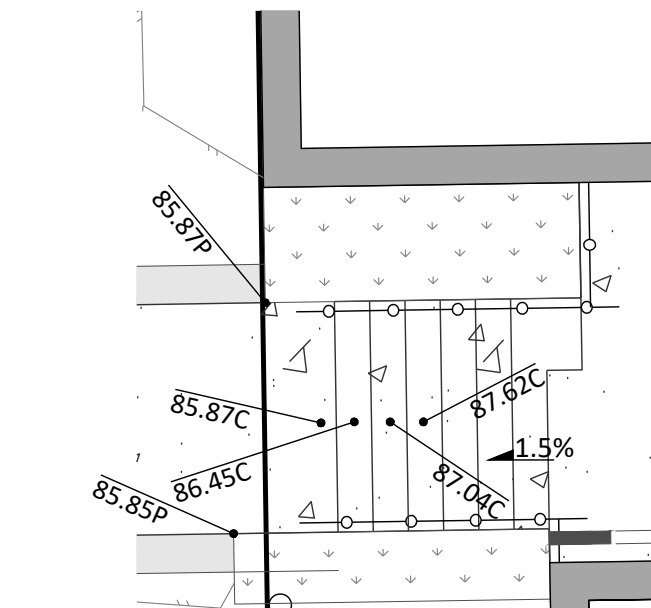


MATCH LINE - SEE SHEET 6

E 6TH ST (PUBLIC)(MS&R)
BK. 3, PG. 71, MAPS AND PLATS

SCALE: 1"=20'
C.I. = 1 FOOT

N 4TH AVE (PUBLIC)
BK. 3, PG. 71, MAPS AND PLATS



1 STAIR GRADING DETAIL
SCALE: 1"=5'



CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

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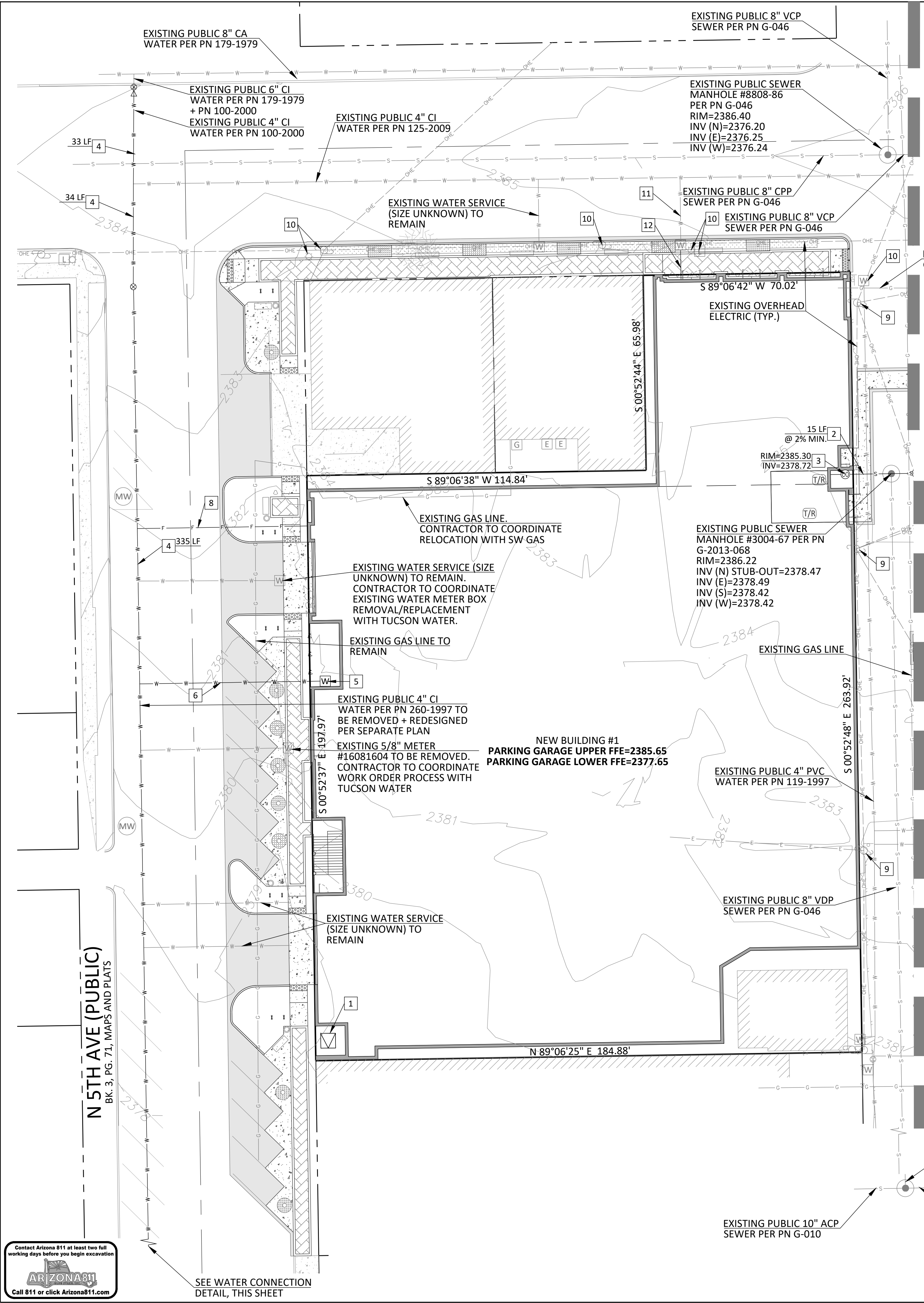
CYPRESS PROJECT NO: 17.097
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
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PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
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E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for
UNION ON 6TH
grading + drainage plan - building #2**

DP

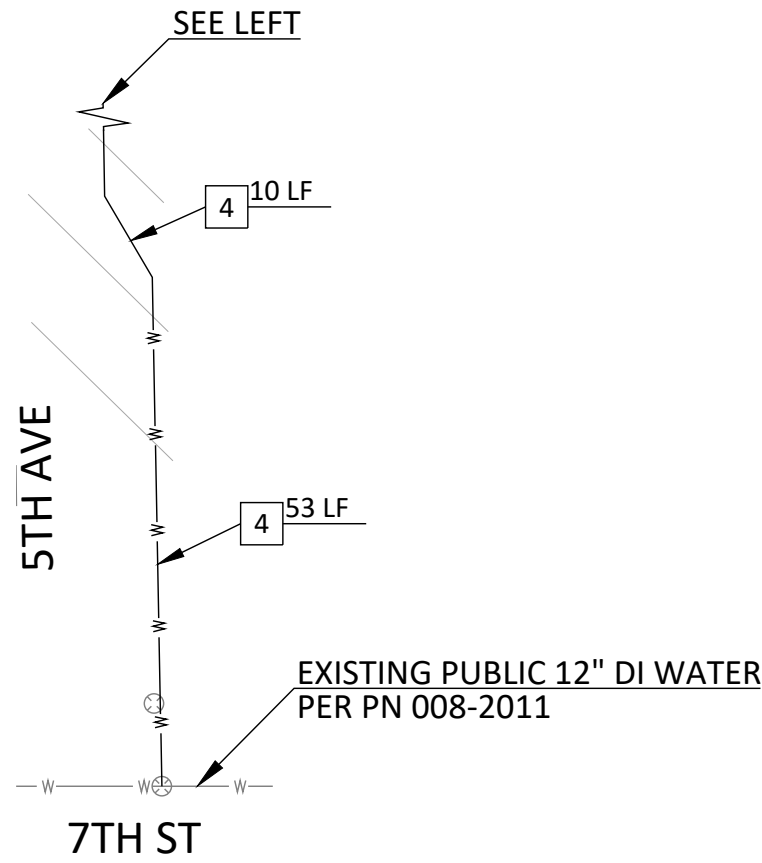
7
OF
30



SCALE: 1"=20'
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 9

WATER CONNECTION DETAIL
SCALE: 1"=20'



- UTILITY KEYNOTES**
- 1 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN.
 - 2 NEW PRIVATE 8" PVC SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE. CONNECT TO EXISTING MANHOLE AS SHOWN PER PCRWRD STANDARDS + SPECIFICATIONS.
 - 3 NEW 8" SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S). CONTRACTOR TO CONFIRM INVERT WITH PLUMBING PLAN.
 - 4 NEW PUBLIC 8" PVC WATER LINE PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH.
 - 5 NEW 4" WATER METER.
 - 6 NEW 4" WATER SERVICE.
 - 7 [NOT USED]
 - 8 NEW 6" PVC FIRE SERVICE AND BACKFLOW PREVENTER.
 - 9 EXISTING POWER POLE. CONTRACTOR TO COORDINATE RELOCATION, AS REQUIRED, WITH TUCSON ELECTRIC POWER COMPANY.
 - 10 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - 11 EXISTING WATER SERVICE (SIZE UNKNOWN). NEW 1" METER AND 1" BACKFLOW PREVENTER. CONTRACTOR TO COORDINATE WORK WITH TUCSON WATER.
 - 12 NEW PRIVATE 1" WATER SERVICE.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

PRIVATE FIRE SUPPRESSION NOTES

1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
2. MINIMUM DEPTH OF BURY TO BE 36".
3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.



SEE WATER CONNECTION
DETAIL, THIS SHEET

CITY OF TUCSON	DEVELOPMENT PACKAGE
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edtrtrust.com
CYPRESS PROJECT NO: 17.097				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
				2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com
CYPRESS CIVIL DEVELOPMENT strength + sustainability				
PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for UNION ON 6TH utilities + easements plan - building #1



7

- 1

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

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4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

DP

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
AND PLATS. LOCATED IN THE NW 1/4 OF
THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

ESS PROJECT NO: 17.097


SS
MENT
ability

2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

MENT ability

DEVELOPMENT PACKAGE for
UNION ON 6TH
utilities + easements plan - building #2



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: r.king@edrtrust.com
		CYPRESS PROJECT NO: 17.097 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com		CYPRESS CIVIL DEVELOPMENT strength + sustainability
		CYPRESS PROJECT NO: 17.097 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com		SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA		DEVELOPMENT PACKAGE for UNION ON 6TH details		



SALVAGE SCHEDULE:

The salvage work will be accomplished by a licensed contractor who has experience in the salvage of native desert material. This work will be performed at a time of year when successful salvage is likely. Additionally, the salvage contract will contain language requiring the replacement of any salvaged material which does not survive the transplant.

The material will be moved to a holding yard during the grading operation and then planted in conformance with the landscape plan. Water will be provided from the residential water meter and an automatic timer will regulate the irrigation water applied. Water will be applied through a drip irrigation system. The native plant monitor will track the condition and watering of all salvaged material.

NPPO LEGEND

- Transplanted on site (TOS)
- Preserve in place (PIP)
- Velvet Mesquite
- Barrel Cactus
- Ocotillo

NATIVE PLANT PRESERVATION KEY NOTES

- Property line
- Project/grading limit
- Tree off-site shall be pruned and protected from construction

SITE CALCULATIONS

Total site area: 61,364 sf (1.4 acres)
Proposed graded area: 60,364 sf (1.39 acres)

ABBREVIATIONS:

The following abbreviations were used in the comment column. Number in (#) refer to plant requirements for preserved in place or salvaged

- BL broken limbs - tree has significant broken branches
- PROX other vegetation in the vicinity will make salvage difficult
- TD trunk damage - trunk has excavated at the base of the tree
- BD/RD base of saguaro has suffered rodent damage
- MU multi-trunk, no single defined trunk
- LB low branch, unable of preserving low branch for salvage or relocate
- DW dead wood significant limb dieback
- IN infestation of insect, damage to main limbs
- OT old trunk
- ST stunted trunk
- PD prune damage
- MT mistletoe infection of main limbs
- PF poor form tree leaning or structure not supportive of vegetation
- LE leaning sign of decline and poor health
- SL slope - tree is on steep slope where salvage will not be possible
- SO soils are loose and rocky, salvage will be difficult
- SR surface roots are evident making excavation difficult
- SZ size of the tree, either spread, caliper or height is not conducive to salvage
- VAND vandalized - saguaro has been cut or chopped
- PIP preserved in place
- TOS transplant on site
- RFS remove from site
- SAL salvage - used during field inventory to identify trees that should be salvaged regardless of % requirements

NATIVE PLANT PRESERVATION PLAN OVERVIEW:

This site is located south of 6th Street and west of 4th Ave near the University of Arizona. The plant material on this site is in fair condition. The vegetation within the project area is representative of the Arizona upland subdivision of Sonoran desert scrub. Specifically, this site is characterized by sporadic occurrences of mesquite, and ocotillo.

No noxious or invasive species are visually prominent within the clearing limits. No special status including federally listed threatened, endangered species or highly safeguarded species of plant life were identified on this site.

SALVAGE/PRESERVATION REQUIREMENTS:

- The developer must fence off the vegetation to be preserved in place as required by section 2-15.6.0 of the city of Tucson development standards.
- The developer must provide signage in three locations indicating the flagging key used on the vegetation. This signage is for construction personnel and the general public.
- The developer must provide language within his construction contracts providing for the protection of the vegetation and adherence to the preservation plan.
- Plants have been tagged in accordance with section 2-15.5.0. This includes metal tags. Color coding shall be provided by contractor prior to request for City of Tucson inspection:
 - white - preserve in place
 - yellow - remove from site
 - blue - transplant on site
- On-site monitoring of all aspects of site clearing, grading, plant protection, preservation, salvage and mitigation shall be provided during project construction at the expense of the developer. The monitoring shall be performed by an individual who is qualified in arid lands native plant resource identification and protection as specified in sec. 3.8.4, general provisions and requirements. The monitor shall provide periodic progress reports to the developer outlining the status or work accomplished and any problems encountered. Development services department shall receive a copy of these reports for the project file. The monitor shall be responsible for an assessment of the condition of the site's plants one (1) year after the final inspection as been performed on the site. The monitor shall visit the site and prepare a report on plant status, including general plant condition, the identification of plants under stress and the appropriate method to relieve the stress, and recommendations for replacement of plants that are dead or dying. Dead or dying plants shall be replaced with the same size plant at a one-to-one (1:1) ratio of like genus and species. Copies of the report shall be submitted to the site owner/developer and to the development services department - landscape section luc.3.8.6.7.D. The owner shall respond to the plant needs as outlined in the status report within six (6) months of report submittal or within a shorter period if required to improve the health of stressed plants and prevent plant loss.
- A pre-permit npp inspection will be required prior to any site disturbance. Call 520-791-3111.

SITE INVENTORY:

Number	Scientific Name	Common Name	Size	Viability	Transplantability	Comments	Disposition
1	Prosopis velutina	Velvet Mesquite	6"	H	H		TOS
2	Fouquieria splendens	Ocotillo	14'	H	H		TOS
3	Fouquieria splendens	Ocotillo	14'	H	H		TOS
4	Fouquieria splendens	Barrel Cactus	1'	H	M	LE/Double	TOS
5	Prosopis velutina	Velvet Mesquite	18"	M	L	PL/UT/ Off Site	RFS
6	Prosopis velutina	Velvet Mesquite	24"	H	M	Off Site/PROX	PIP

NATIVE PLANT PRESERVATION WORKSHEET

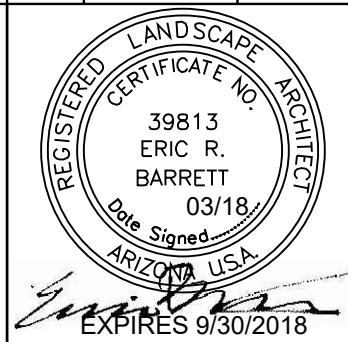
	Ferocactus wislizenii	Fouquieria splendens	Prosopis velutina
1. Viable Plants	1	2	2
2. PIP/TOS required	0	1	1
3. Proposed PIP	0	0	0
4. Required TOS	0	1	1
5. Proposed TOS	1	2	1
6. Excess TOS	1	1	0
7. Total On Site	1	2	1
8. Total plants RFS	0	0	1
9. PIP credits	0	0	0
10. TOS Mitigation	0	1	1
11. RFS Mitigation	0	0	2
12. Total Mitigation	0	1	3
13. TOS Mitigation Reduction	-1	0	3
14. PIP Mitigation Reduction	-1	0	3
15. Required to be Provided	0	0	3
16. Total Required On-site	1	2	4

CITY OF TUCSON
DEVELOPMENT PACKAGE
PDSD APPROVAL

☐ Site/Dev Plan ☐ SCZ
☐ Tentative Plat ☐ FRZ
☐ Grading ☐ HDZ
☐ SWPPP ☐ WASH
☐ FUP ☐ Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
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Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ ☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY
OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:			
SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705			
DEVELOPMENT PACKAGE for UNION ON 6TH native plant preservation plan			

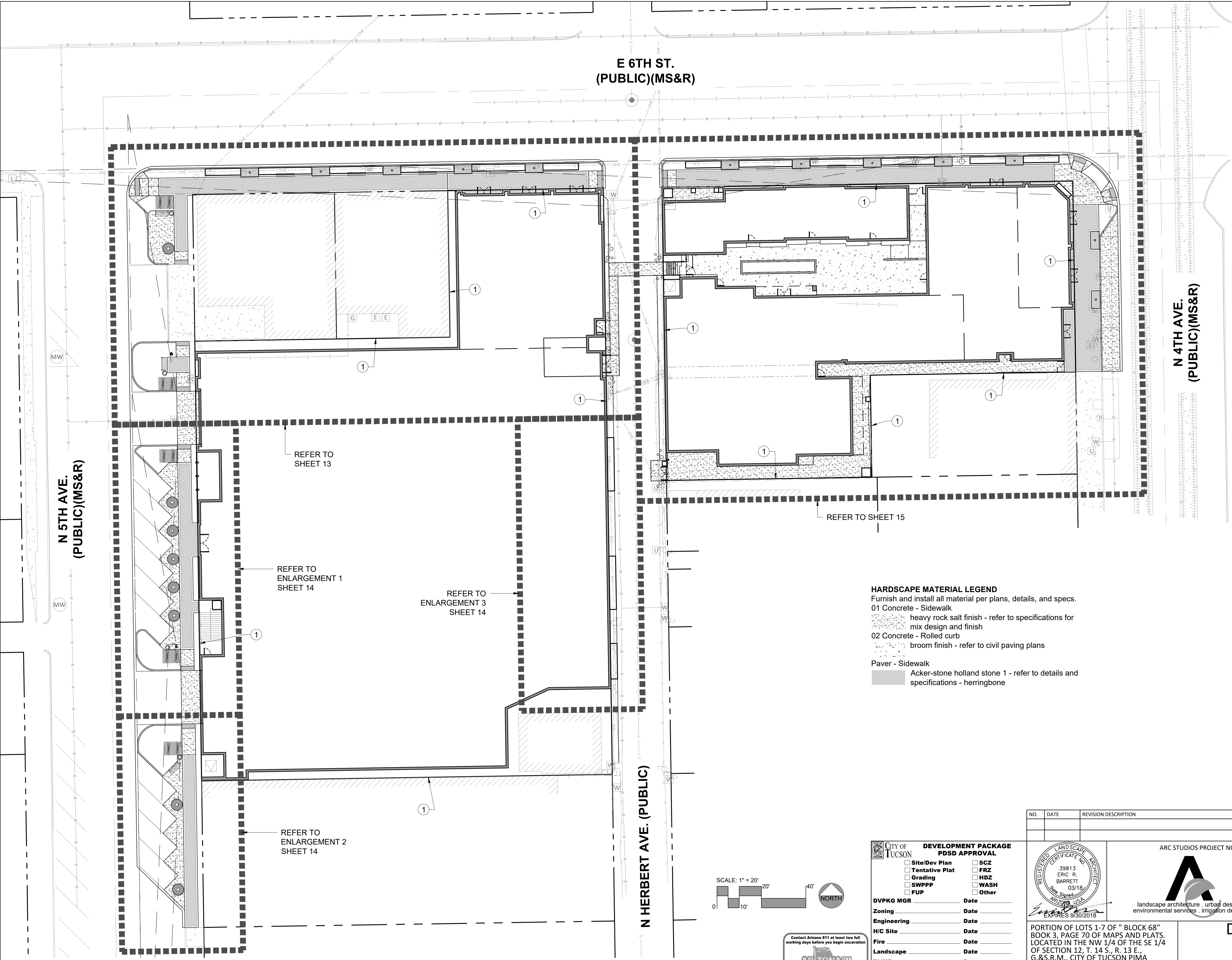


ARC STUDIOS PROJECT NO: 01-17090

ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.882.9655
www.arcstudiosinc.com

landscape architecture · urban design
environmental services · irrigation design

PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA



- # HARDSCAPE KEY NOTES
- 1. Property line
 - 2. Sight visibility triangle
 - 3. Existing curb
 - 4. Concrete curb - refer to civil
 - 5. Concrete paving - refer to civil
 - 6. Concrete turndown
 - 7. Existing sidewalk
 - 8. Concrete sidewalk
 - 9. Paver sidewalk
 - 10. Tree grate 01
 - 11. Tree grate 02
 - 12. Steel planter 12" high
 - 13. Steel planter 8" high
 - 14. Steel planter box
 - 15. Bollards
 - 16. Truncated domes
 - 17. Sonotube concrete bench
 - 18. Vehicle overhang
 - 19. Building/structure overhead, typ.
 - 20. Custom bench with live edge mesquite slab
 - 21. Skate board rack
 - 22. Bike rack
 - 23. Bike repair station
 - 24. Trash receptacle
 - 25. Flush grade planter
 - 26. Bench - landscape forms o.a.e.

- GENERAL HARDSCAPE NOTES:
- 1. All required shop drawings to be submitted to Landscape Architect for review and approval prior to construction.
 - 2. Contractor to submit samples of all proposed materials to Landscape Architect prior to installation.
 - 3. Contractor to obtain written approval for color and finishes requested by owner prior to installation.
 - 4. Contractor to insure all patios and hardscape elements drain away from structures - contractor is liable for all damages and related repairs incurred due to water damage as a result of improper drainage.
 - 5. Contractor to provide written change orders for all substitutions or changes recommended by contractor or requested by owner or landscape architect - failure to provide proof of written change order will result in non-payment for related item.
 - 6. Score line and control joint location shall be pre-approved by Landscape Architect - clarify all questions regarding scoring of concrete prior to installation - failure to provide score lines as shown on plan without a written change order will result in the possible removal and replacement of effected areas at the contractors expense.
 - 7. Contractor to schedule the following site inspections with Landscape Architect with 7 days prior notice:
 - a. Walk through prior to demolition
 - b. Approval of rough grade
 - c. Layout prior to forming
 - d. Formwork, sleeving and rebar placement
 - e. Masonry/framing prior to finishes
 - f. Trenching, wiring and plumbing
 - g. Final walk through- finishes, punch list it

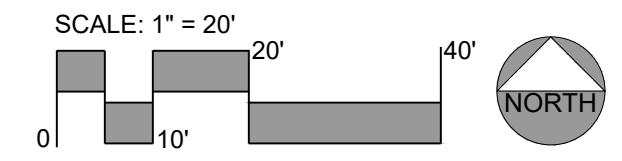
- GENERAL CONCRETE NOTES:
- 1. Contractor to insure positive drainage away from all structures - minimum 1/8" of fall per lineal foot of paved surface or as required.
 - 2. All slabs to be installed over 4" ABC and have a 12" turn down on all edges - see detail sheet PG-6.
 - 3. All slabs to be minimum 3000 psi.
 - 4. All slabs adjacent to existing concrete to be doweled with 8" #4 rebar spaced 48" O.C. - set dowels 4" into existing concrete in pre-drilled and epoxied 5/8" hole set minimum 2" below top of existing slab.
 - 5. Daily Cleaning: contractor to wire brush and wash all surfaces soiled during installation or finishing of new concrete - contractor is liable for replacement or cleaning of all existing concrete surfaces, structures or site amenities damaged during construction.
 - 6. Furnish temporary protection for concrete surfaces subject to injury or damage.
 - 7. In hot and dry weather, protect concrete against too rapid drying.

HARDSCAPE MATERIAL LEGEND
Furnish and install all material per plans, details, and specs.

01 Concrete - Sidewalk
heavy rock salt finish - refer to specifications for mix design and finish

02 Concrete - Rolled curb
broom finish - refer to civil paving plans

Paver - Sidewalk
Acker-stone holland stone 1 - refer to details and specifications - herringbone



CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL			
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ	<input type="checkbox"/> FRZ	<input type="checkbox"/> HDZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> GRD	<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> Grading	<input type="checkbox"/> FUP	<input type="checkbox"/> Other	
DVPKG MGR	Date		
Zoning	Date		
Engineering	Date		
H/C Site	Date		
Fire	Date		
Landscape	Date		
PL/ME	Date		
Revision #	Date		
		<input type="checkbox"/> per letter in SIRE	

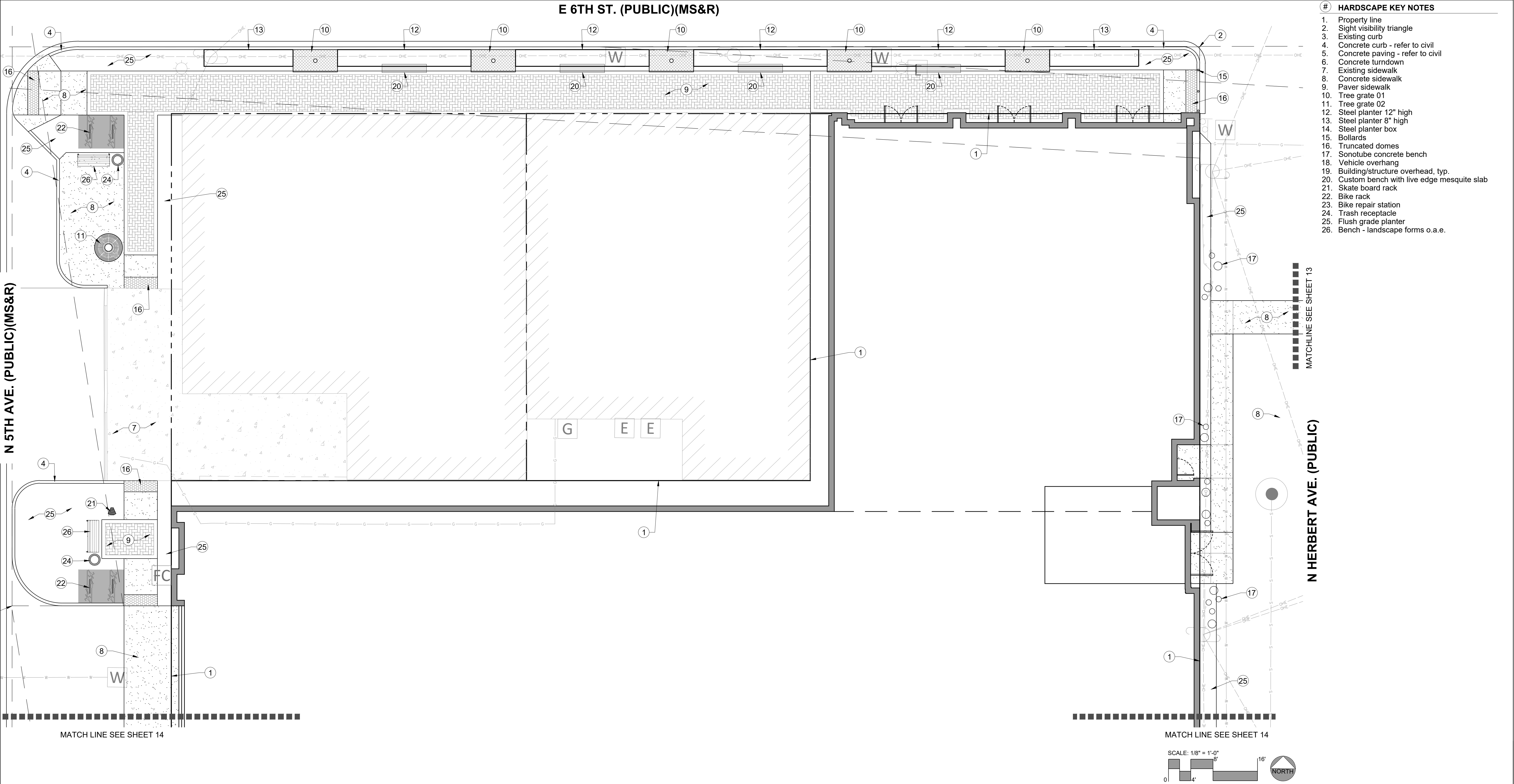
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

PORTION OF LOTS 1-7 OF " BLOCK 68" BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA



DEVELOPMENT PACKAGE for
UNION ON 6TH
hardscape site plan

NOT FOR CONSTRUCTION, NOT FOR BIDDING - FOR AGENCY REVIEW AND APPROVAL ONLY. LANDSCAPE AND IRRIGATION PLANS ARE NOT TO BE USED FOR LANDSCAPE, MASONRY, IRRIGATION, BIDDING OR CONSTRUCTION. ARC STUDIOS, INC. RETAINS ALL RIGHTS TO LANDSCAPE AND IRRIGATION PLANS. LANDSCAPE AND IRRIGATION PLANS MAY NOT BE REPRODUCED WITHOUT PRIOR APPROVAL BY ARC STUDIOS, INC.



- # HARDSCAPE KEY NOTES
- Property line
 - Sight visibility triangle
 - Existing curb
 - Concrete curb - refer to civil
 - Concrete paving - refer to civil
 - Concrete turndown
 - Existing sidewalk
 - Concrete sidewalk
 - Paver sidewalk
 - Tree grate 01
 - Tree grate 02
 - Steel planter 12" high
 - Steel planter 8" high
 - Steel planter box
 - Bollards
 - Truncated domes
 - Sonotube concrete bench
 - Vehicle overhang
 - Building/structure overhead, typ.
 - Custom bench with live edge mesquite slab
 - Skate board rack
 - Bike rack
 - Bike repair station
 - Trash receptacle
 - Flush grade planter
 - Bench - landscape forms o.a.e.

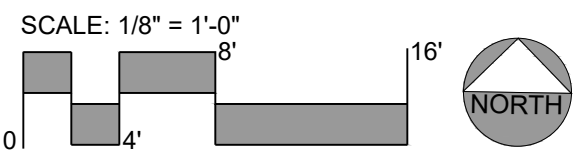
N 5TH AVE. (PUBLIC)(MS&R)

E 6TH ST. (PUBLIC)(MS&R)

N HERBERT AVE. (PUBLIC)

MATCH LINE SEE SHEET 14

MATCH LINE SEE SHEET 14



CITY OF TUCSON

DEVELOPMENT PACKAGE

PDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPMGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PL/ME _____ Date _____

Revision # _____ Date _____

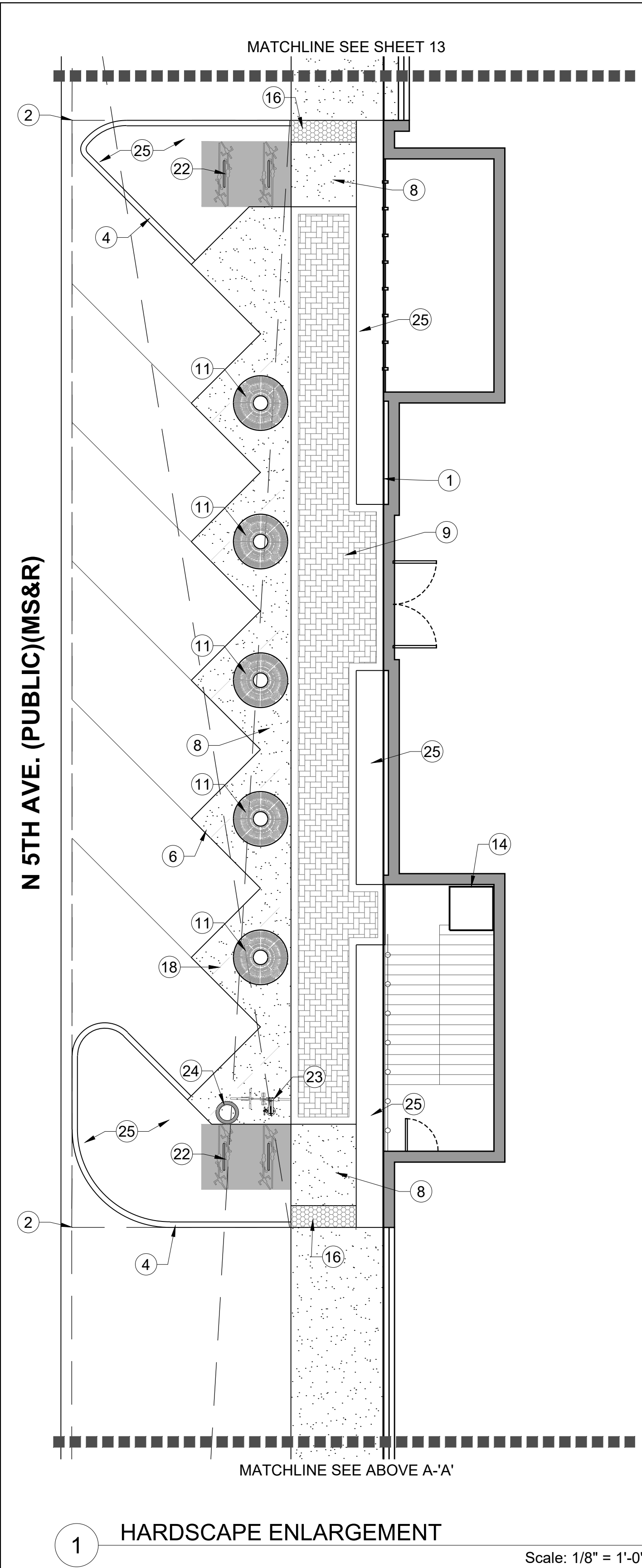
☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

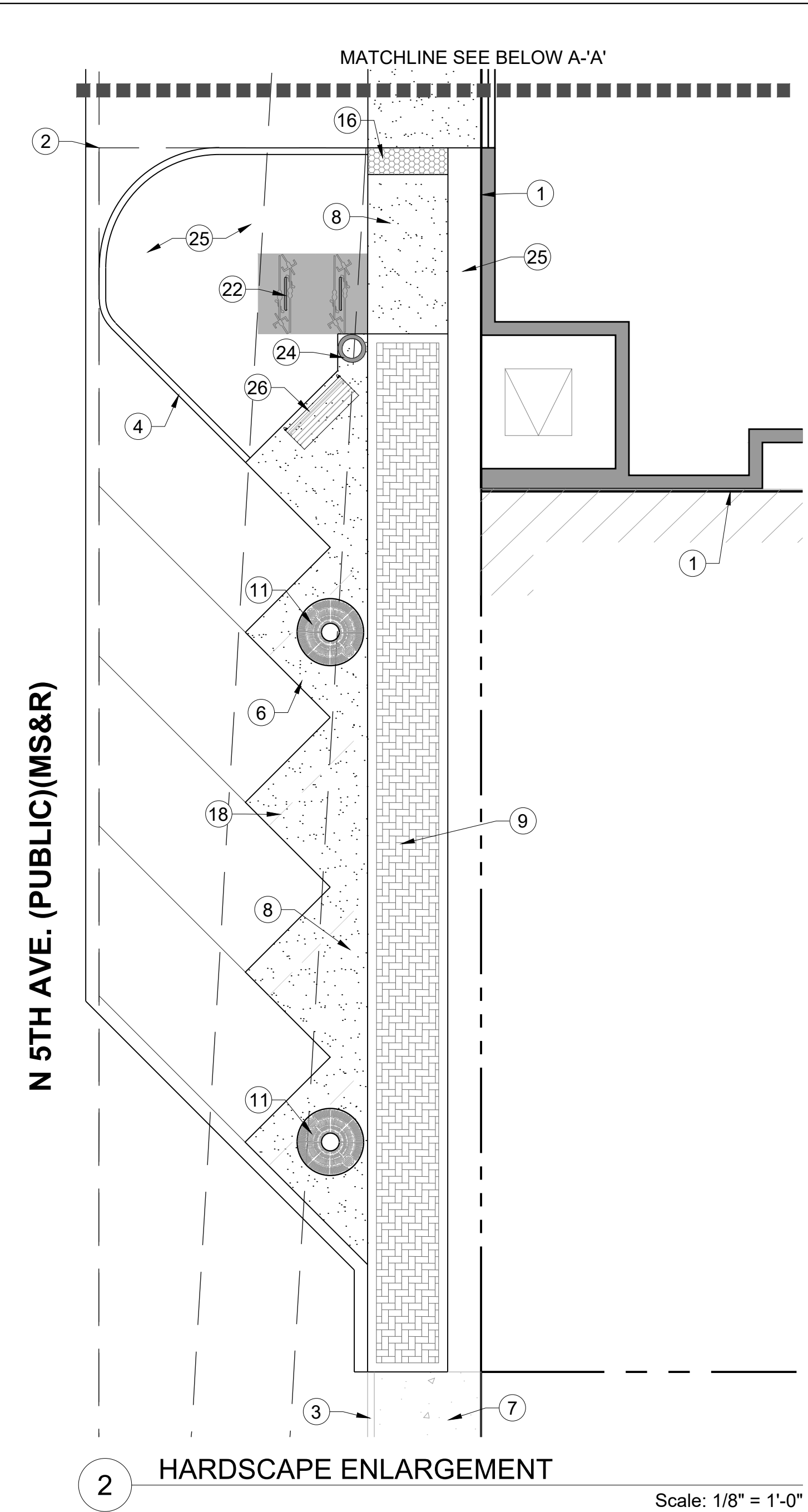
PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
hardscape enlargement - west building

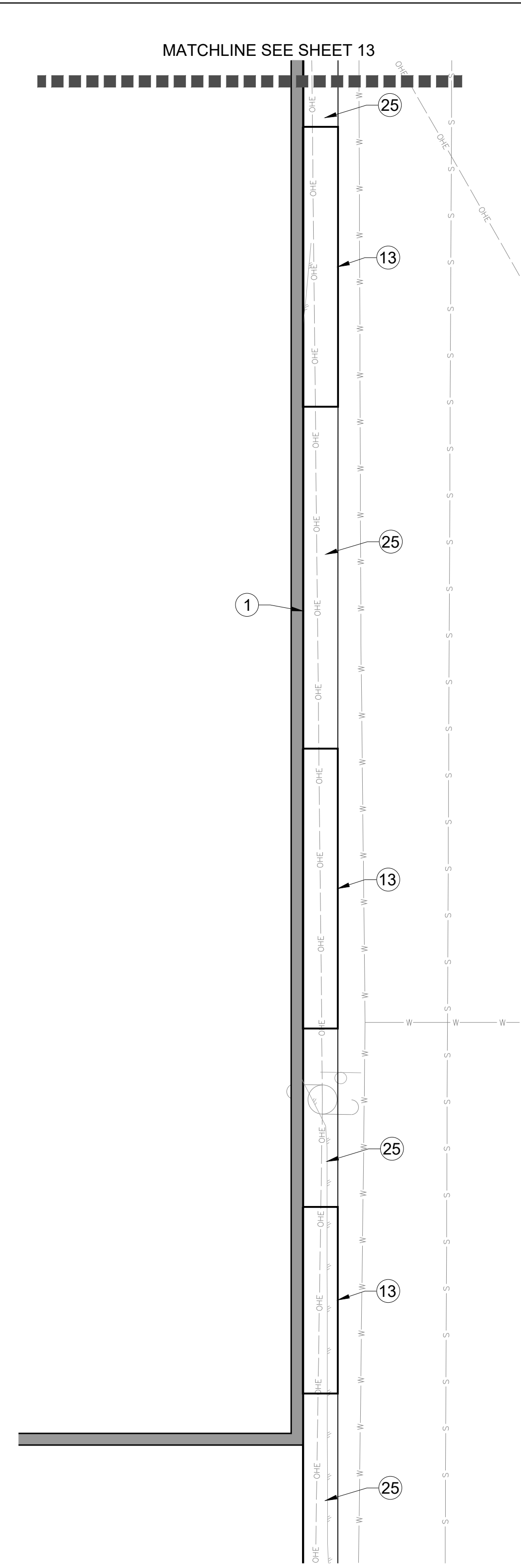
DP17-
13
OF
30



1 HARDSCAPE ENLARGEMENT
Scale: 1/8" = 1'-0"



2 HARDSCAPE ENLARGEMENT
Scale: 1/8" = 1'-0"



3 HARDSCAPE ENLARGEMENT
Scale: 1/8" = 1'-0"

- # HARDSCAPE KEY NOTES
1. Property line
 2. Sight visibility triangle
 3. Existing curb
 4. Concrete curb - refer to civil
 5. Concrete paving - refer to civil
 6. Concrete turndown
 7. Existing sidewalk
 8. Concrete sidewalk
 9. Paver sidewalk
 10. Tree grate 01
 11. Tree grate 02
 12. Steel planter 12" high
 13. Steel planter 8" high
 14. Steel planter box
 15. Bollards
 16. Truncated domes
 17. Sonotube concrete bench
 18. Vehicle overhang
 19. Building/structure overhead, typ.
 20. Custom bench with live edge mesquite slab
 21. Skate board rack
 22. Bike rack
 23. Bike repair station
 24. Trash receptacle
 25. Flush grade planter
 26. Bench - landscape forms o.a.e.

CITY OF TUCSON

DEVELOPMENT PACKAGE

PDS APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

☐ FUP ☐ Other

DVPKG MGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PL/ME _____ Date _____

Revision # _____ ☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS
				314 EAST 6TH STREET TUCSON, ARIZONA 85705

ARC STUDIOS PROJECT NO: 01-17090

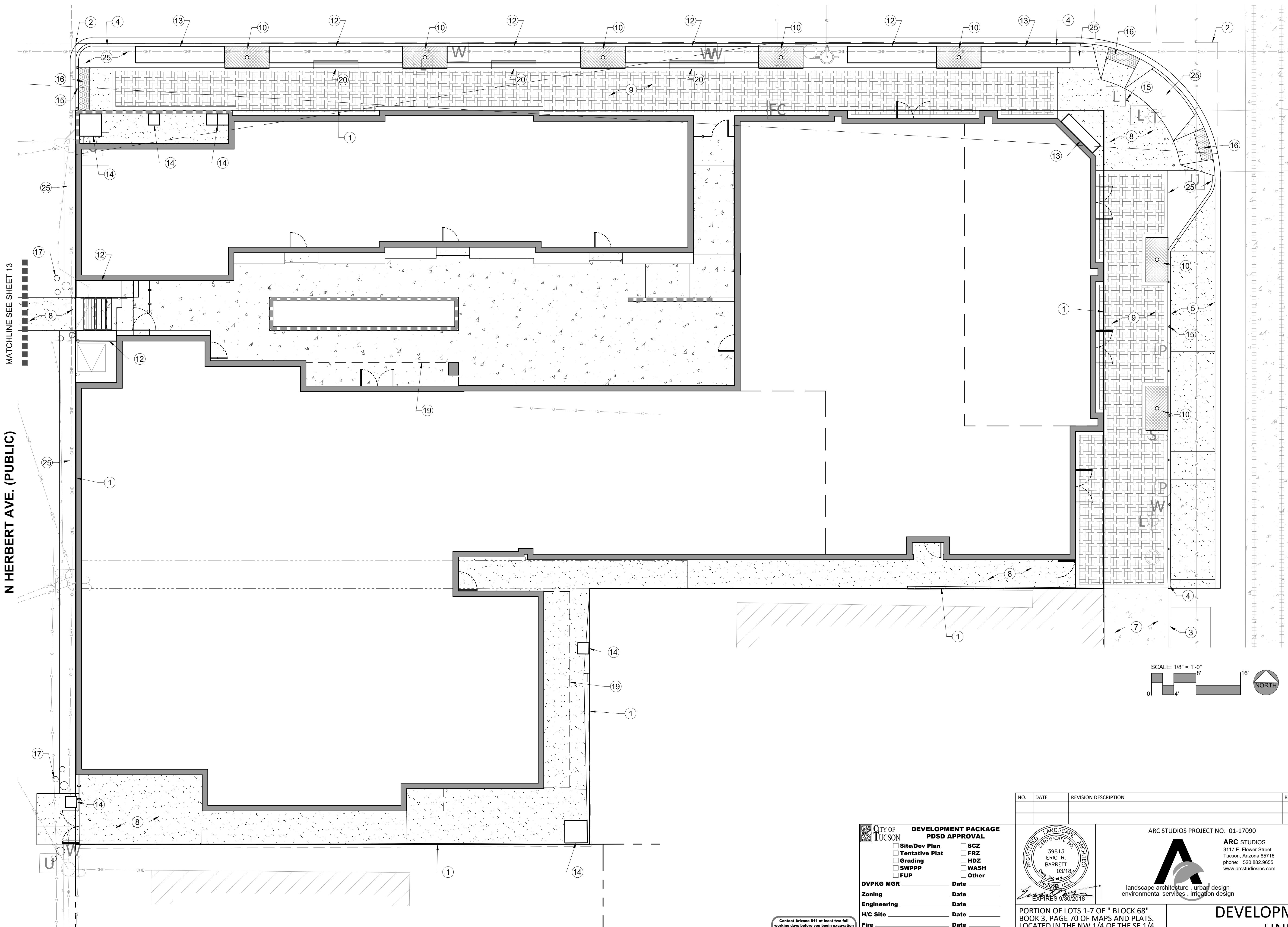
ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.882.9655
www.arcstudiosinc.com

landscape architecture . urban design
environmental services . irrigation design

PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
hardscape enlargement - west building

E 6TH ST. (PUBLIC)(MS&R)



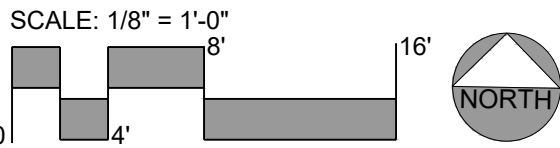
HARDSCAPE KEY NOTES

1. Property line
2. Sight visibility triangle
3. Existing curb
4. Concrete curb - refer to civil
5. Concrete paving - refer to civil
6. Concrete turnaround
7. Existing sidewalk
8. Concrete sidewalk
9. Paver sidewalk
10. Tree grate 01
11. Tree grate 02
12. Steel planter 12" high
13. Steel planter 8" high
14. Steel planter box
15. Bollards
16. Truncated domes
17. Sonotube concrete bench
18. Vehicle overhang
19. Building/structure overhead, typ.
20. Custom bench with live edge mesquite slab
21. Skate board rack
22. Bike rack
23. Bike repair station
24. Trash receptacle
25. Flush grade planter
26. Bench - landscape forms o.a.e.

N 4TH AVE. (PUBLIC)(MS&R)

N HERBERT AVE. (PUBLIC)

MATCHLINE SEE SHEET 13



CITY OF TUCSON

DEVELOPMENT PACKAGE

PDS APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

☐ FUP ☐ Other

DVPKG MGR _____ **Date** _____

Zoning _____ **Date** _____

Engineering _____ **Date** _____

H/C Site _____ **Date** _____

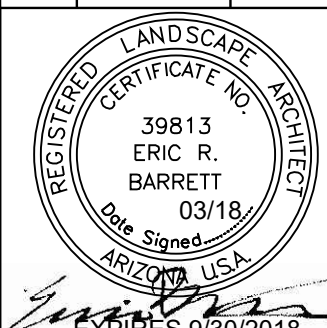
Fire _____ **Date** _____

Landscape _____ **Date** _____

PL/ME _____ **Date** _____

Revision # _____ ☐ per letter in SIRE

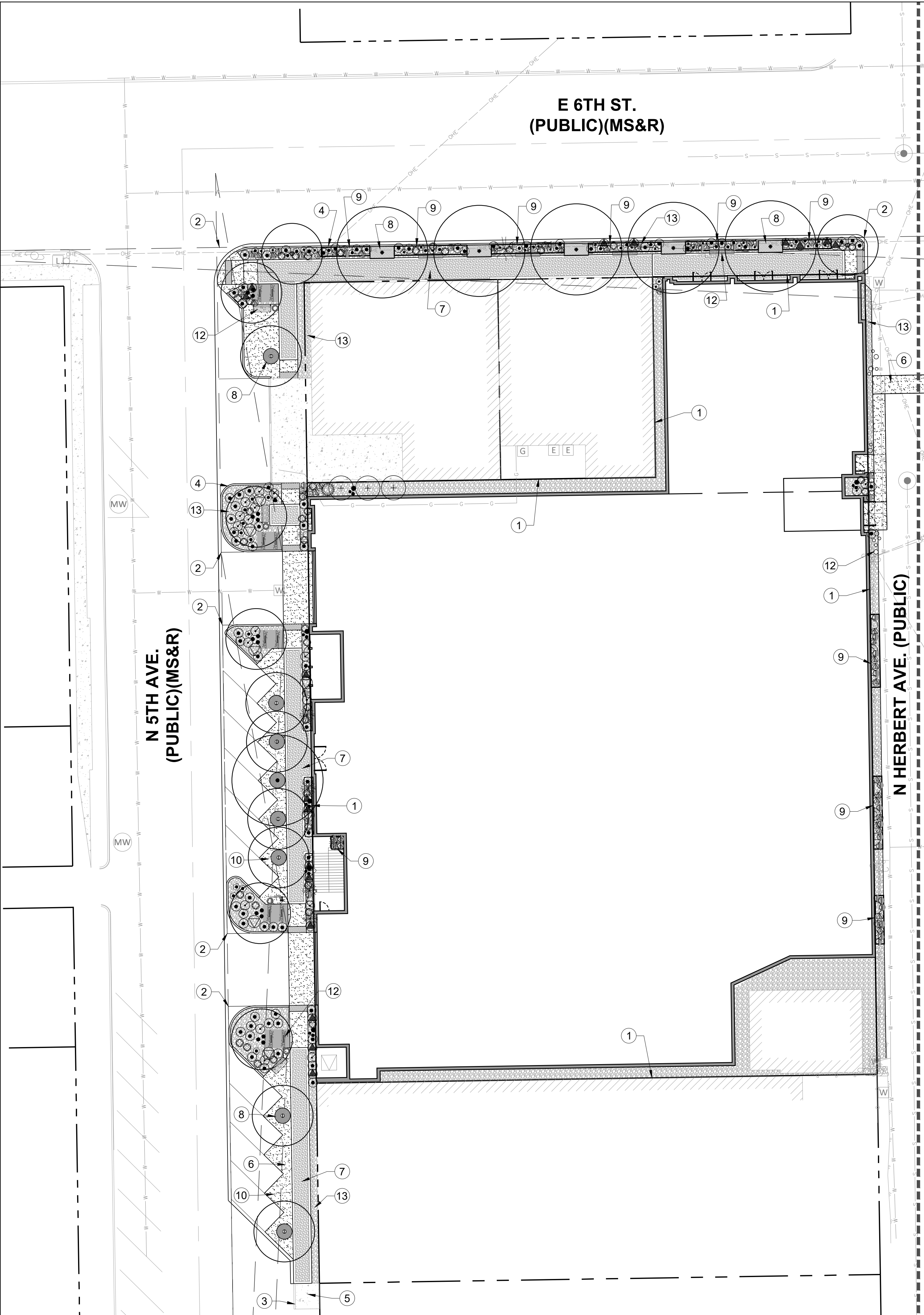
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705



PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
hardscape enlargement - east building

DP17-
15
OF
30

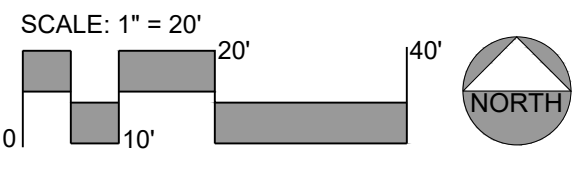


LANDSCAPE LEGEND		
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.		
Trees	Size	Qty
Cellis reticulata netleaf hackberry	2.5" caliper	13
Prosopis velutina velvet mesquite	site salvage	1
	4" cal. new	4
Acacia willardiana palo blanco	1.5" caliper	10
Existing tree to remain in place		
Shrubs / Ground Covers	Size	Qty
Dodonaea viscosa hop seed	15 gallon	3
Calliandra eriophylla fairy duster false mesquite	5 gallon	18
Calliandra californica baja fairy duster	5 gallon	7
Chrysactinia mexicana damianita daisy	1 gallon	27
Berlandiera lyrata chocolate flower	1 gallon	103
Asclepias sp. mixed asclepias sp. per LA	5 gallon	60
Setcreasea pallida purple heart	1 gallon	54
Vines	Size	Qty
Parthenocissus 'Hacienda Creeper' hacienda creeper	5 gallon	5
Trachelospermum jasminoides star jasmine	5 gallon	6
Bignonia capreolata tangerine cross vine	5 gallon	9
Podranea ricasoleana pink trumpet vine	5 gallon	5
Vitis californica 'Roger's Red' california grape	5 gallon	4
Cacti / Succulents	Size	Qty
Fouquieria splendens ocotillo	5 gallon	4
Yucca rostrata beaked yucca	36" box	7
Ferocactus wislizenii fishhook barrel cactus	specimen	1
Yucca rupicola twisted leaf yucca	salvage	1
Aloe wickensii aloe wickensii	5 gallon	50
Aloe x Blue 'Elf' blue elf aloe	5 gallon	48
Portulacaria afra elephant food	5 gallon	45
Lophocereus schoti totem pole cactus	5 gallon	3
Cleistocactus silver torch	5 gallon	10
	5 gallon	2

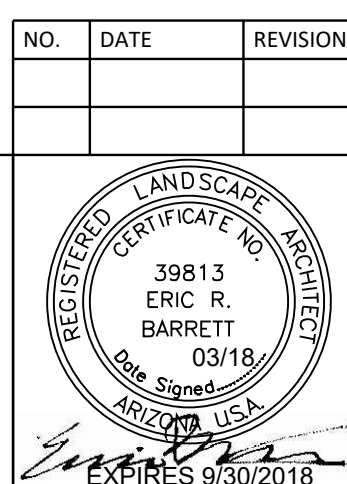
GROUND COVER MATERIAL LEGEND	
Furnish and install all material per plans, details, and specs.	
01 Decorative rock	
type: screened rock mulch	
size: 1"	
color: tbd	
depth: 2"	
notes: install in all landscape planting areas as indicated on plans	
02 Decorative rock	
type: stabilized decomposed granite	
size: 3/8" minus	
color: palomino gold	
depth: 3"	
notes: install at all bike racks per details and specifications	

- GENERAL LANDSCAPING NOTES:**
- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
 - For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
 - The Landscape Architect is to approve any and all substitutions.
 - Plant list quantities are provided for contractor's convenience only. Plans take precedence.
 - Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
 - Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
 - Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
 - Ground cover and/or decorative rock shall extend under shrubs unless noted.
 - After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
 - Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
 - All earthwork is to be done so that all water drains away from all structures.
 - All underground utilities are to be located before digging.
 - All plant material to be guaranteed for a period of one (1) year after final acceptance.
 - Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
 - In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
 - All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
 - Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
 - Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
 - All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
 - Final plant locations must be in compliance with all utility setback requirements.
 - Sleeve all pipes and wires under paved areas including streets and sidewalks.
 - Irrigation lines are shown schematically; locate all line in unpaved areas.
 - Locate all lines within the property line when possible.
 - The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
 - The landscape and irrigation shall be installed per the associated specifications.
 - All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
 - Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
 - Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
 - It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
 - The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
 - The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
 - The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
 - The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
 - Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

- # LANDSCAPE KEY NOTES**
- Property line
 - Sight visibility triangle
 - Existing curb
 - Concrete curb - refer to hardscape plan
 - Existing sidewalk
 - Concrete sidewalk - refer to hardscape plan
 - Paver sidewalk - refer to hardscape plan
 - Tree grate - refer to hardscape plan
 - Steel planter - refer to hardscape plan
 - Vehicle overhang
 - Building/structure overhead, typ.
 - Site furnishings - refer to hardscape plan
 - Decorative rock - screened rock mulch



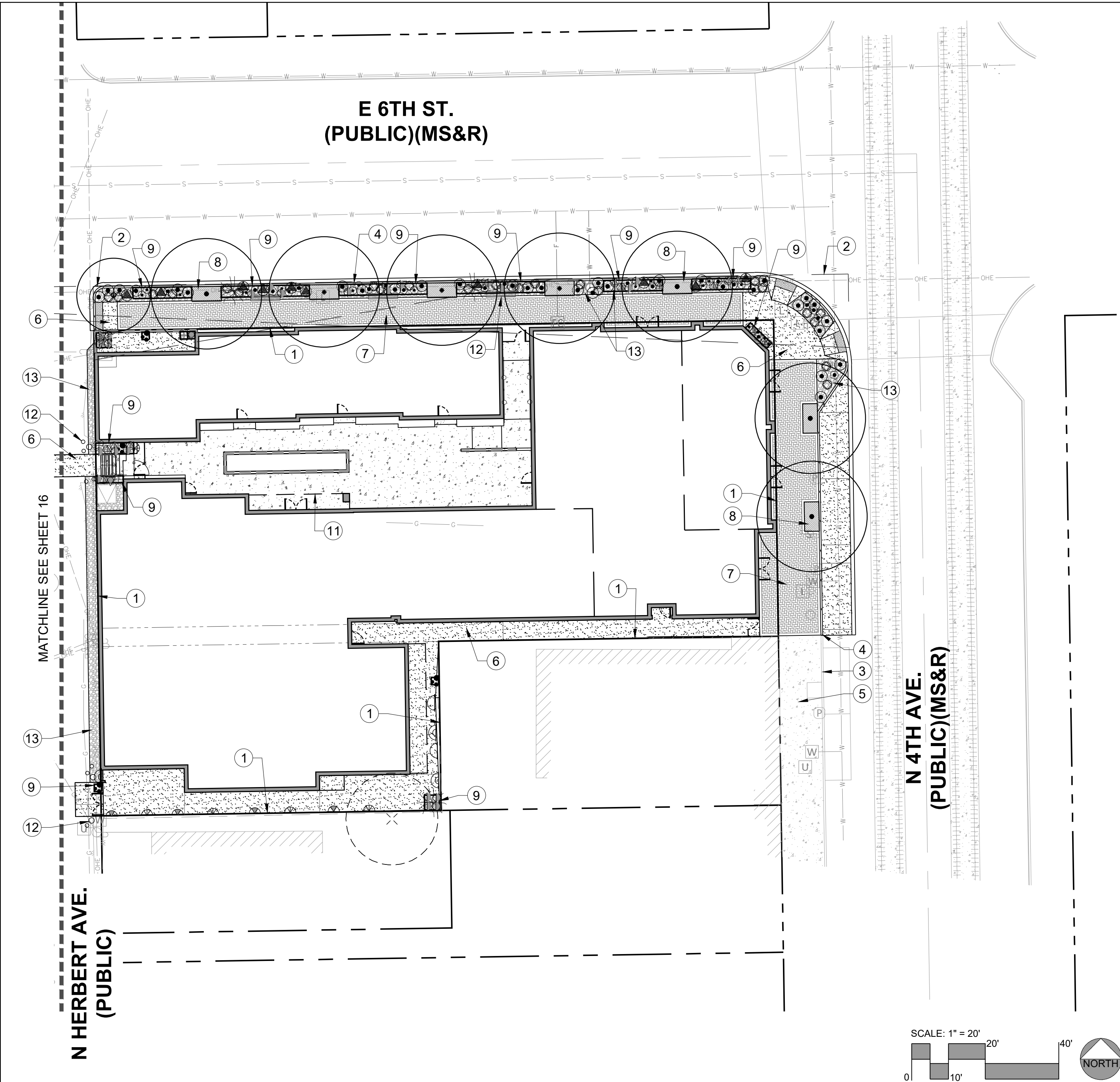
CITY OF TUCSON	DEVELOPMENT PACKAGE
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> BARRETT
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE



ARC STUDIOS PROJECT NO: 01-17090	ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com
landscape architecture · urban design environmental services · irrigation design	

PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA

OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:	SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
DEVELOPMENT PACKAGE for UNION ON 6TH landscape plan - west building	



LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
<i>Celtis reticulata</i> <i>netleaf hackberry</i>	2.5" caliper	13
<i>Prosopis velutina</i> <i>velvet mesquite</i>	site salvage	1
	4" cal. new	4
<i>Acacia willardiana</i> <i>palo blanco</i>	1.5" caliper	10
Existing tree to remain in place		

Shrubs / Ground Covers

	Size	Qty
<i>Dodonaea viscosa</i> <i>hop seed</i>	15 gallon	3
<i>Calliandra eriophylla</i> <i>fairy duster false mesquite</i>	5 gallon	18
<i>Calliandra californica</i> <i>baja fairy duster</i>	5 gallon	7
<i>Chrysactinia mexicana</i> <i>damianita daisy</i>	1 gallon	27
<i>Berlandiera lyrata</i> <i>chocolate flower</i>	1 gallon	103
<i>Asclepias</i> sp. <i>mixed asclepias</i> sp. per LA	5 gallon	60
<i>Setcreasea pallida</i> <i>purple heart</i>	1 gallon	54

Vines

	Size	Qty
<i>Parthenocissus</i> 'Hacienda Creeper' <i>hacienda creeper</i>	5 gallon	5
<i>Trachelospermum jasminoides</i> <i>star jasmine</i>	5 gallon	6
<i>Bignonia capreolata</i> <i>tangerine cross vine</i>	5 gallon	9
<i>Podranea ricasoleana</i> <i>pink trumpet vine</i>	5 gallon	5
<i>Vitis californica</i> 'Roger's Red' <i>california grape</i>	5 gallon	4

Cacti / Succulents

	Size	Qty
<i>Fouquieria splendens</i> <i>ocotillo</i>	5 gallon	4
<i>Yucca rostrata</i> <i>beaked yucca</i>	36" box specimen	7
<i>Ferocactus wislizenii</i> <i>fishhook barrel cactus</i>	site salvage	1
<i>Yucca rupicola</i> <i>twisted leaf yucca</i>	5 gallon	50
<i>Aloe wickensii</i> <i>aloe wickensii</i>	5 gallon	48
<i>Aloe x Blue 'Elf'</i> <i>blue elf aloe</i>	5 gallon	45
<i>Portulacaria afra</i> <i>elephant food</i>	5 gallon	3
<i>Lophocereus schoti</i> <i>totem pole cactus</i>	5 gallon	10
<i>Cleistocactus</i> <i>silver torch</i>	5 gallon	2

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

01 Decorative rock	type: screened rock mulch
	size: 1"
	color: tbd
	depth: 2"
	notes: install in all landscape planting areas as indicated on plans
02 Decorative rock - Bicycle parking	type: stabilized decomposed granite
	size: 3/8" minus
	color: palomino gold
	depth: 3"
	notes: install at all bike racks per details and specifications

GENERAL LANDSCAPING NOTES:

- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
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- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
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- All underground utilities are to be located before digging.
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- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
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- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
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- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
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- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
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- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

LANDSCAPE KEY NOTES

- Property line
- Sight visibility triangle
- Existing curb
- Concrete curb - refer to hardscape plan
- Existing sidewalk
- Concrete sidewalk - refer to hardscape plan
- Paver sidewalk - refer to hardscape plan
- Tree grate - refer to hardscape plan
- Steel planter - refer to hardscape plan
- Vehicle overhang
- Building/structure overhead, typ.
- Site furnishings - refer to hardscape plan
- Decorative rock - screened rock mulch

CITY OF TUCSON

DEVELOPMENT PACKAGE

PDSD APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

☐ FUP ☐ Other

DVPKG MGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PL/ME _____ Date _____

Revision # _____ ☐ per letter in SIRE



ARC STUDIOS PROJECT NO: 01-17090



OWNER/DEVELOPER

EDUCATION REALTY TRUST, INC.

999 SOUTH SHADY GROVE ROAD, SUITE 600

MEMPHIS, TENNESSEE 38120

ATTN: MR. RODNEY KING

PH:

EMAIL:

SITE ADDRESS

314 EAST 6TH STREET

TUCSON, ARIZONA 85705

PORTION OF LOTS 1-7 OF " BLOCK 68"

BOOK 3, PAGE 70 OF MAPS AND PLATS.

LOCATED IN THE NW 1/4 OF THE SE 1/4

OF SECTION 12, T. 14 S., R. 13 E.,

G.&S.R.M., CITY OF TUCSON PIMA

COUNTY, ARIZONA

DEVELOPMENT PACKAGE for

UNION ON 6TH

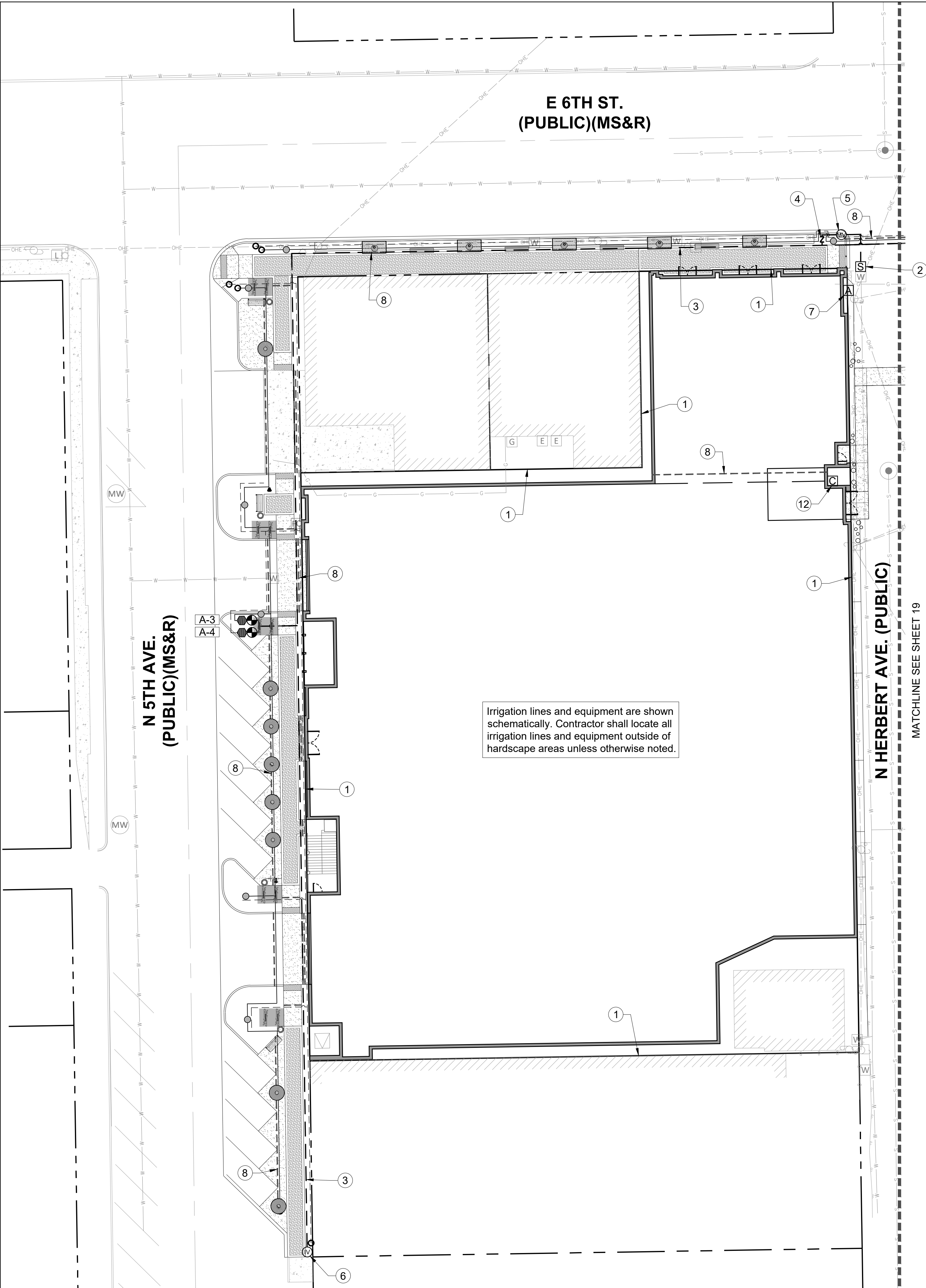
landscape plan - east building

DP17-

17

OF

30



IRRIGATION LEGEND

- furnish and install all material per plans, details, and specifications
irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
irrigation controller - rain master twice 2-wire, 200 station and all necessary decoders
irrigation controller - rain master rme 16-eg-w, 16 station
irrigation controller - rain master rme 16-eg-w, 16 station
master valve and flow sensor: master valve - superior 3100 n.o. - 1"; flow sensor - cst fsi-t series - 1"
isolation valve - 1-1/2" lead free brass ball valve
remote control valve & filter - valve - irritrol 700 series, 700-1; filter - rain bird rby-100-150mx
irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
tree line - sch. 40 pvc - 3/4" unless otherwise shown
shrub line - sch. 40 pvc - 3/4" unless otherwise shown
hose end cap
pressure regulator - senniger - pmr-30-mf
multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule
quick coupler - brass coupling valve

IRRIGATION VALVE SCHEDULE

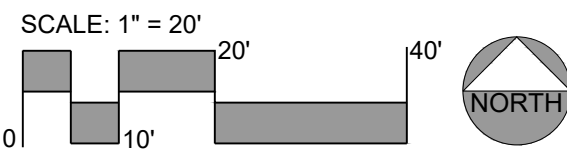
Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	B-1	1"	shrub
A-2	1"	shrub	B-2	1"	shrub
A-3	1"	tree	B-3	1"	not used
A-4	1"	shrub	B-4	1"	not used
A-5	not used		C-1	1"	shrub
A-6	not used		C-2	1"	shrub
A-7	not used		C-3	1"	not used
A-8	not used		C-4	1"	not used

VALVE SCHEDULE NOTES:

- (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
- Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

IRRIGATION NOTES:

- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
- The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
- Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
- If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
- Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
- Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas. Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
- Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
- Contractor shall set additional programs on controller for deep root watering and plant growth from march thru June.
- Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
- Contractor shall have the irrigation functional, prior to start of planting.



EMITTER SCHEDULE

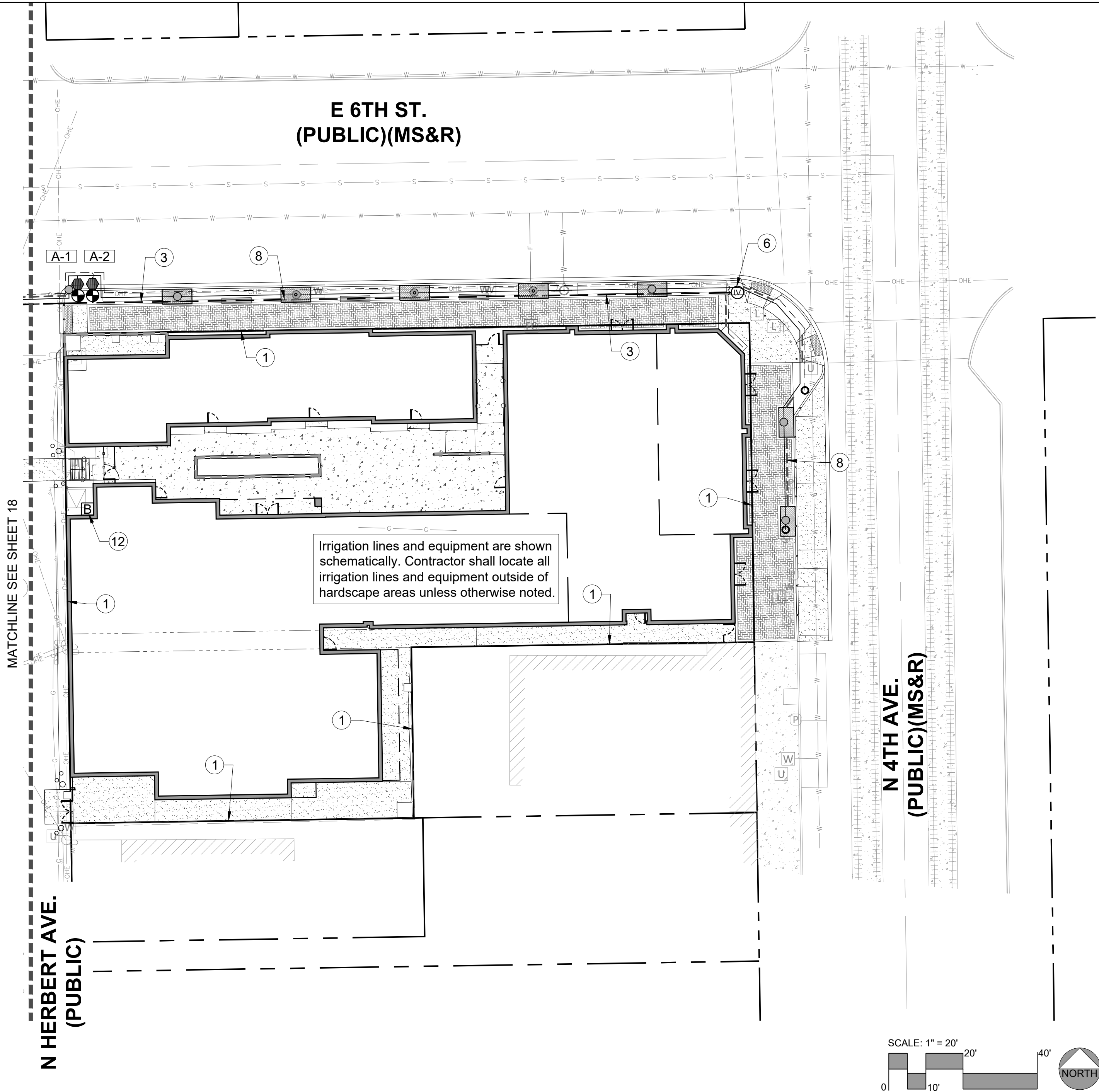
Trees	Type	Outlets	Gph outlet	Gph plant
Celtis reticulata	m	5	2.0	10.0
netleaf hackberry				
Prosopis velutina	m	5	2.0	10.0
velvet mesquite				
Acacia willardiana	m	4	2.0	8.0
palo blanco				
Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
Dodonea viscosa	s/m	2	2.0	4.0
hop seed				
Calliandra eriophylla	s/m	2	1.0	2.0
fairy duster false mesquite				
Calliandra californica	s/m	2	1.0	2.0
baja fairy duster				
Chrysactinia mexicana	s/m	1	1.0	1.0
damianita daisy				
Berlandiera lyrata	s/m	1	1.0	1.0
chocolate flower				
Asclepias sp.	s/m	1	1.0	1.0
mixed asclepias sp. per LA				
Setcreasea pallida	s/m	1	1.0	1.0
purple heart				
Vines	Type	Outlets	Gph outlet	Gph plant
Parthenocissus 'Hacienda Creeper'	s/m	2	1.0	2.0
hacienda creeper				
Trachelospermum jasminoides	s/m	2	1.0	2.0
star jasmine				
Bignonia capreolata	s/m	2	1.0	2.0
tangerine cross vine				
Podranea ricasoleana	s/m	2	1.0	2.0
pink trumpet vine				
Vitis californica 'Roger's Red'	s/m	2	1.0	2.0
california grape				
Cacti / Succulents	Type	Outlets	Gph outlet	Gph plant
Fouquieria splendens	s/m	1	0.5	0.5
ocotillo				
Yucca rostrata	s/m	1	1.0	1.0
beaked yucca				
Ferocactus wislizenii	s/m	0	0.0	0.0
fishhook barrel cactus				
Yucca rupicola	s/m	1	1.0	1.0
twisted leaf yucca				
Aloe wickensii	s/m	1	1.0	1.0
aloe wickensii				
Aloe x Blue 'Elf'	s/m	1	1.0	1.0
blue elf aloe				
Portulacaria afra	s/m	1	1.0	1.0
elephant food				
Lophocereus schotti	s/m	1	0.5	0.5
totem pole cactus				
Cleistocactus	s/m	1	0.5	0.5
silver torch				

IRRIGATION KEY NOTES

- Property line
- Irrigation source - right-of-way system
- Irrigation mainline - right-of-way system
- Backflow preventer - right-of-way system
- Master valve and flow sensor - right-of-way system
- Isolation valve - right-of-way system
- Irrigation controller - right-of-way system
- Irrigation sleeve - refer to paving & grading plans
- Irrigation source
- Backflow preventer
- Isolation valve
- Irrigation controller

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL Site/Dev Plan Tentative Plat Grading SWPPP FUP Zoning Engineering H/C Site Fire Landscape PL/ME Revision #				ARC STUDIOS PROJECT NO: 01-17090 ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com landscape architecture · urban design environmental services · irrigation design
PORTION OF LOTS 1-7 OF " BLOCK 68" BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

DEVELOPMENT PACKAGE for
UNION ON 6TH
irrigation plan - west building



- IRRIGATION LEGEND**
furnish and install all material per plans, details, and specifications
irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
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remote control valve & filter - valve - irrirtol 700 series, 700-1; filter - rain bird rby-100-150mx
irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
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IRRIGATION VALVE SCHEDULE					
Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	B-1	1"	shrub
A-2	1"	shrub	B-2	1"	shrub
A-3	1"	tree	B-3	1"	not used
A-4	1"	shrub	B-4	1"	not used
A-5		not used	C-1	1"	shrub
A-6		not used	C-2	1"	shrub
A-7		not used	C-3	1"	not used
A-8		not used	C-4	1"	not used

- VALVE SCHEDULE NOTES:**
1. (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
2. Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

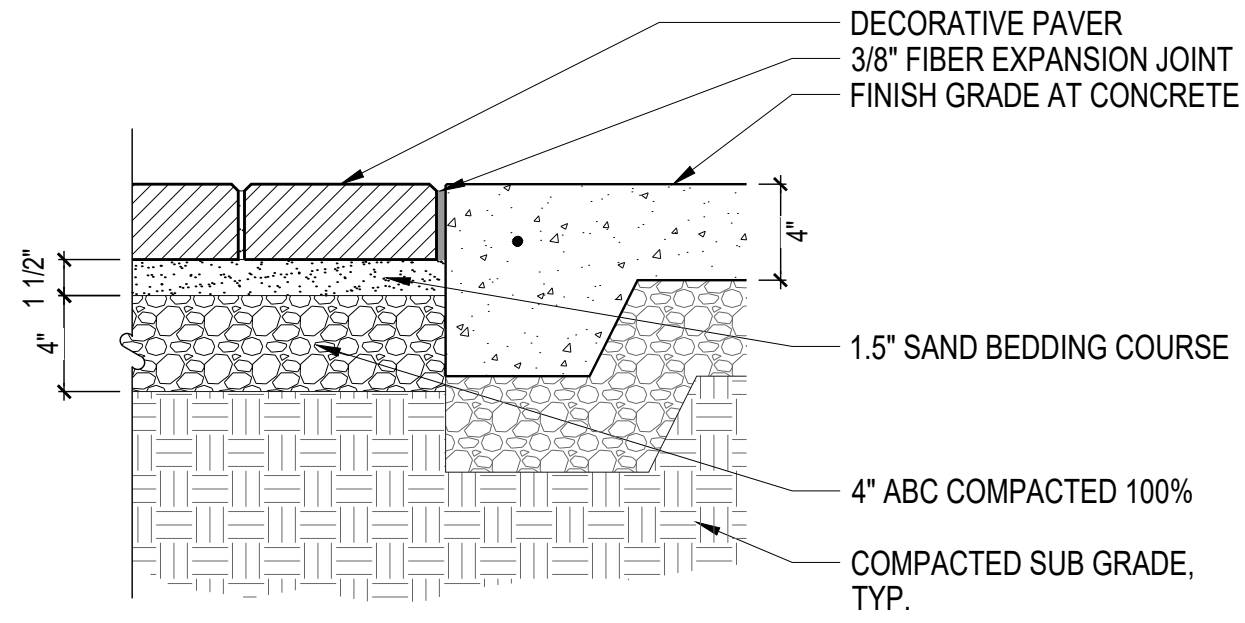
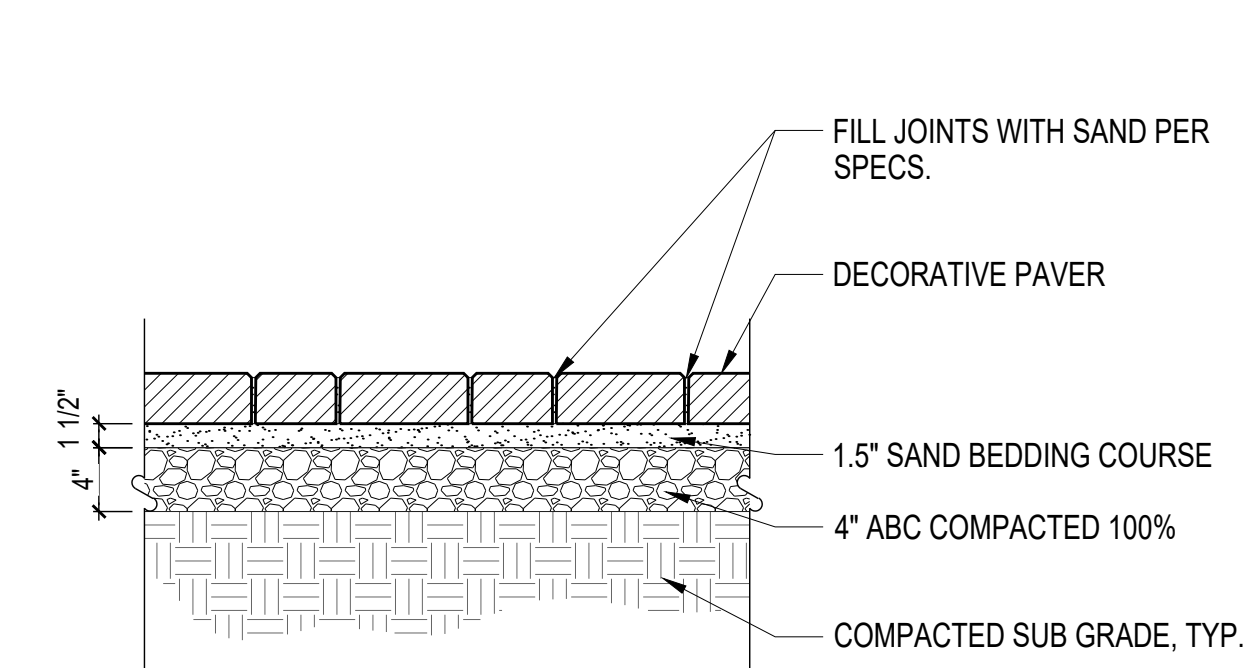
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Prosopis velutina	m	5	2.0	10.0
velvet mesquite				
Acacia willardiana	m	4	2.0	8.0
palo blanco				
Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
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hop seed				
Calliandra eriophylla	s/m	2	1.0	2.0
fairy duster false mesquite				
Calliandra californica	s/m	2	1.0	2.0
baja fairy duster				
Chrysactinia mexicana	s/m	1	1.0	1.0
damianita daisy				
Berlandiera lyrata	s/m	1	1.0	1.0
chocolate flower				
Asclepias sp.	s/m	1	1.0	1.0
mixed asclepias sp. per LA				
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purple heart				
Vines	Type	Outlets	Gph outlet	Gph plant
Parthenocissus 'Hacienda Creeper'	s/m	2	1.0	2.0
hacienda creeper				
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star jasmine				
Bignonia capreolata	s/m	2	1.0	2.0
tangerine cross vine				
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Yucca rostrata	s/m	1	1.0	1.0
beaked yucca				
Ferocactus wislizenii	s/m	0	0.0	0.0
fishhook barrel cactus				
Yucca rupicola	s/m	1	1.0	1.0
twisted leaf yucca				
Aloe wickensii	s/m	1	1.0	1.0
aloe wickensii				
Aloe x Blue 'Elf'	s/m	1	1.0	1.0
blue elf aloe				
Portulacaria afra	s/m	1	1.0	1.0
elephant food				
Lophocereus schotti	s/m	1	0.5	0.5
totem pole cactus				
Cleistocactus	s/m	1	0.5	0.5
silver torch				

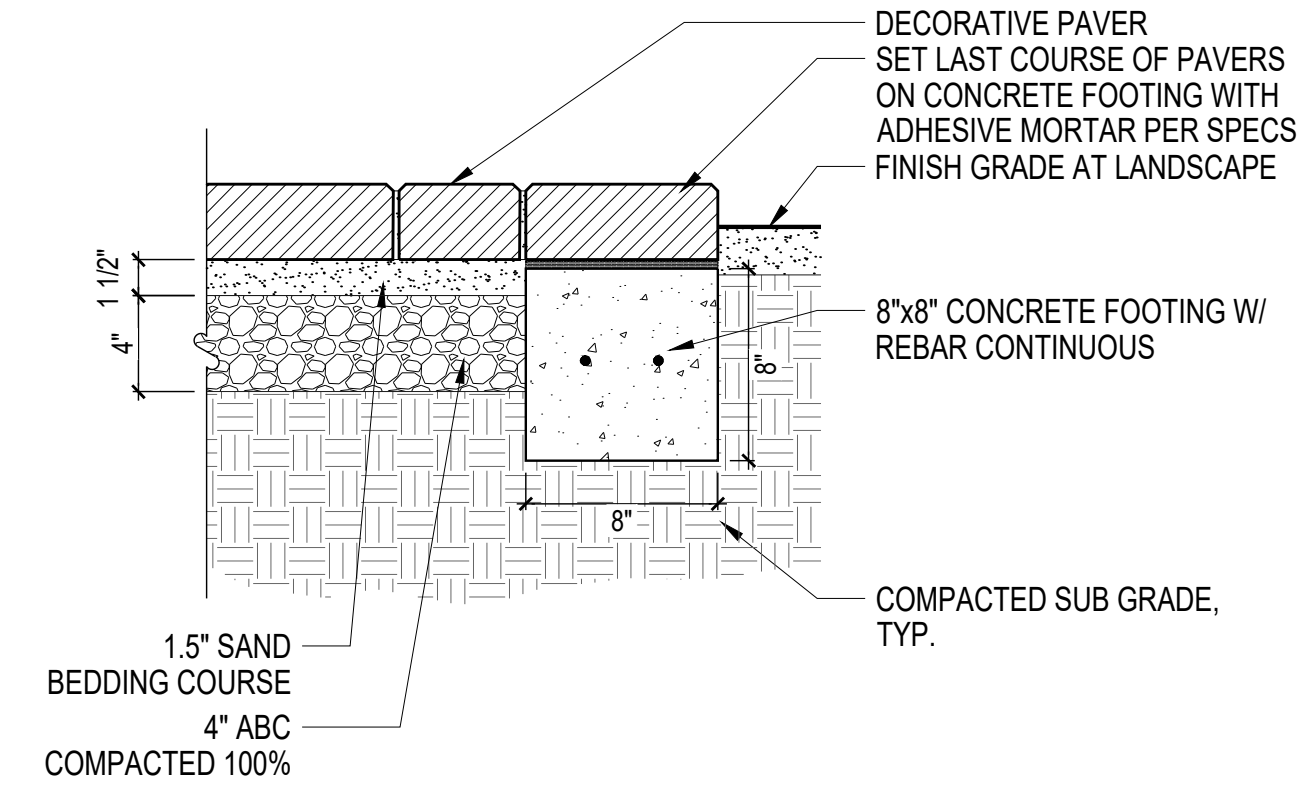
- IRRIGATION KEY NOTES**
1. Property line
2. Irrigation source - right-of-way system
3. Irrigation mainline - right-of-way system
4. Backflow preventer - right-of-way system
5. Master valve and flow sensor - right-of-way system
6. Isolation valve - right-of-way system
7. Irrigation controller - right-of-way system
8. Irrigation sleeve - refer to paving & grading plans
9. Irrigation source
10. Backflow preventer
11. Isolation valve
12. Irrigation controller

CITY OF TUCSON
DEVELOPMENT PACKAGE
PDS APPROVAL
Site/Dev Plan ☐ SCZ
Tentative Plat ☐ FRZ
Grading ☐ HDZ
SWPPP ☐ WASH
FUP ☐ Other
DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ ☐ per letter in SIRE

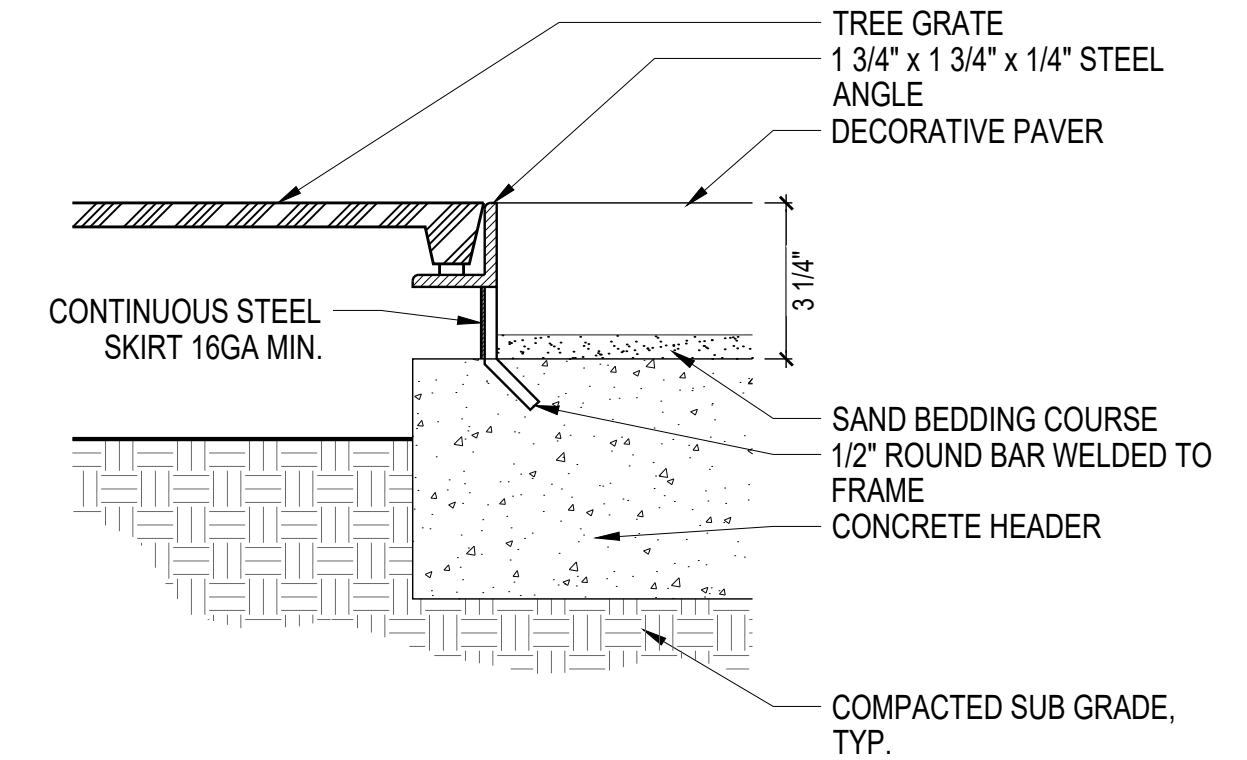
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
PORTION OF LOTS 1-7 OF " BLOCK 68" BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for UNION ON 6TH irrigation plan - east building



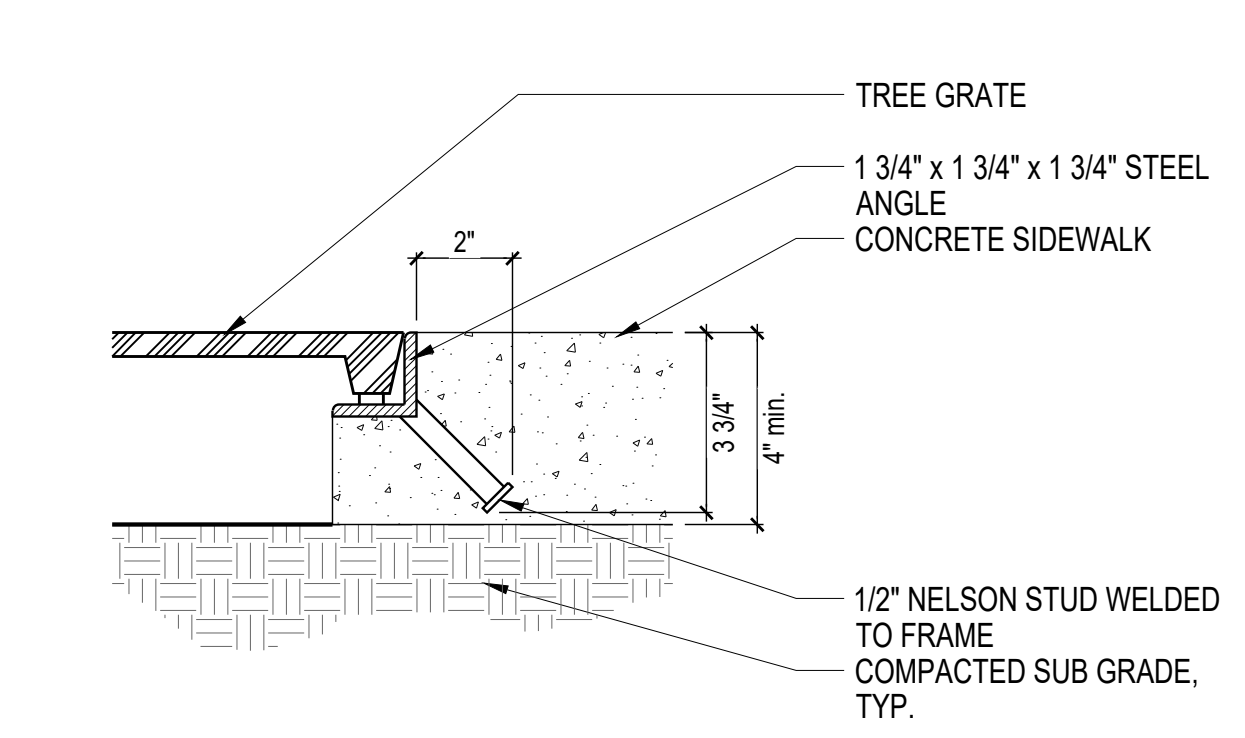
- NOTES:
1. INSTALL PER MANUFACTURES SPECIFICATIONS.
 2. REFER TO PLANS FOR PAVER TYPE, PATTERN, AND COLOR.



- NOTES:
1. INSTALL PER MANUFACTURES SPECIFICATIONS.
 2. REFER TO PLANS FOR PAVER TYPE, PATTERN, AND COLOR.

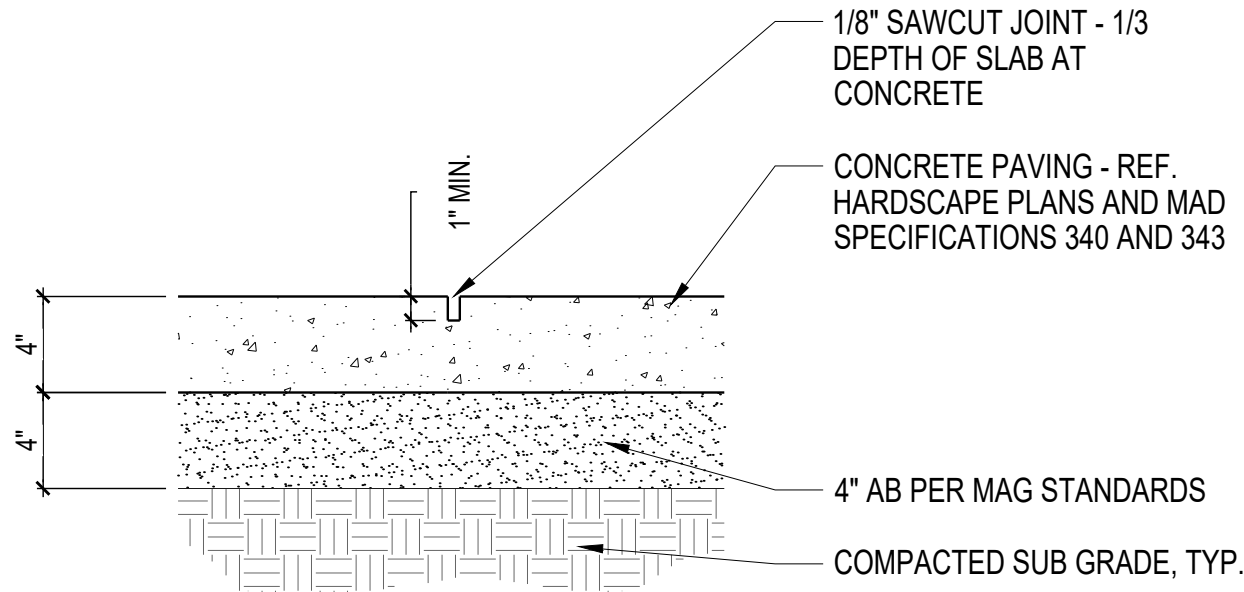


- NOTES:
1. FRAME SIZE MAY VARY DEPENDING ON TREE GRATE SELECTED.



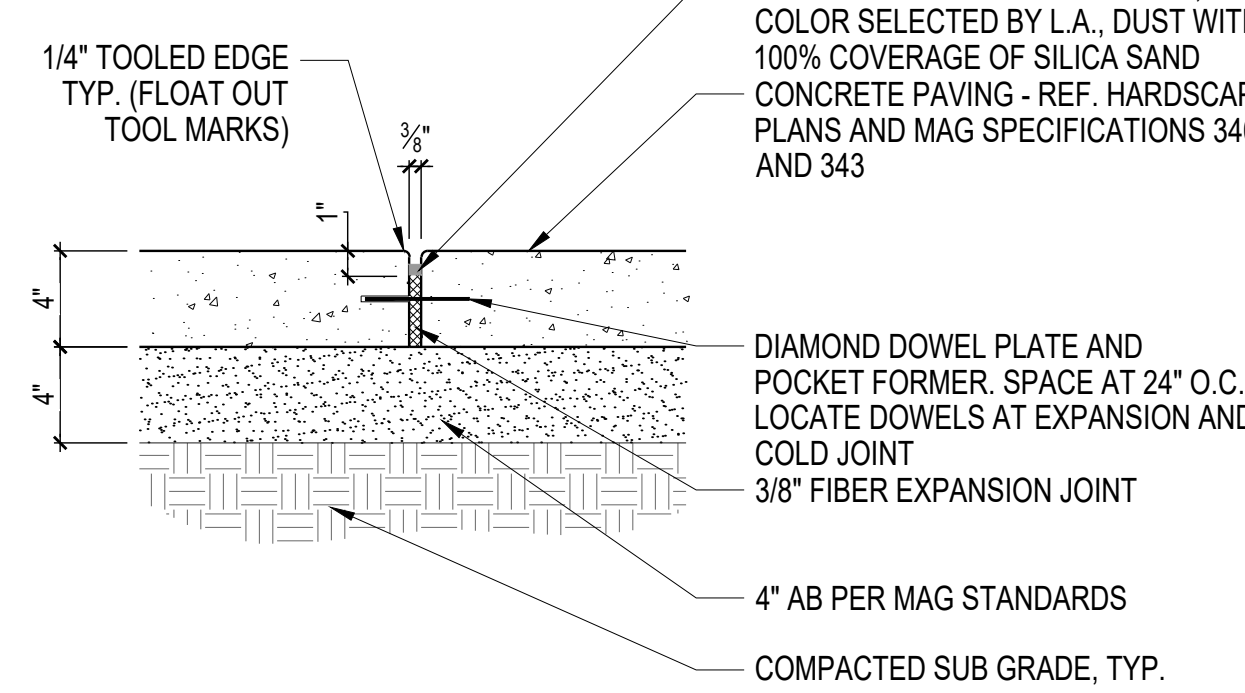
- NOTES:
1. STANDARD CONCRETE ANCHORS FOR USE IN NEW CONCRETE.

1 PAVERS NTS



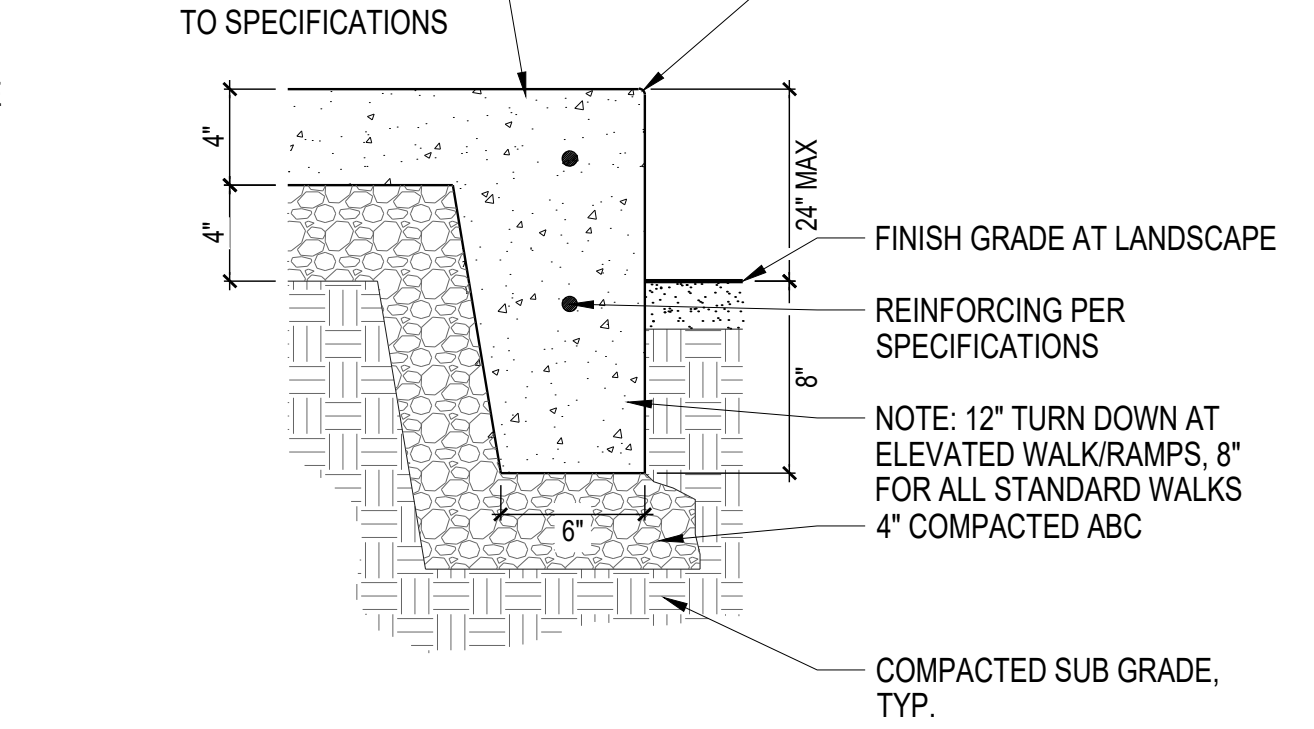
- NOTES:
1. REFER TO PAVING PLANS AND SPECIFICATIONS FOR EXPANSION/CONTRACTION JOINT REQUIREMENTS.
 2. PROVIDE A SAMPLE 5' X 5' MOCK UP OF ALL CONCRETE FINISH TYPES.
 3. PROVIDE ONE (1) 5' SAMPLE OF EACH JOINT TYPE.

2 PAVERS @ CONCRETE EDGE NTS



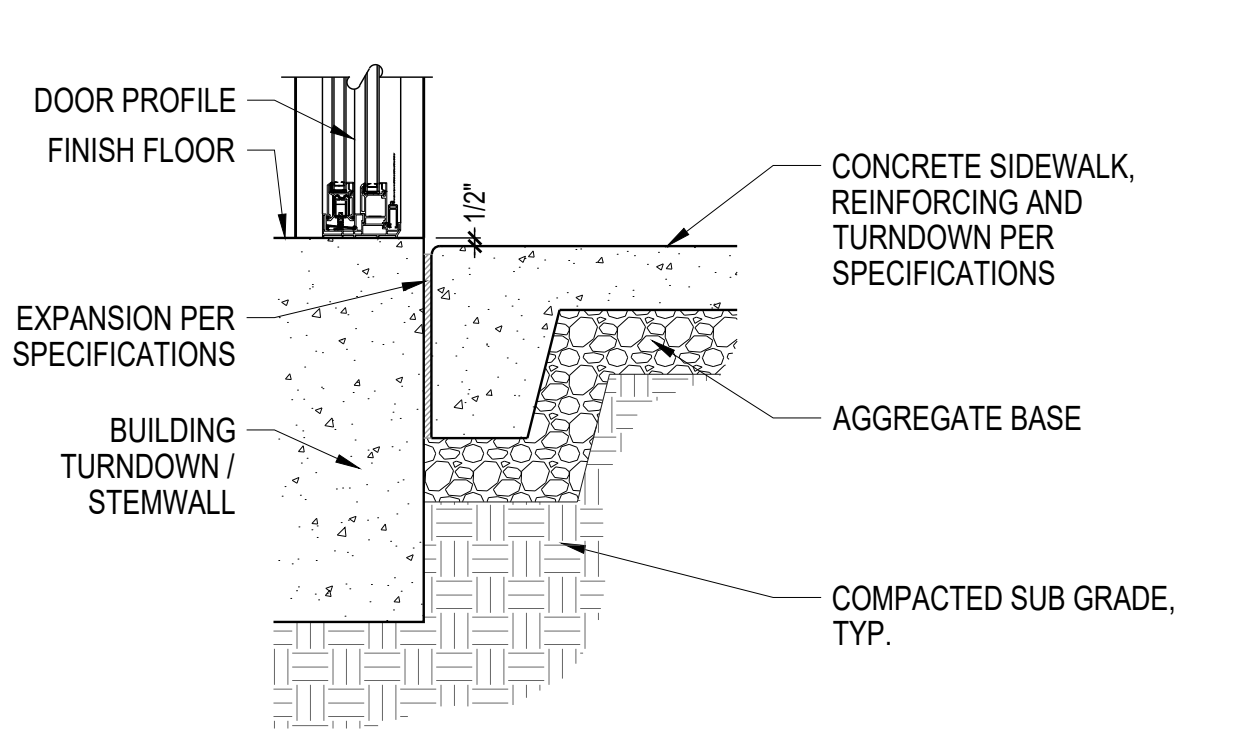
- NOTES:
1. REFER TO PAVING PLANS AND SPECIFICATIONS FOR EXPANSION/CONTRACTION JOINT REQUIREMENTS.
 2. PROVIDE A SAMPLE 5' X 5' MOCK UP OF ALL CONCRETE FINISH TYPES.
 3. PROVIDE ONE (1) 5' SAMPLE OF EACH JOINT TYPE.

3 PAVERS @ LANDSCAPE NTS



- NOTES:
1. THIS CONCRETE AND JOINT DETAIL APPLIES TO ALL CONCRETE FLATWORK UNLESS NOTED OTHERWISE ON PLANS.
 2. PROVIDE A SAMPLE 5' X 5' MOCK UP OF ALL CONCRETE FINISH TYPES.
 3. PROVIDE ONE (1) 5' SAMPLE OF EACH JOINT TYPE.

4 TREE GRATE @ PAVERS NTS



- NOTES:
1. CONFIRM ALL CONCRETE REQUIREMENTS PRIOR TO INSTALLATION OF DRAINAGE SYSTEM COMPONENTS
 2. COORDINATE FINISH GRADES WITH GC/ARCHITECT

5 TREE GRATE @ CONCRETE NTS

6 CONCRETE CONTRACTION JOINT NTS

7 CONCRETE EXPANSION JOINT NTS

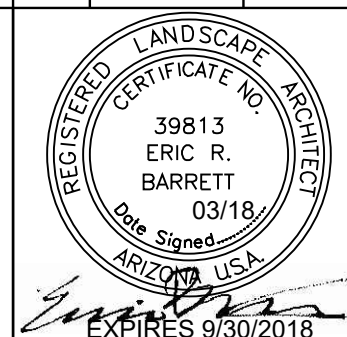
8 CONCRETE TURNDOWN NTS

9 CONCRETE WALK @ THRESHOLD NTS

CITY OF TUCSON	DEVELOPMENT PACKAGE
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

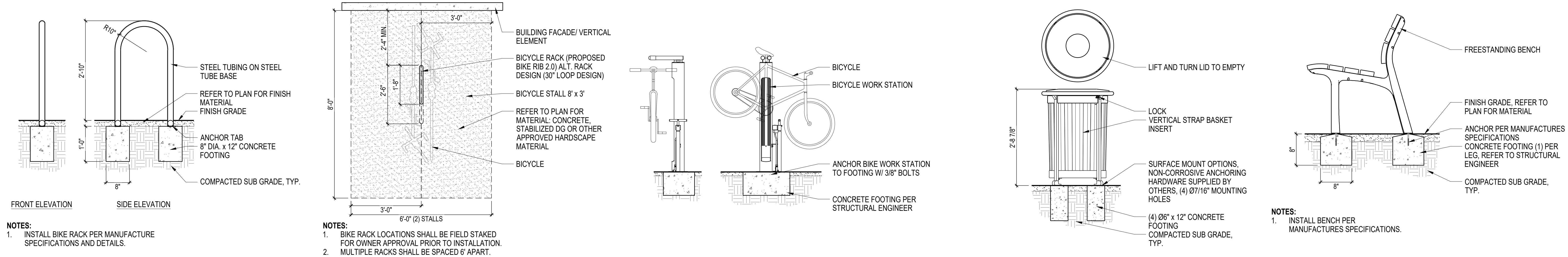


NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: EMAIL:
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
DEVELOPMENT PACKAGE for UNION ON 6TH hardscape details				20 OF 30

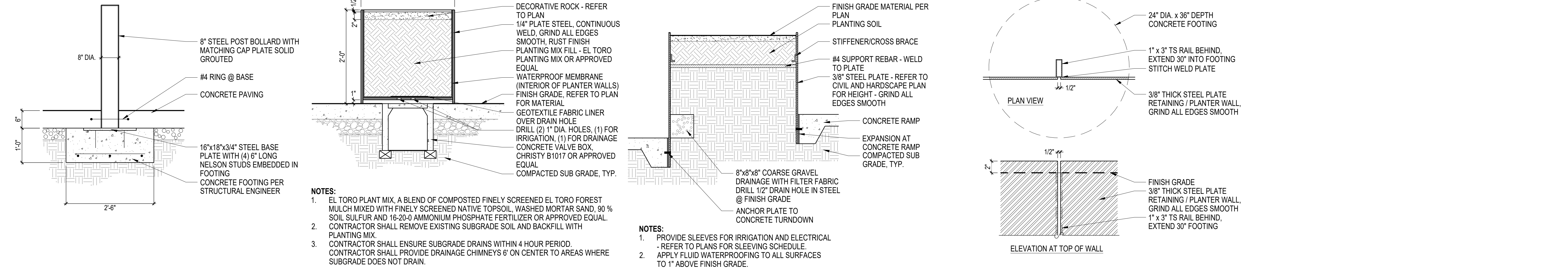


ARC STUDIOS PROJECT NO: 01-17090
ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com
landscape architecture • urban design environmental services • irrigation design

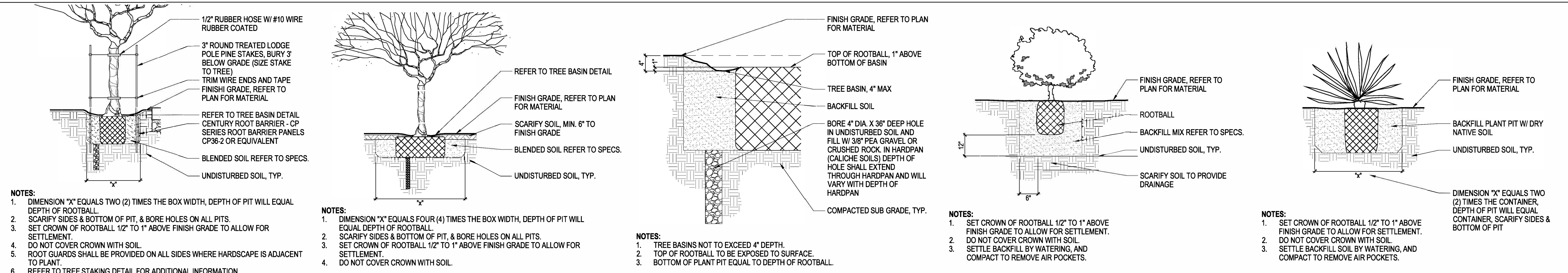
PORTION OF LOTS 1-7 OF " BLOCK 68"
BOOK 3, PAGE 70 OF MAPS AND PLATS.
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 12, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON PIMA
COUNTY, ARIZONA



1 BICYCLE RACK NTS 2 BICYCLE RACK LAYOUT NTS 3 BICYCLE REPAIR STATION NTS 4 WASTE RECEPTACLE NTS 5 FREESTANDING BENCH NTS



6 STEEL PIPE BOLLARD NTS 7 STEEL PLANTER BOX NTS 8 RAISED STEEL PLANTER NTS 9 STEEL PLANTER JOINT NTS



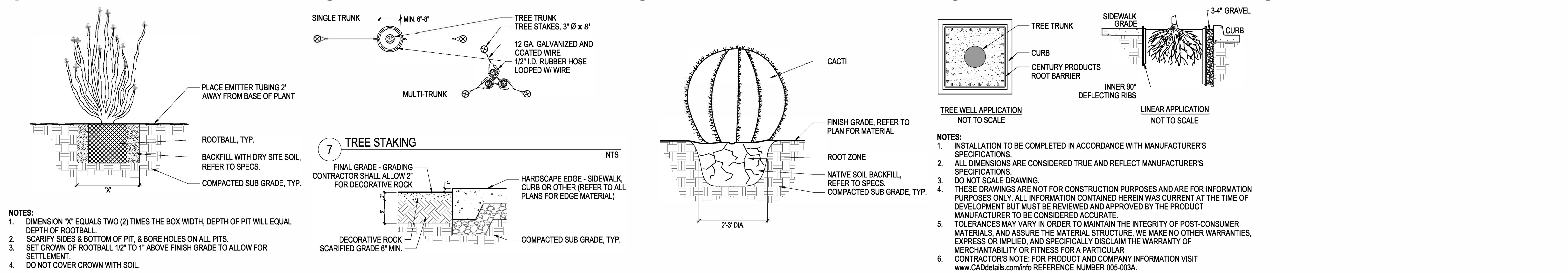
1 15 GALLON & 24IN BOX - TREE PLANTING NTS

2 36IN BOX OR LARGER - TREE PLANTING NTS

3 TREE BASIN NTS

4 SHRUB PLANTING NTS

5 ACCENT PLANTING NTS

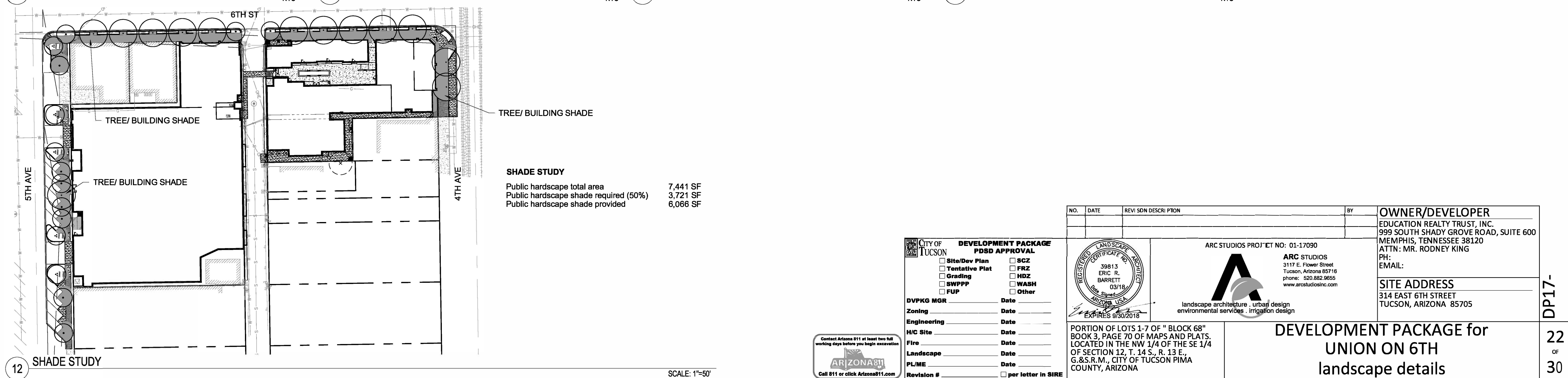


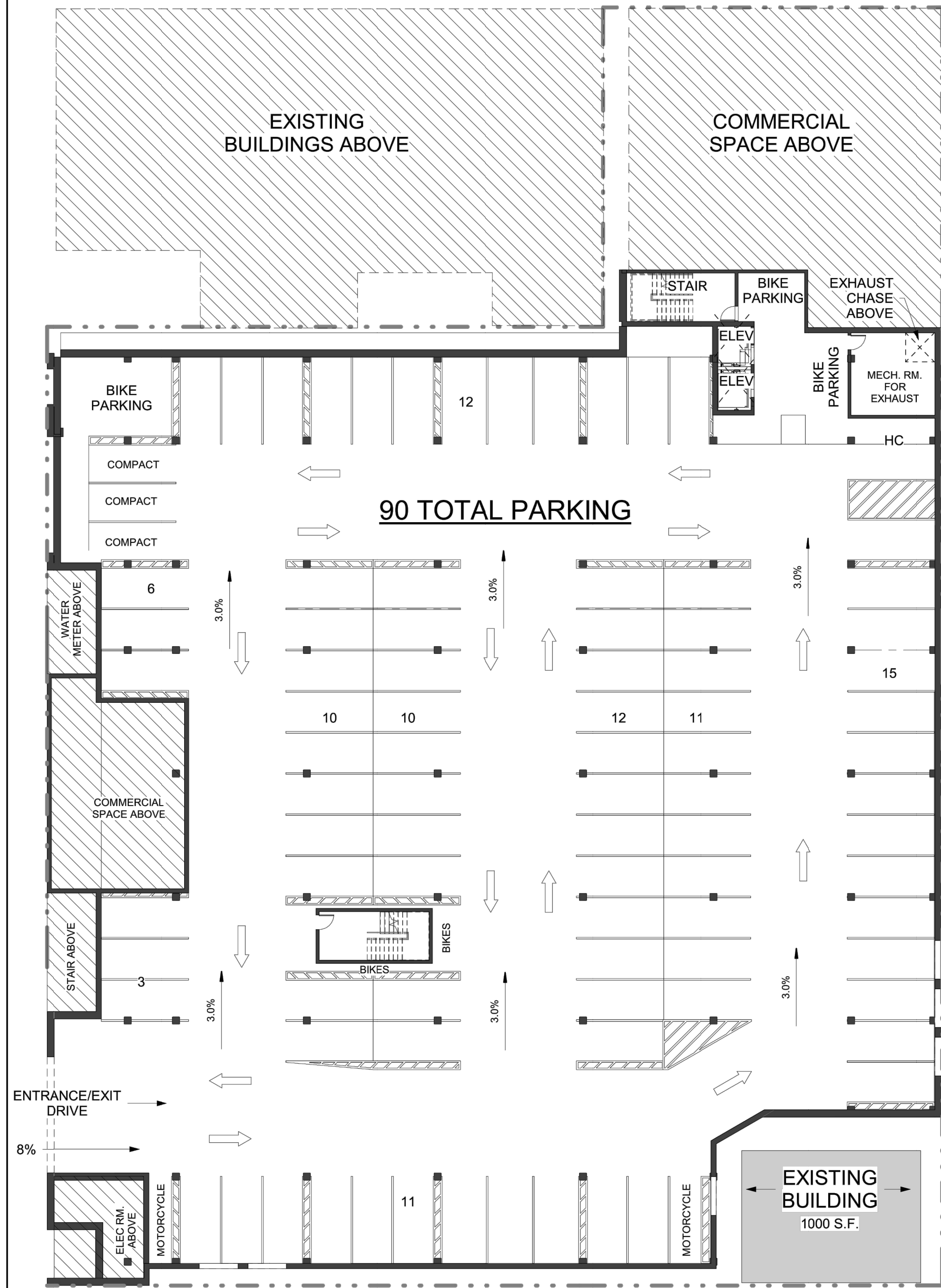
6 OCOTILLO PLANTING - CONTAINER NTS

8 FINAL GRADE HARDSCAPE TO DEC. ROCK NTS

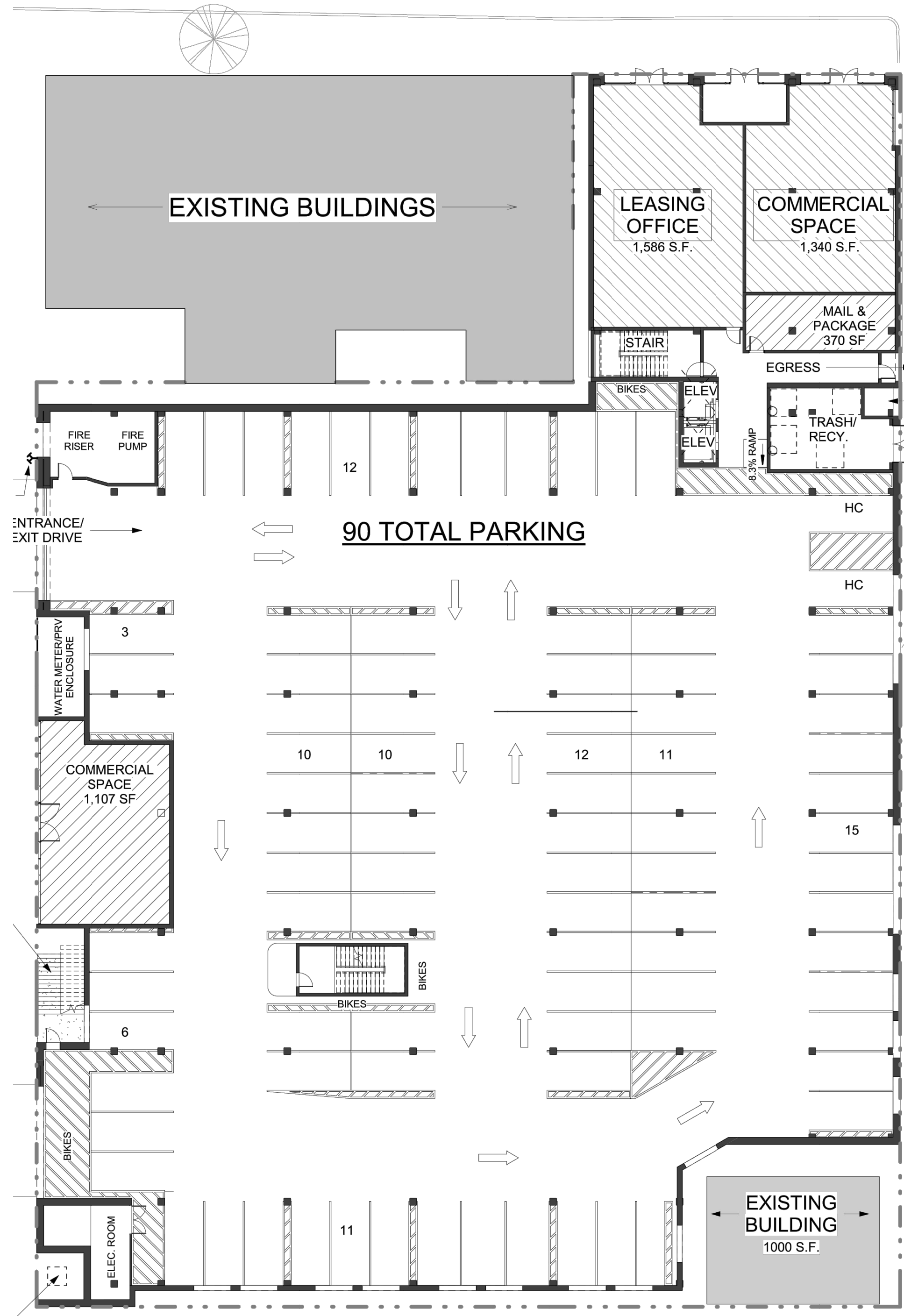
9 CACTUS PLANTING NTS

10 ROOT BARRIER NTS

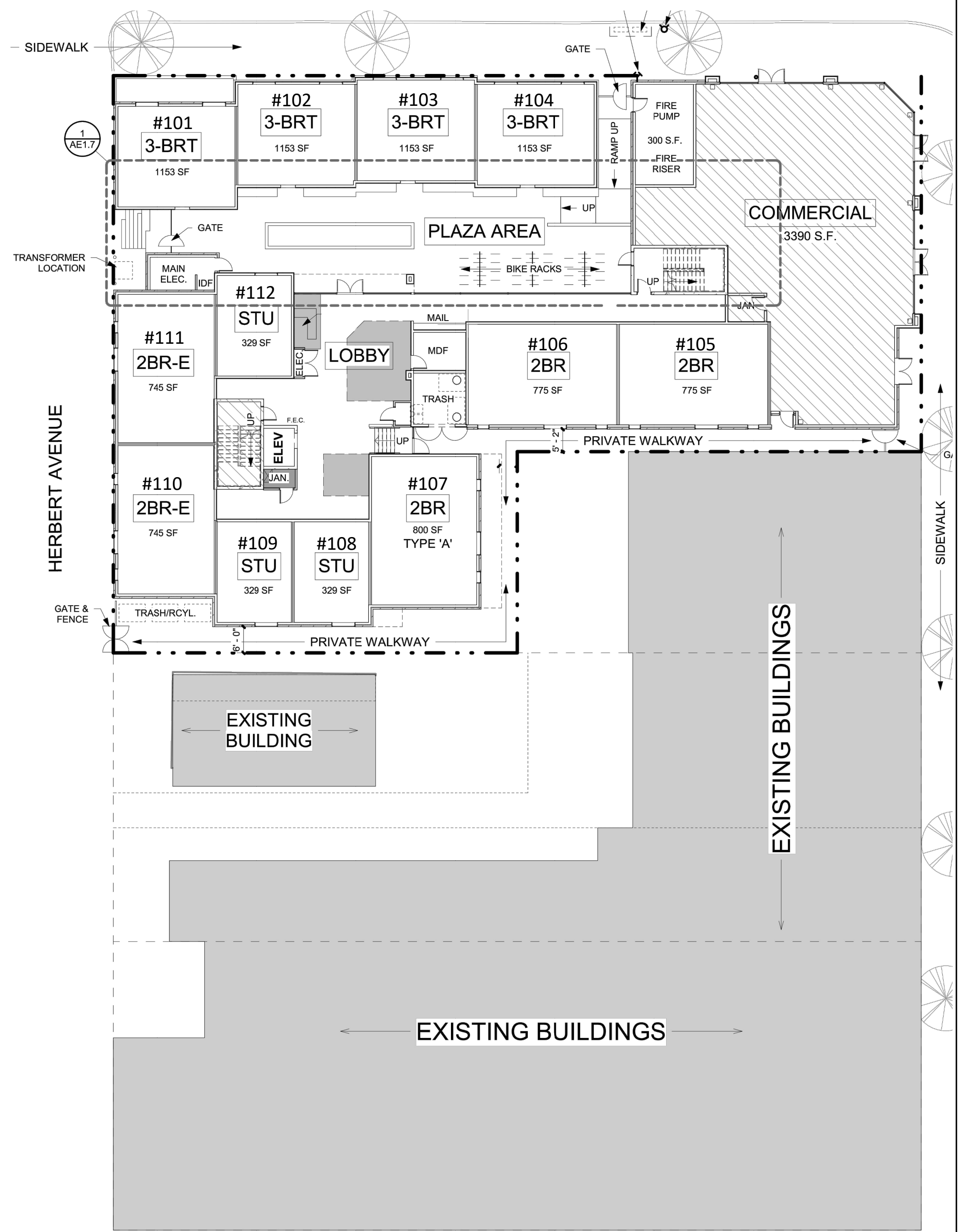




BUILDING #1 BASEMENT FLOOR PLAN
SCALE: 1"=20'

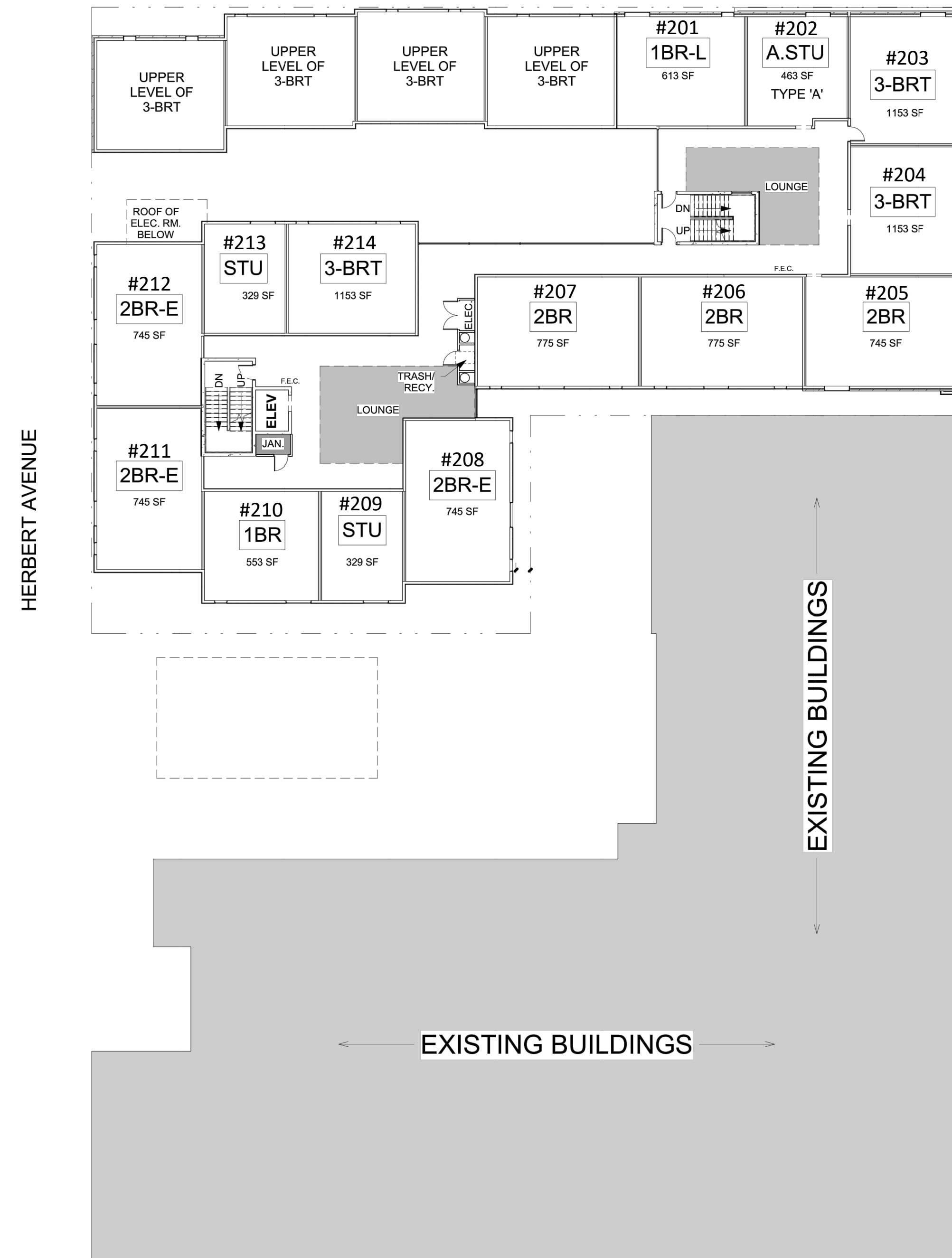
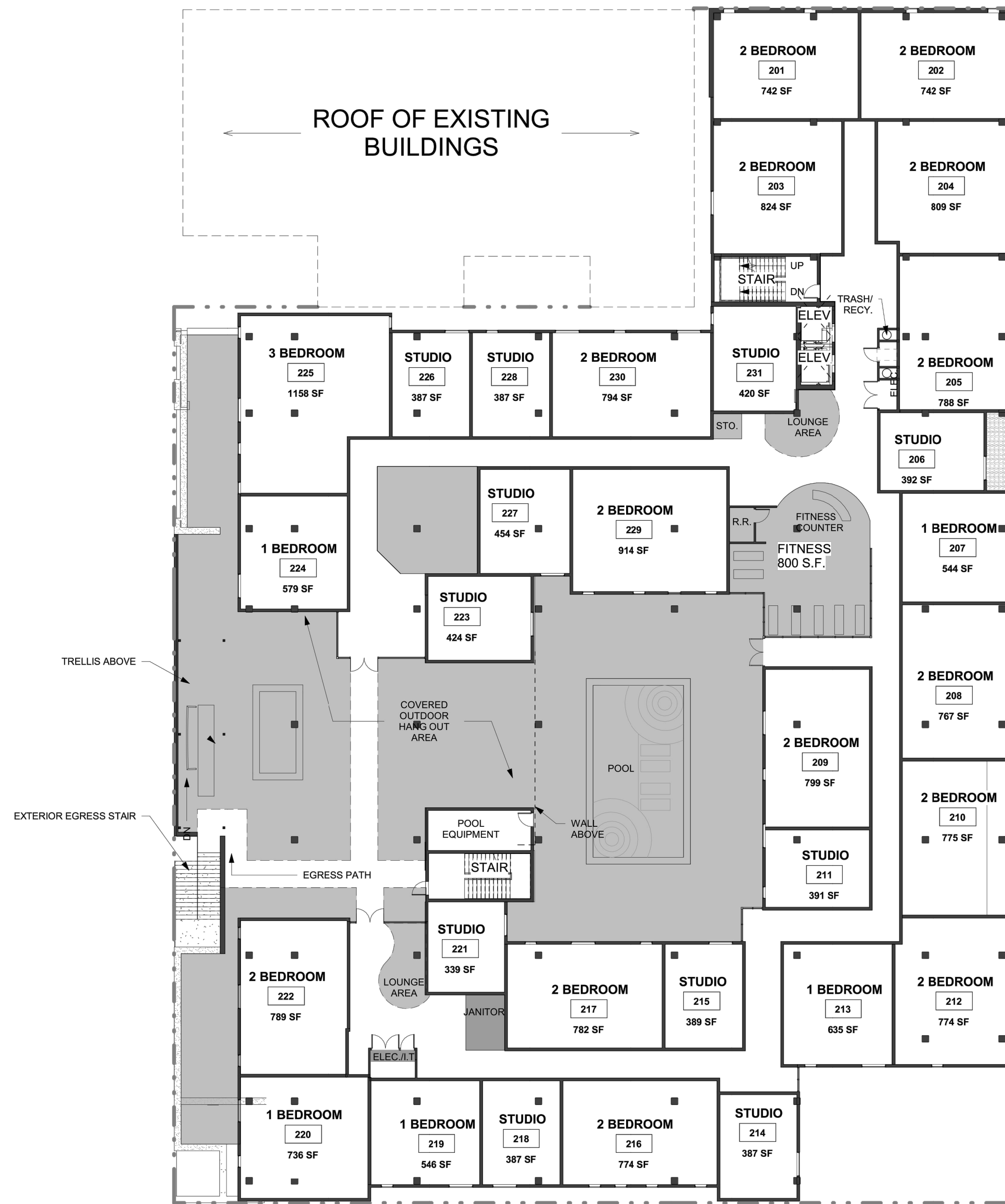


GROUND FLOOR PLANS
SCALE: 1"=20'



CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDS APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

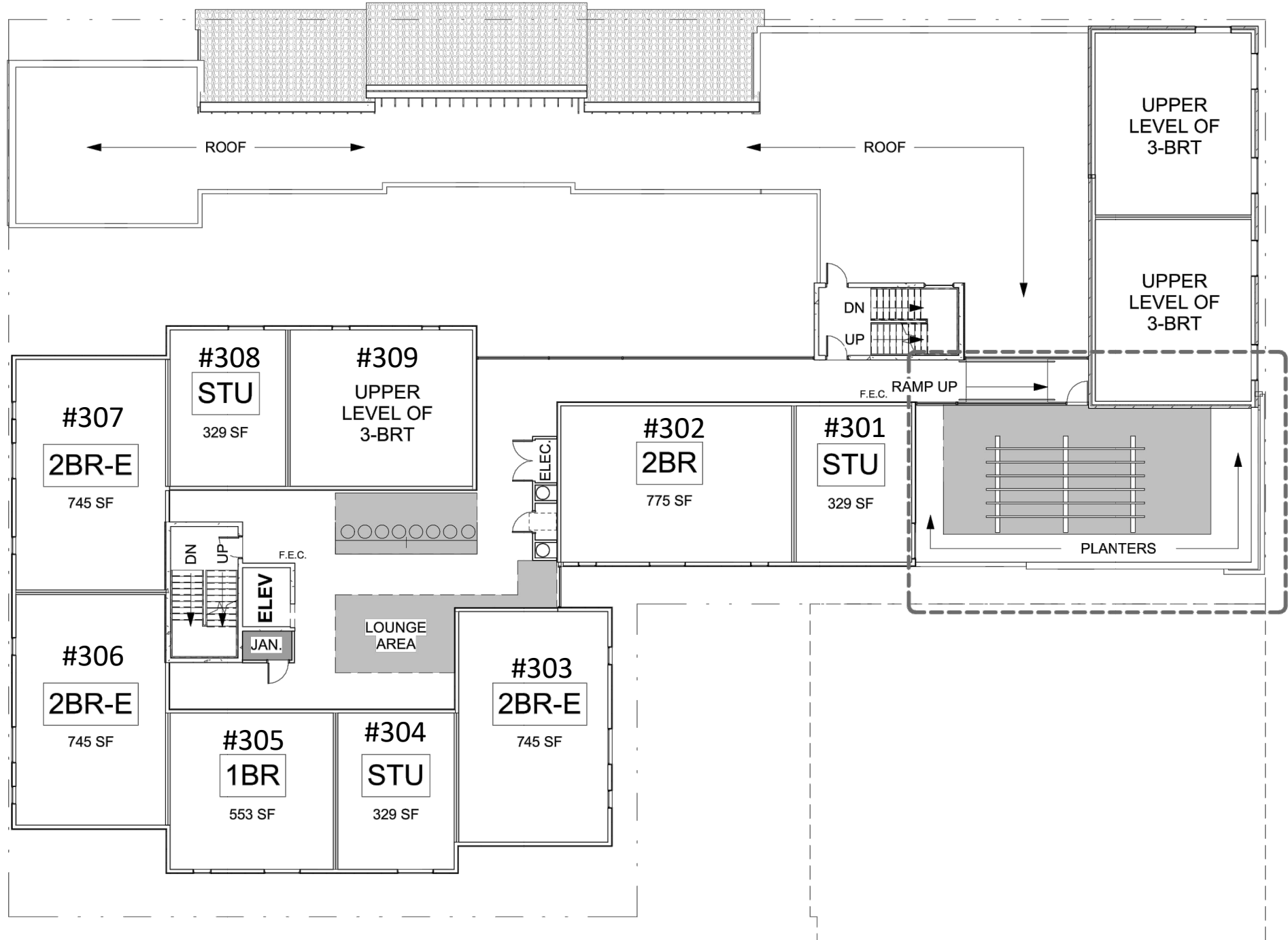
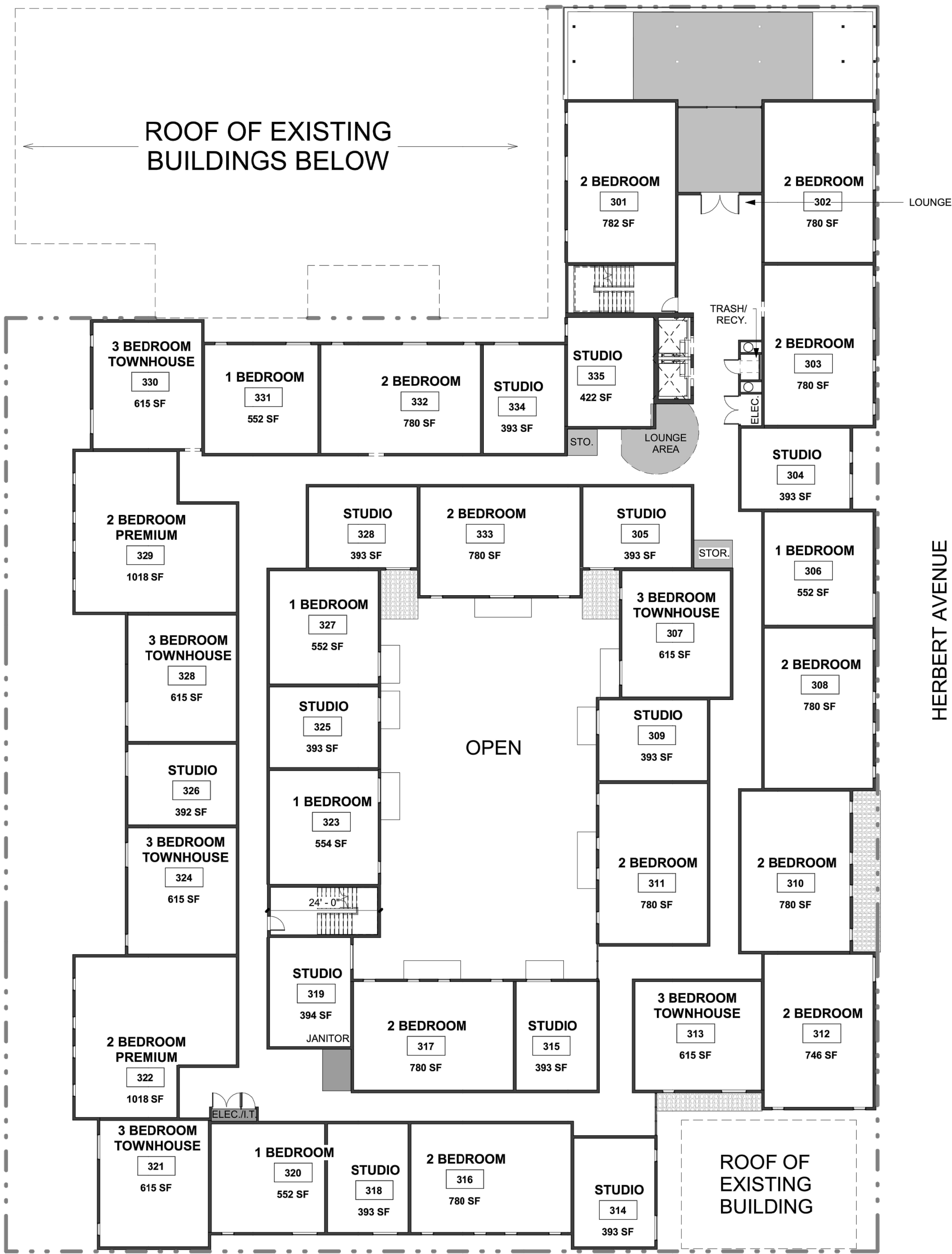
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edtrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
CYPRESS PROJECT NO: 17.097 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com				
PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				
DEVELOPMENT PACKAGE for UNION ON 6TH addressing				



SECOND FLOOR PLANS
SCALE: 1"=20'

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> Tentative Plat <input type="checkbox"/> Grading <input type="checkbox"/> SWPPP <input type="checkbox"/> FUP DVPKG MGR _____ Date _____ Zoning _____ Date _____ Engineering _____ Date _____ H/C Site _____ Date _____ Fire _____ Date _____ Landscape _____ Date _____ PL/ME _____ Date _____ Revision # _____ <input type="checkbox"/> per letter in SIRE		<input type="checkbox"/> SCZ <input type="checkbox"/> FRZ <input type="checkbox"/> HDZ <input type="checkbox"/> WASH <input type="checkbox"/> Other _____
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NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com		CYPRESS PROJECT NO: 17.097 37624 KEVIN M. HALL 01/20/2017 ARIZONA, U.S.A. Expires 06/30/2020		PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS. LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA
DEVELOPMENT PACKAGE for UNION ON 6TH addressing				DP 25 OF 30



THIRD FLOOR PLANS
SCALE: 1"=20'

CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDSD APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

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				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
				DEVELOPMENT PACKAGE for UNION ON 6TH addressing

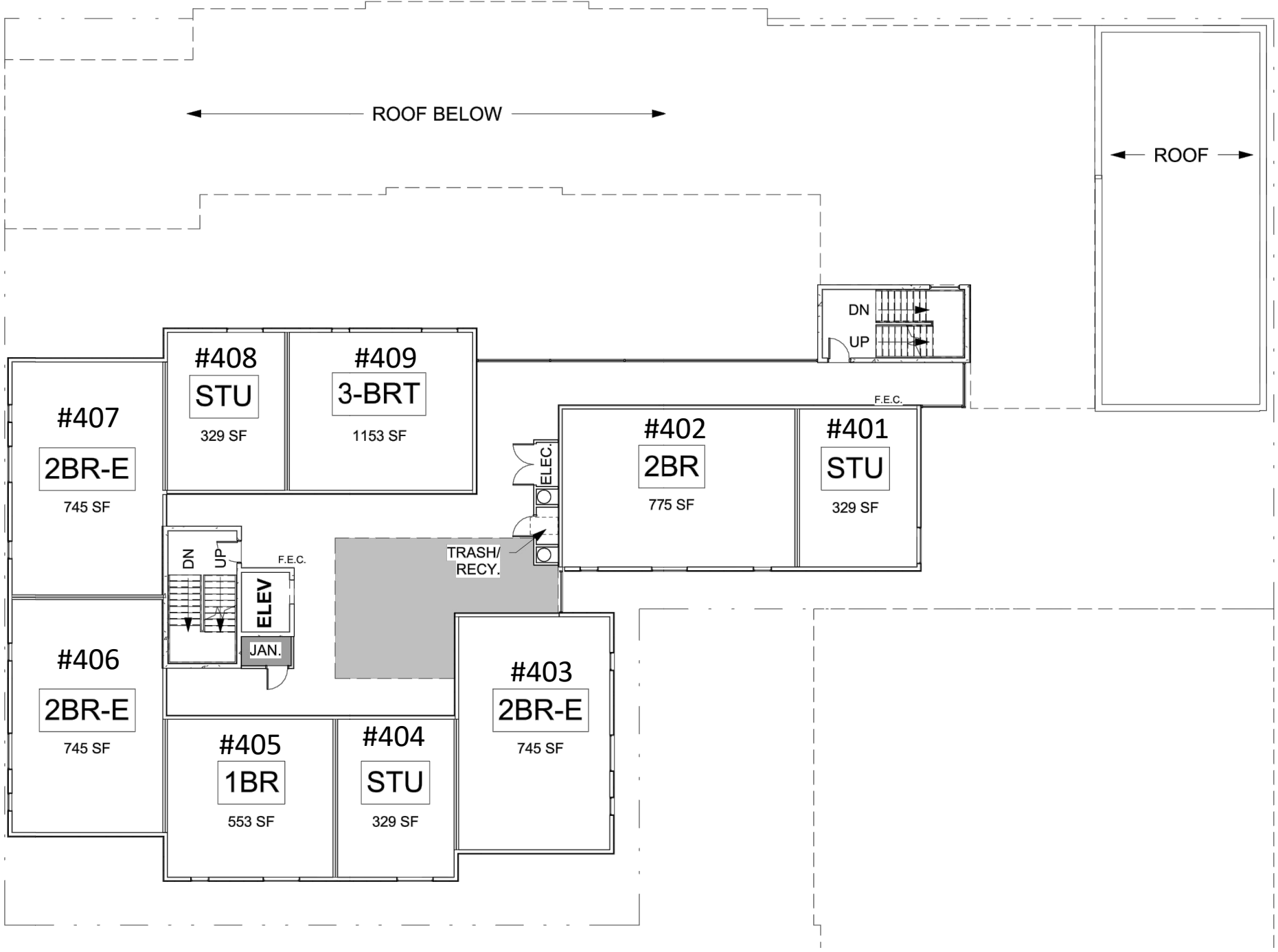
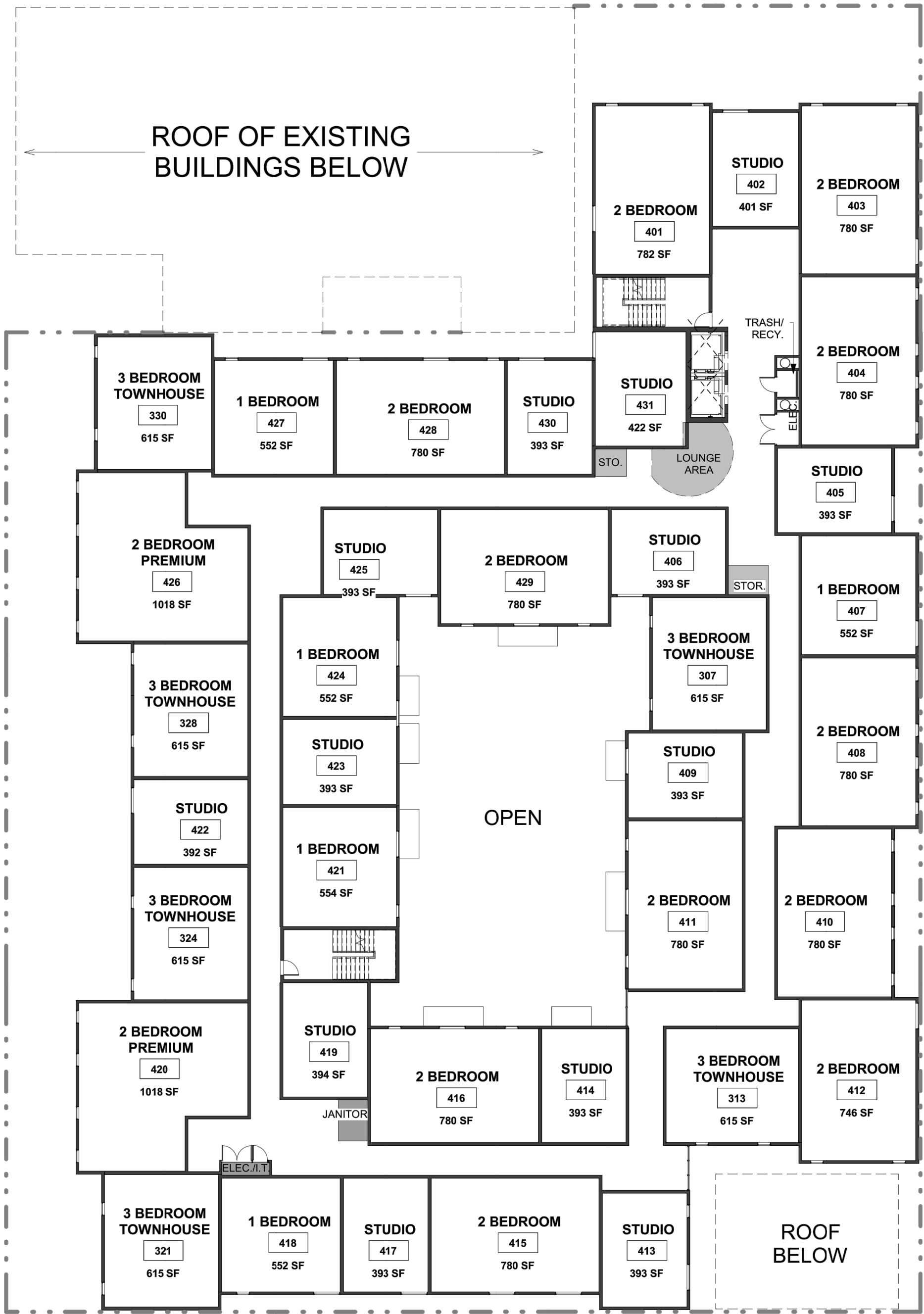


CYPRESS PROJECT NO: 17.097

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tucson, arizona 85719
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e: kmhall@cypresscivil.com

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
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E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA



FOURTH FLOOR PLANS
SCALE: 1"=20'



CITY OF TUCSON	DEVELOPMENT PACKAGE
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

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				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705

Professional Engineer
37624
KEVIN M. HALL
01/20/2017
ARIZONA, U.S.A.
Expires 06/30/2020

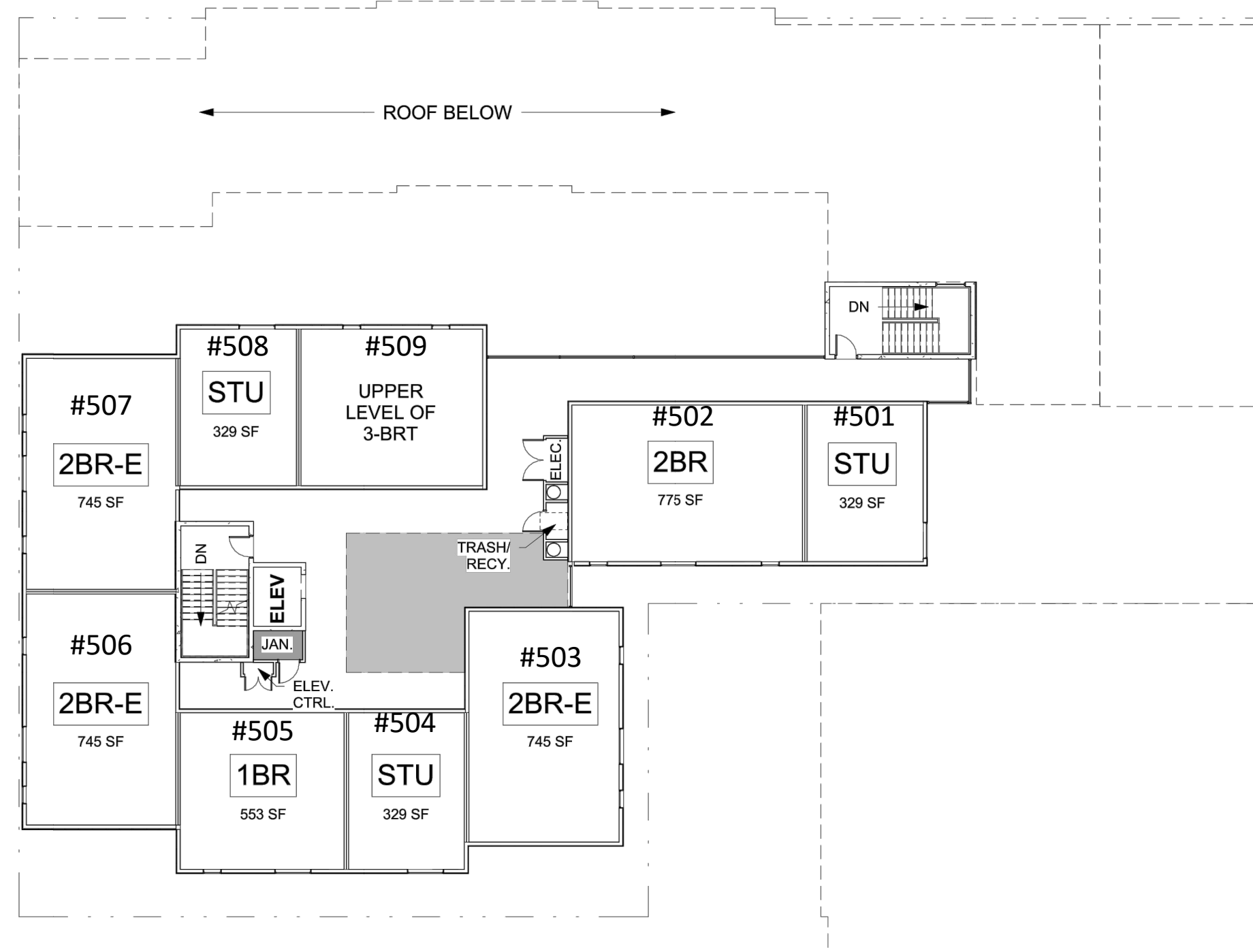
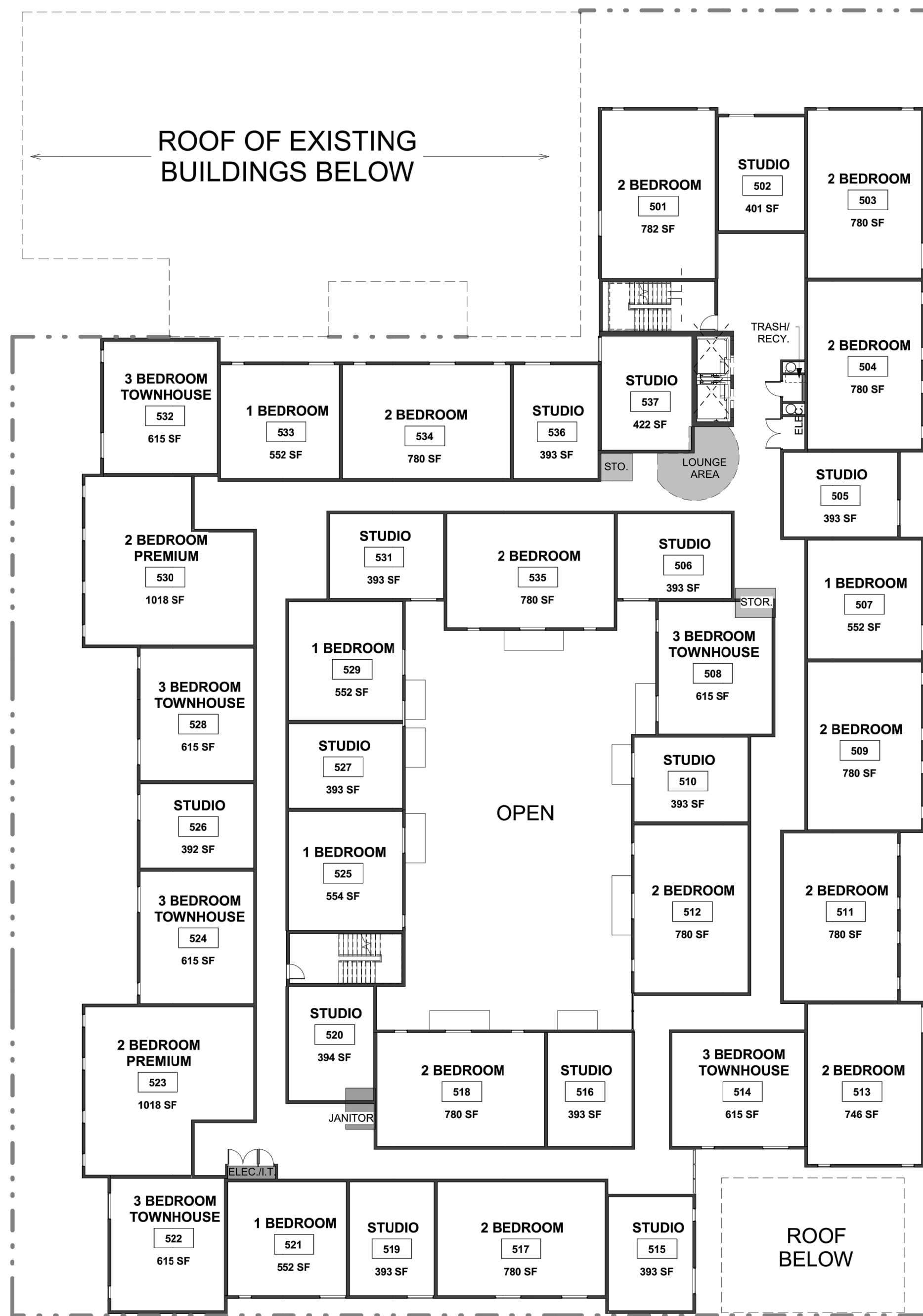
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E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
addressing

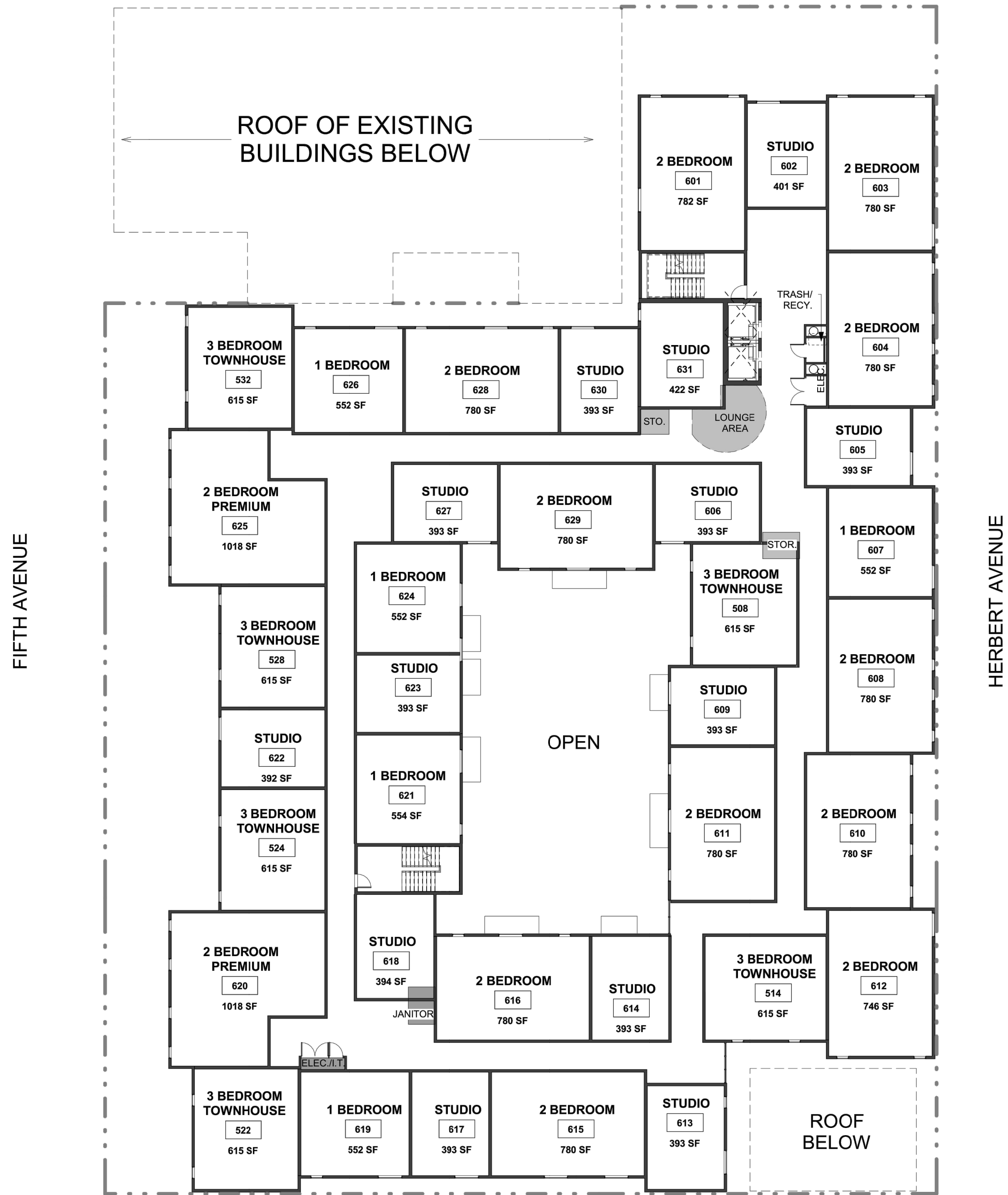
FIFTH AVENUE



FIFTH FLOOR PLANS
SCALE: 1"=20'

CITY OF TUCSON	DEVELOPMENT PACKAGE
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

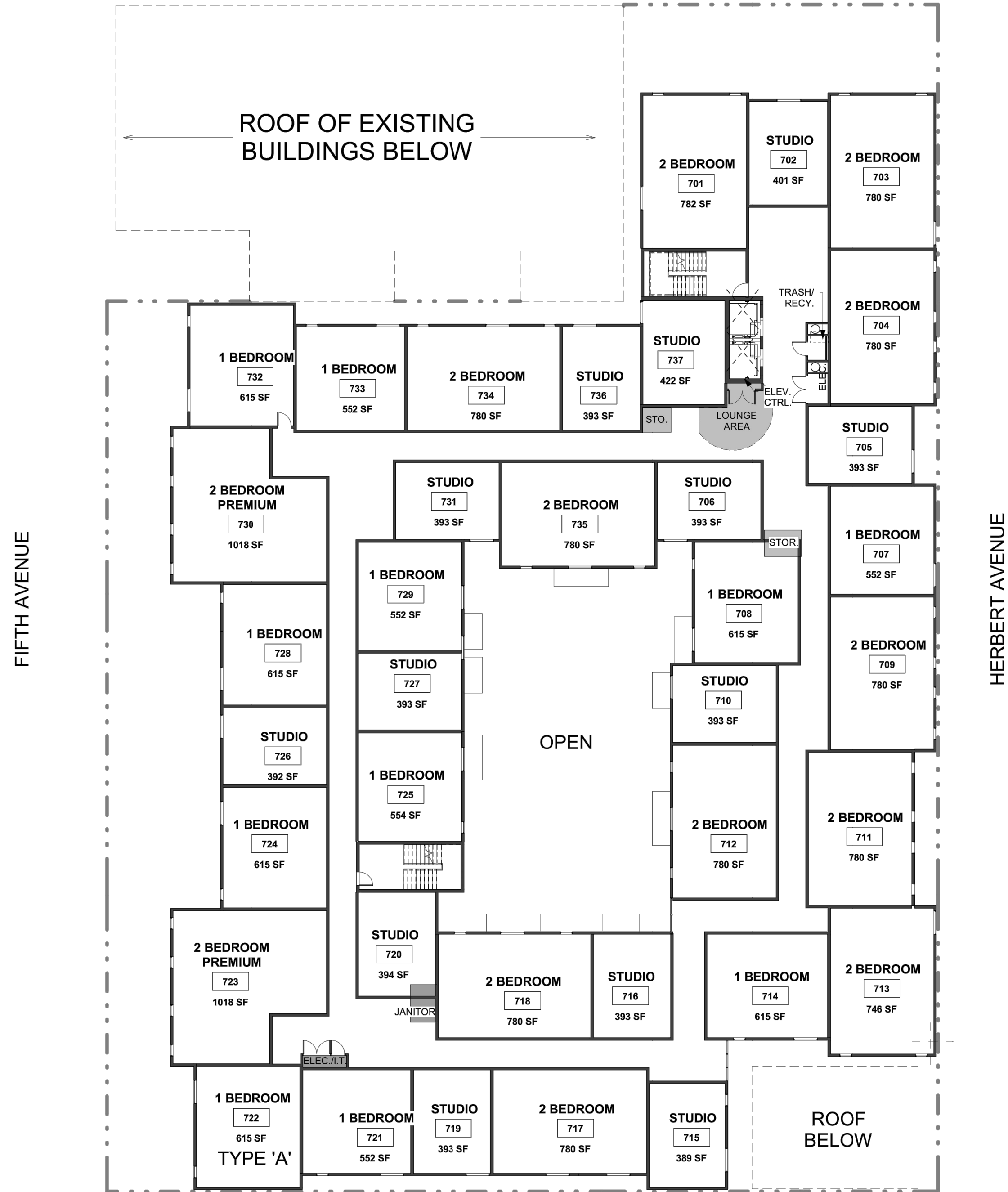
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705
CYPRESS CIVIL DEVELOPMENT strength + sustainability				2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com
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SIXTH FLOOR PLAN (BUILDING #1)
SCALE: 1"=20'

CITY OF TUCSON	DEVELOPMENT PACKAGE
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY
CYPRESS PROJECT NO: 17.097			
		2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com	
CYPRESS CIVIL DEVELOPMENT strength + sustainability		OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com	
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DEVELOPMENT PACKAGE for UNION ON 6TH addressing			



SEVENTH FLOOR PLAN (BUILDING #1)

SCALE: 1"=20'

CITY OF TUCSON

DEVELOPMENT PACKAGE

PDSD APPROVAL

☐ Site/Dev Plan ☐ SCZ
☐ Tentative Plat ☐ FRZ
☐ Grading ☐ HDZ
☐ SWPPP ☐ WASH
☐ FUP ☐ Other

DVPKG MGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PL/ME _____ Date _____

Revision # _____ ☐ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrtrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705



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2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
AND PLATS. LOCATED IN THE NW 1/4 OF
THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for
UNION ON 6TH
addressing**

ELEVATIONS, SHADE ANALYSIS, & SAMPLES

UNION ON 6TH



ELEVATIONS & RENDERINGS



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LS

EOR

UNION ON 6TH

ELEVATIONS & RENDERINGS



ELEVATIONS & RENDERINGS



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LB

EOR

UNION ON 6TH

ELEVATIONS & RENDERINGS



ELEVATIONS & RENDERINGS



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LS

EOR

UNION ON 6TH

ELEVATIONS & RENDERINGS



ELEVATIONS & RENDERINGS



UNION ON 6TH



ELEVATIONS & RENDERINGS



ELEVATIONS & RENDERINGS



CYPRESS
CIVIL DEVELOPMENT

a.23studios

VFLA
ARCHITECTURE + DESIGN

LS

EOR

UNION ON 6TH

SHADE STUDIES



SHADE STUDIES

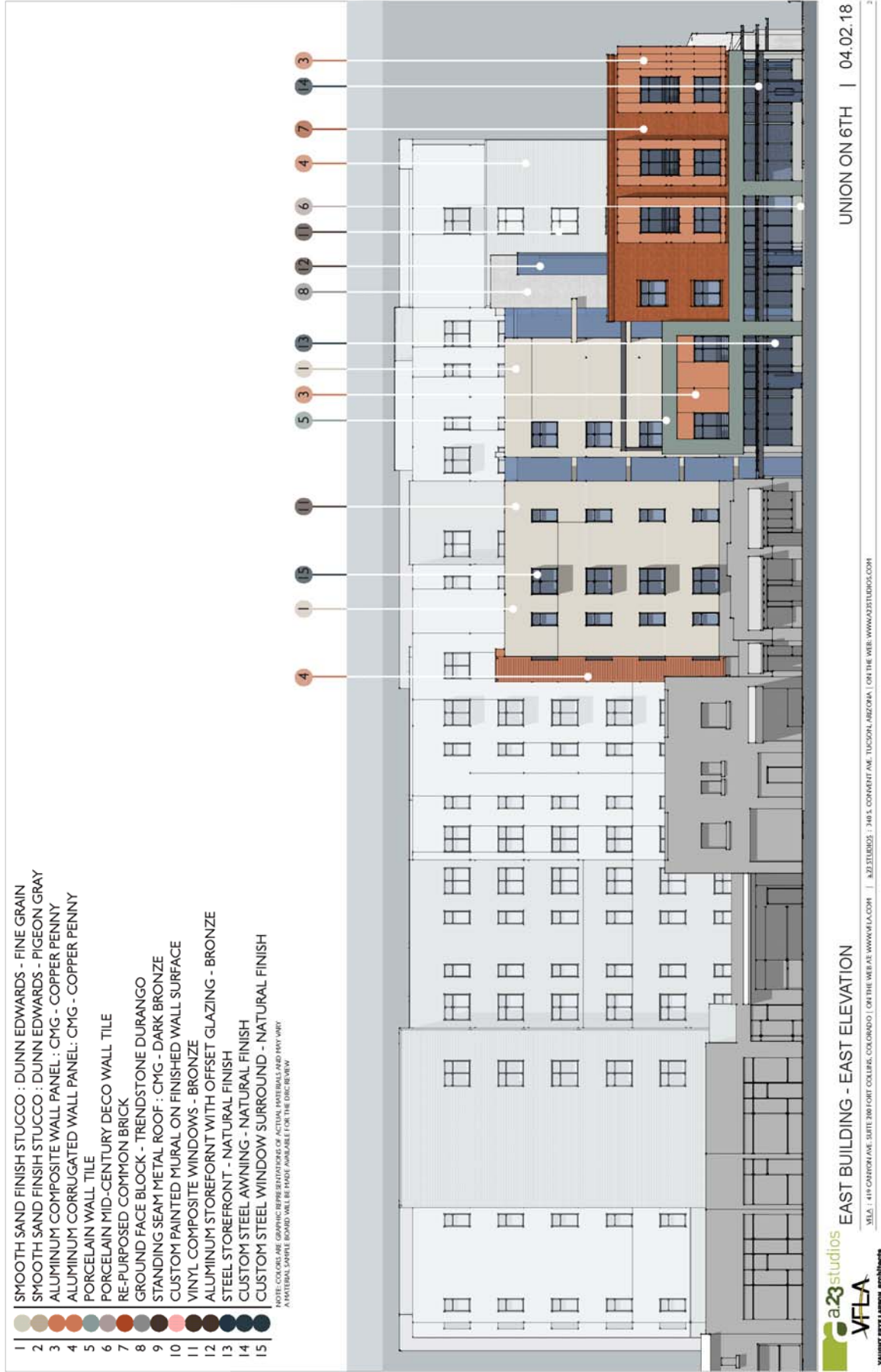


a23studios SHADE STUDY - SPRING/FALL EQUINOX
VFLA VFLA : 110 CANTON AVE, SUITE 100 FORT COLLINS, COLORADO | ON THE WEB AT WWW.VFLA.COM | 970.225.8888 | 340 S. CORNER AVE, TUCSON, ARIZONA | ON THE WEB WWW.A23STUDIOS.COM

SHADE STUDIES



ELEVATIONS & FENESTRATIONS



ELEVATIONS & FENESTRATIONS

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

SMOOTH SAND FINISH STUCCO : DUNN EDWARDS - FINE GRAIN

SMOOTH SAND FINISH STUCCO : DUNN EDWARDS - PIGEON GRAY

ALUMINUM COMPOSITE WALL PANEL : CMG - COPPER PENNY

ALUMINUM CORRUGATED WALL PANEL: CMG - COPPER PENNY

PORCELAIN WALL TILE

PORCELAIN MID-CENTURY DECO WALL TILE

RE-PURPOSED COMMON BRICK

GROUND FACE BLOCK - TRENDSTONE DURANGO

STANDING SEAM METAL ROOF : CMG - DARK BRONZE

CUSTOM PAINTED MURAL ON FINISHED WALL SURFACE

VINYL COMPOSITE WINDOWS - BRONZE

ALUMINUM STOREFRONT WITH OFFSET GLAZING - BRONZE

STEEL STOREFRONT - NATURAL FINISH

CUSTOM STEEL AWNING - NATURAL FINISH

CUSTOM STEEL WINDOW SURROUND - NATURAL FINISH

NOTE: COLORS ARE GRAPHIC REPRESENTATIONS OF ACTUAL MATERIALS AND MAY VARY

A MATERIAL SAMPLE BOARD WILL BE MADE AVAILABLE FOR THE DRG REVIEW

Union On 6th

04.02.18

East Building - North Elevation

Union On 6th

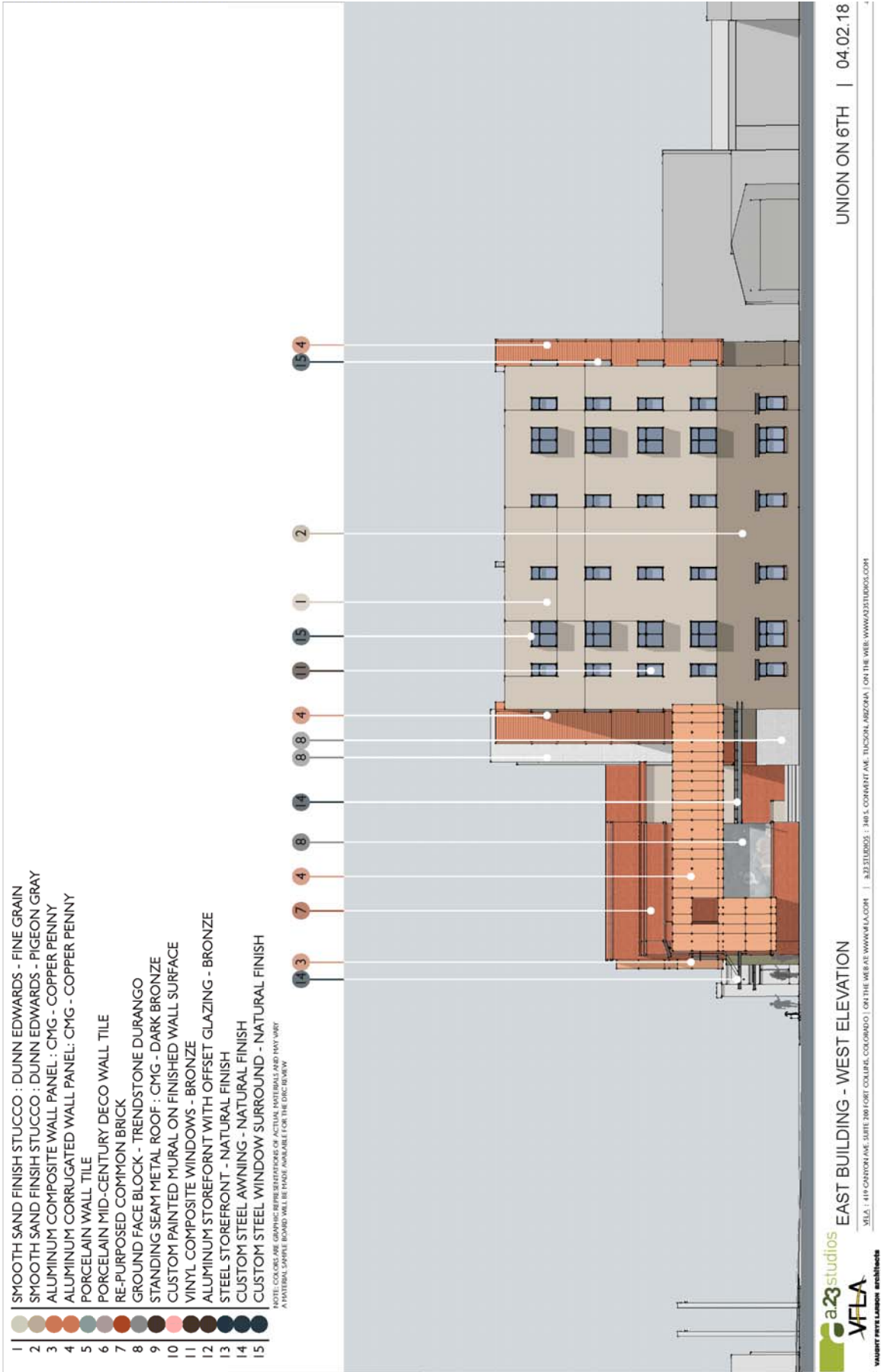
23studios

VFLA

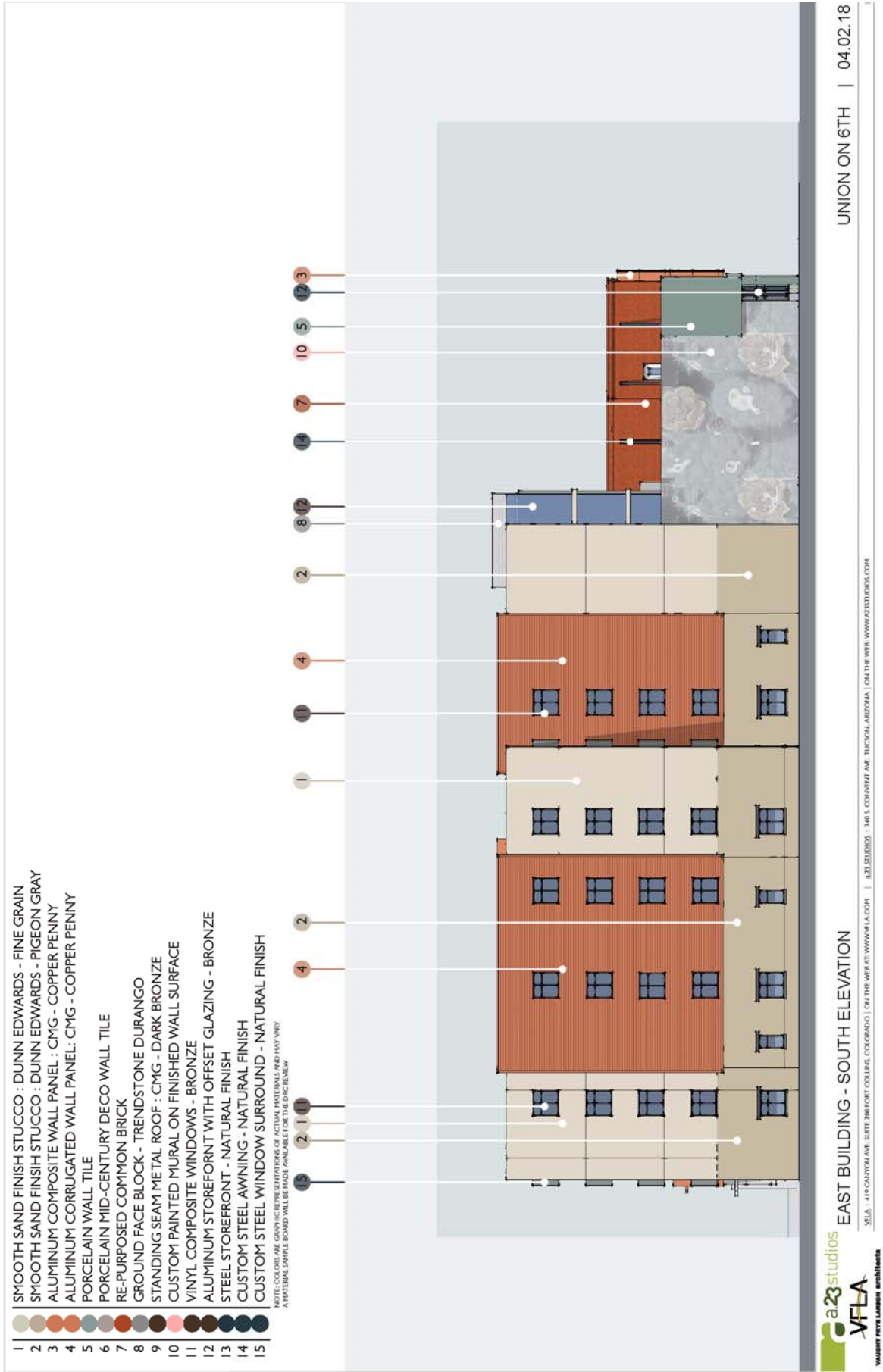
Valuer First Leases Architecture

119 Canyon Ave, Suite 200 Fort Collins, Colorado | On The Web At www.vfla.com | 823 Studios : 340 S. Cornwell Ave, Tucson, Arizona | On The Web www.a23studios.com

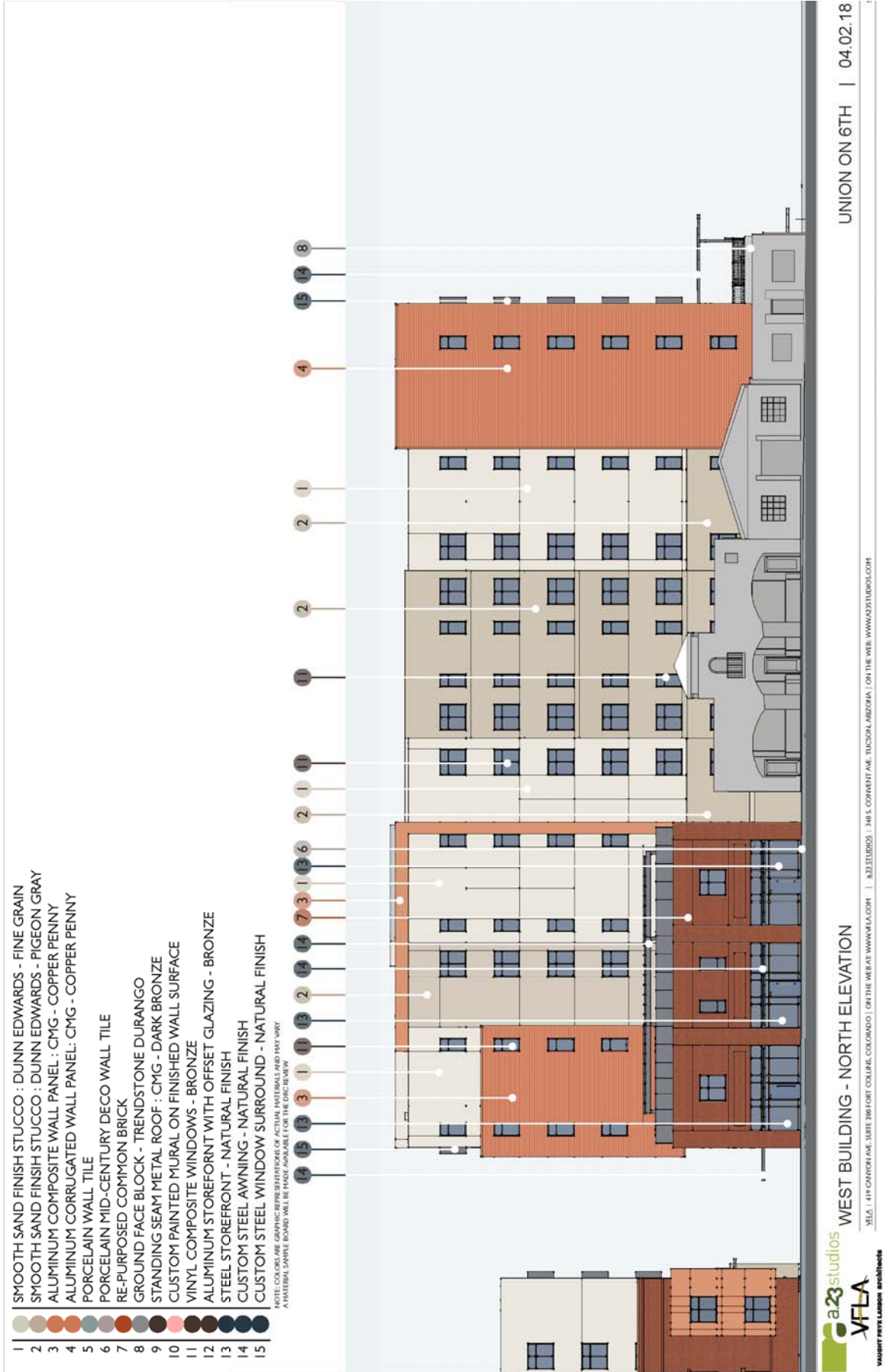
ELEVATIONS & FENESTRATIONS



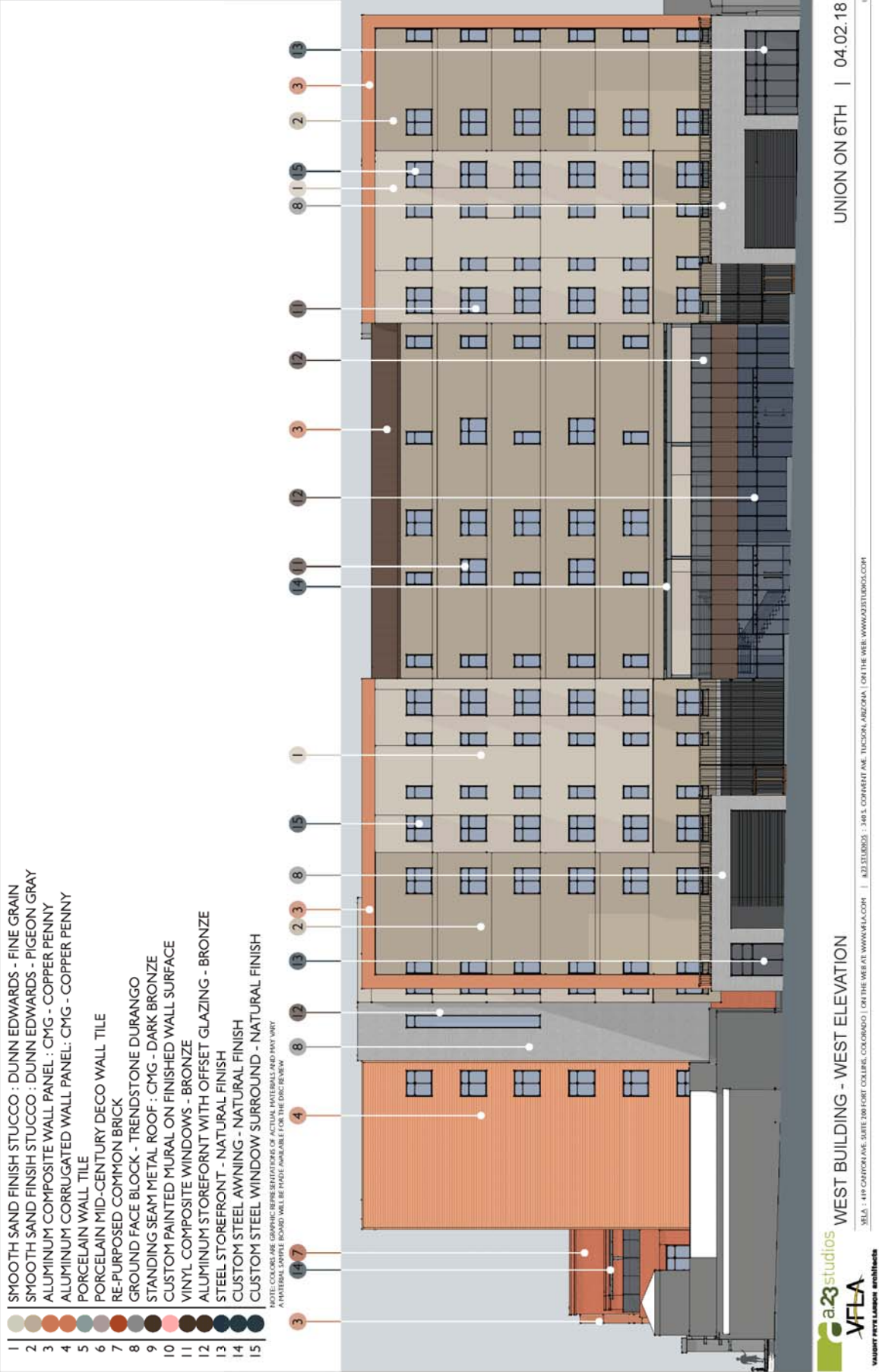
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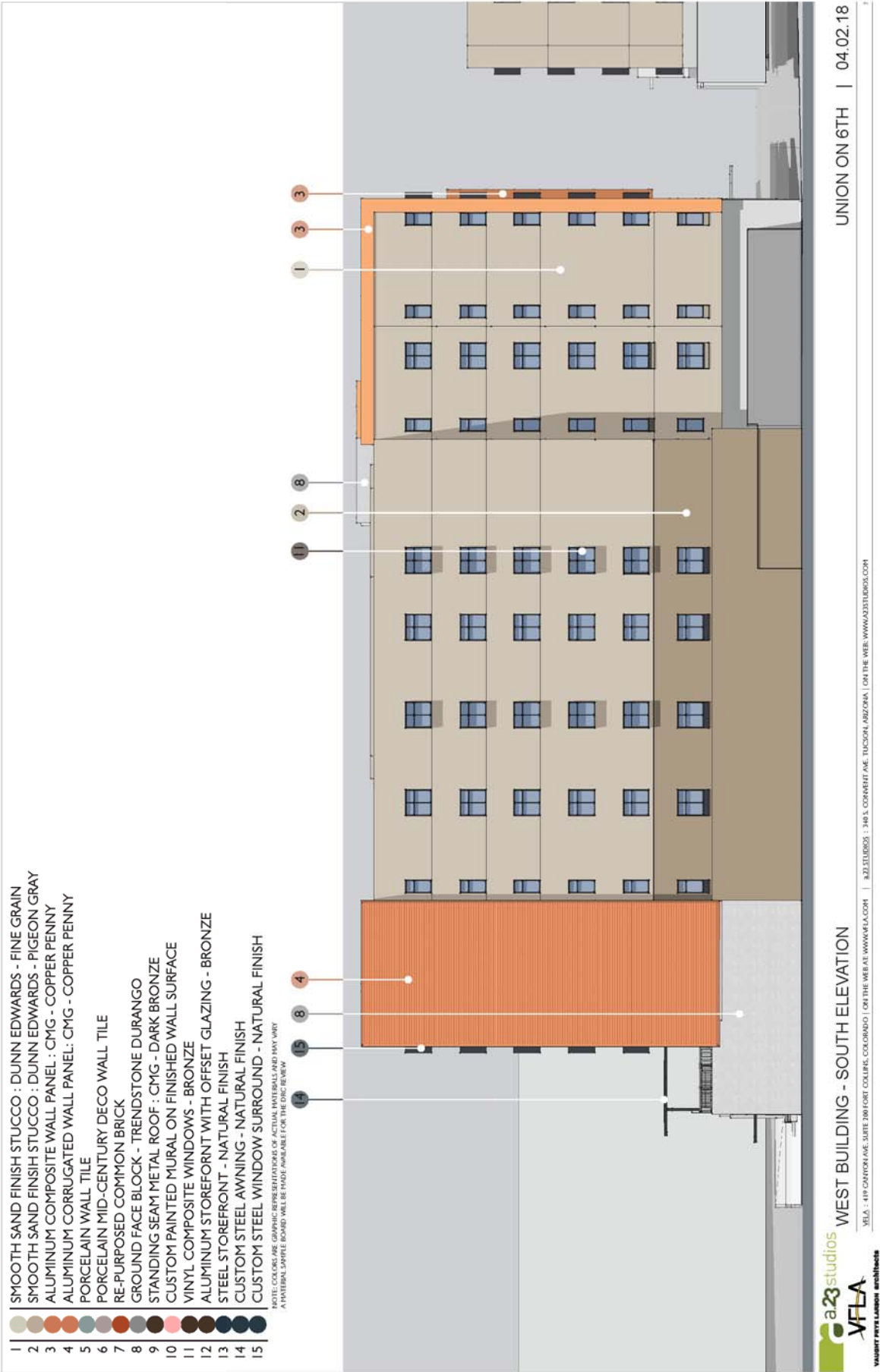
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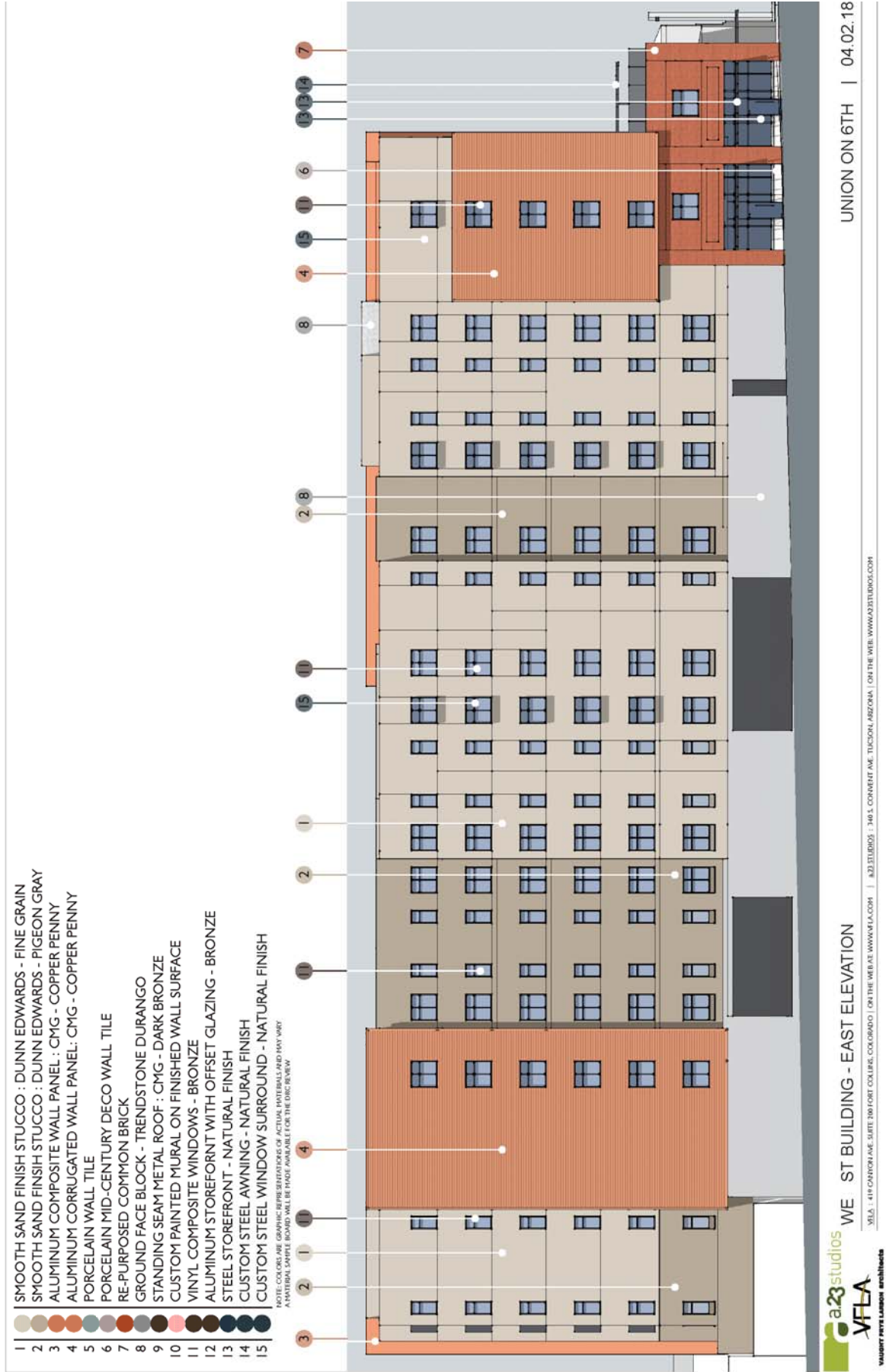
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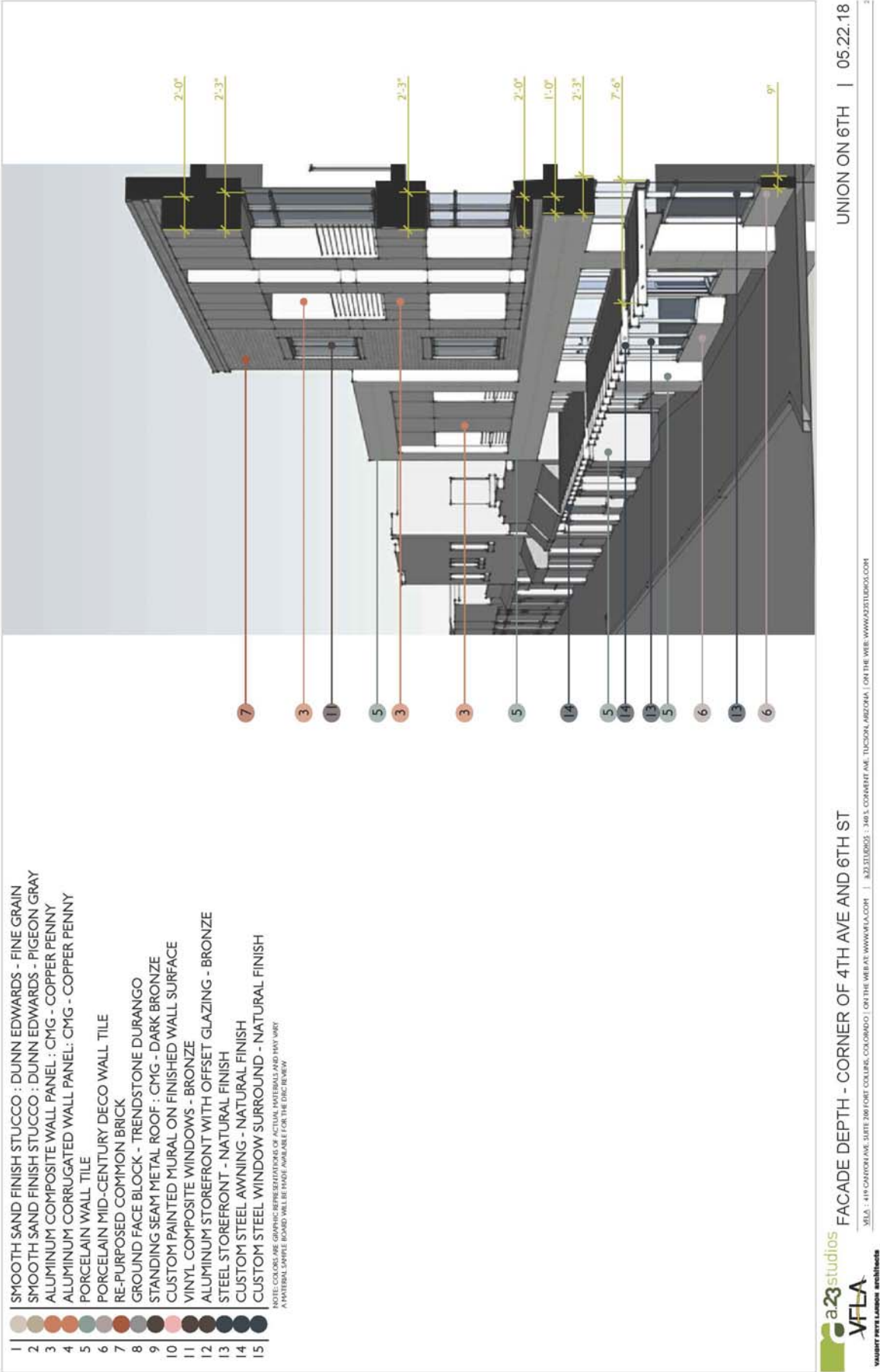
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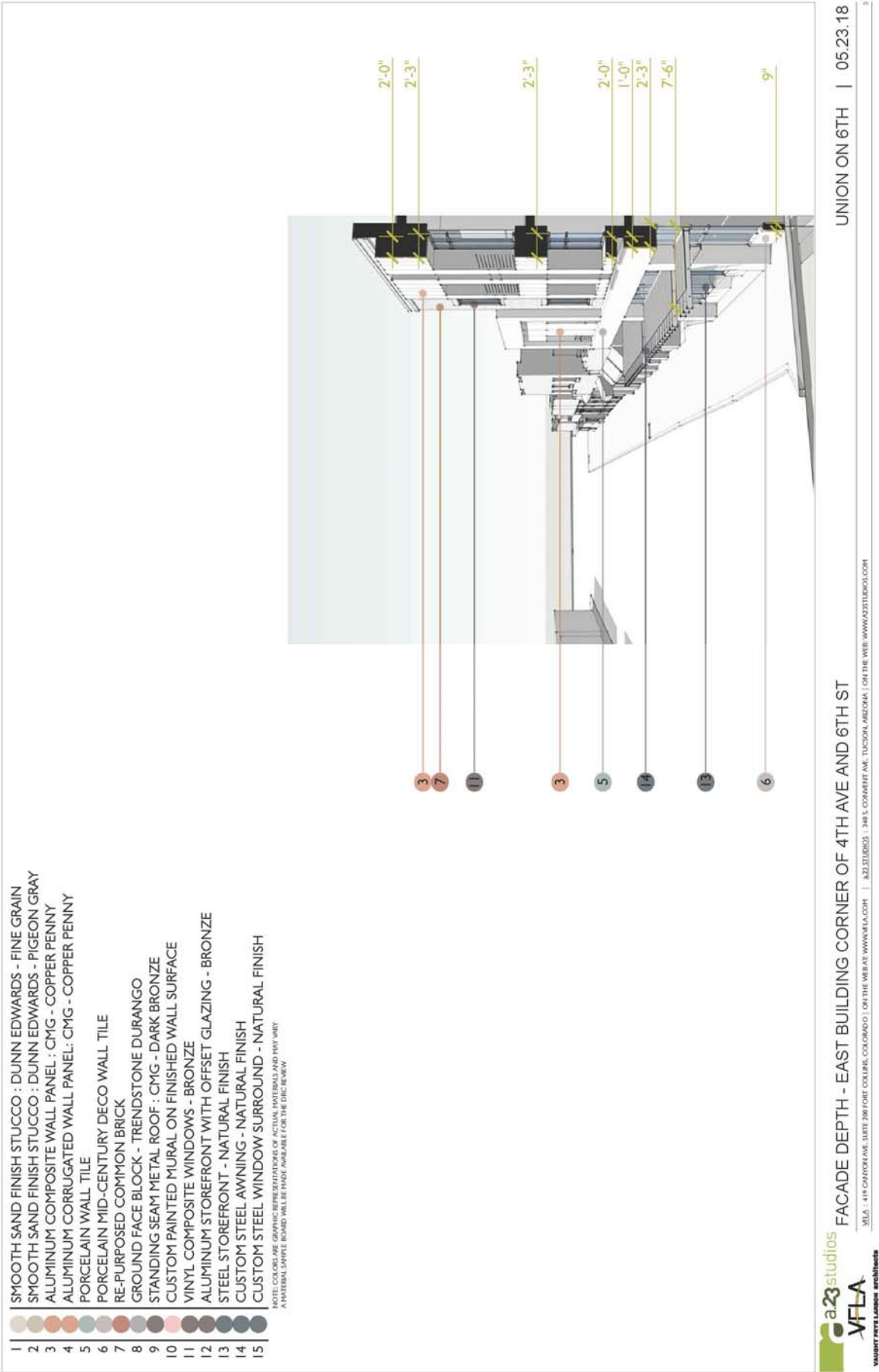
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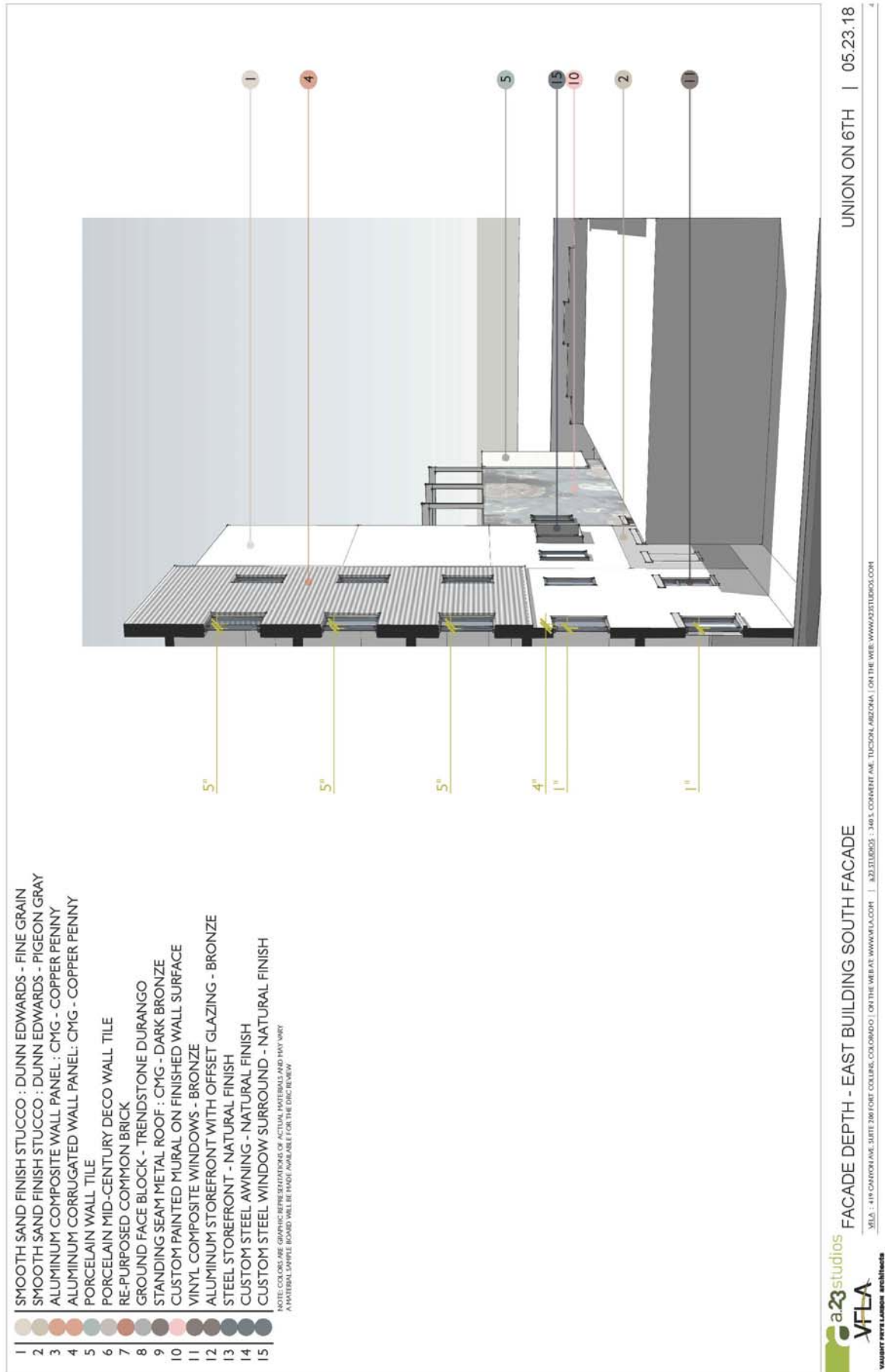
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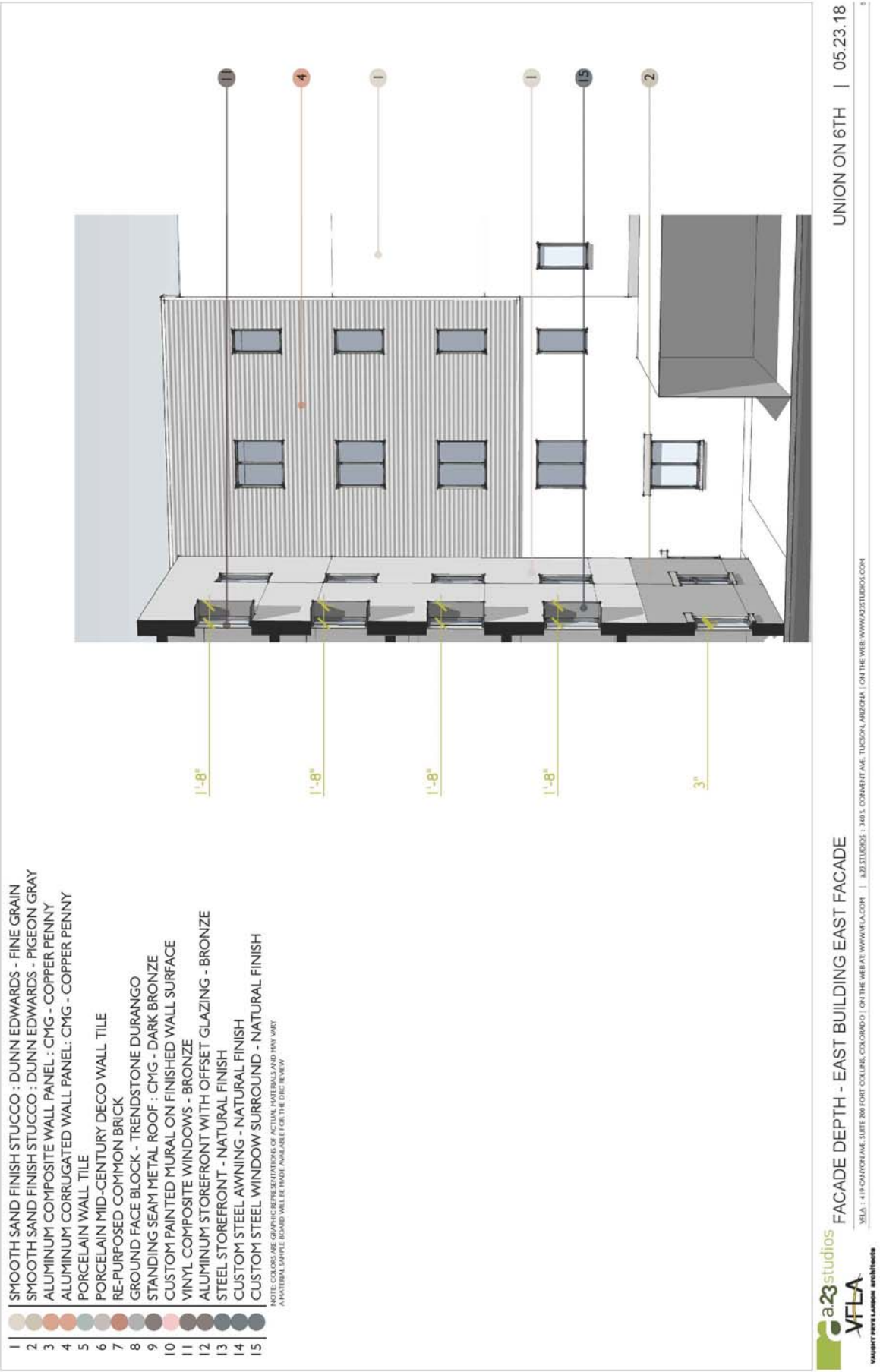
ELEVATIONS & FENESTRATIONS



ELEVATIONS & FENESTRATIONS



ELEVATIONS & FENESTRATIONS



MATERIALS PALETTE

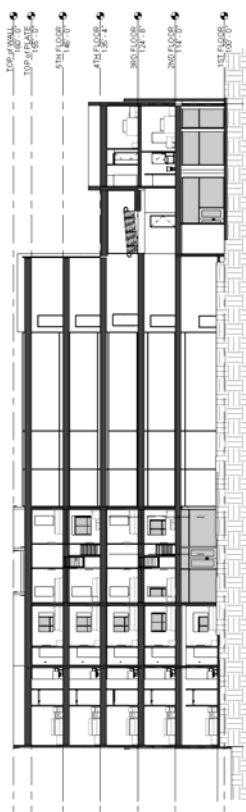
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 2 SMOOTH SAND FINISH STUCCO - DUNN EDWARDS - PIGEON GRAY
 3 ALUMINUM COMPOSITE WALL PANEL - CMG - COPPER PENNY
 4 ALUMINUM CORRUGATED WALL PANEL - CMG - COPPER PENNY
 5 PORCELAIN WALL TILE
 6 PORCELAIN MID-CENTURY DECO WALL TILE
 7 RE-PURPOSED COMMON BRICK
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 9 STANDING SEAM METAL ROOF - CMG - DARK BRONZE
 10 CUSTOM PAINTED MURAL ON FINISHED WALL SURFACE
 11 VINYL COMPOSITE WINDOWS - BRONZE
 12 ALUMINUM STOREFRONT WITH OFFSET GLAZING - BRONZE
 13 STEEL STOREFRONT - NATURAL FINISH
 14 CUSTOM STEEL AWNING - NATURAL FINISH
 15 CUSTOM STEEL WINDOW SURROUND - NATURAL FINISH

NOTE: COLORS ARE GRAPHIC REPRESENTATIONS OF ACTUAL MATERIALS AND MAY VARY
 A MATERIAL SAMPLE BOARD WILL BE MADE AVAILABLE FOR THE DRC REVIEW

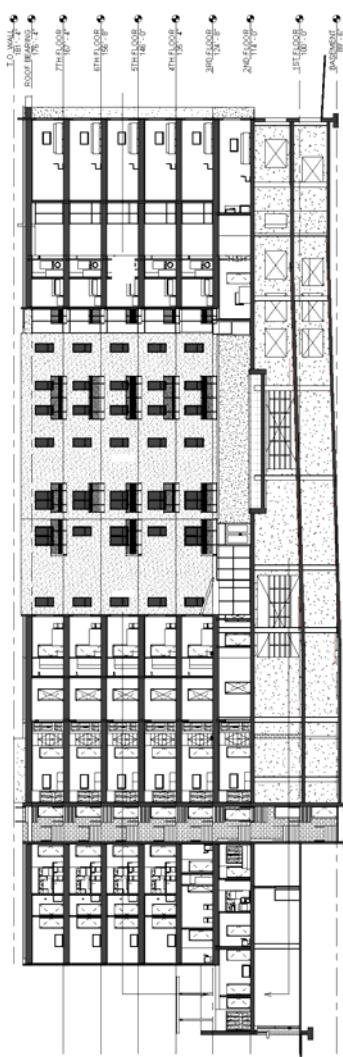
BUILDING HEIGHTS & SECTIONS



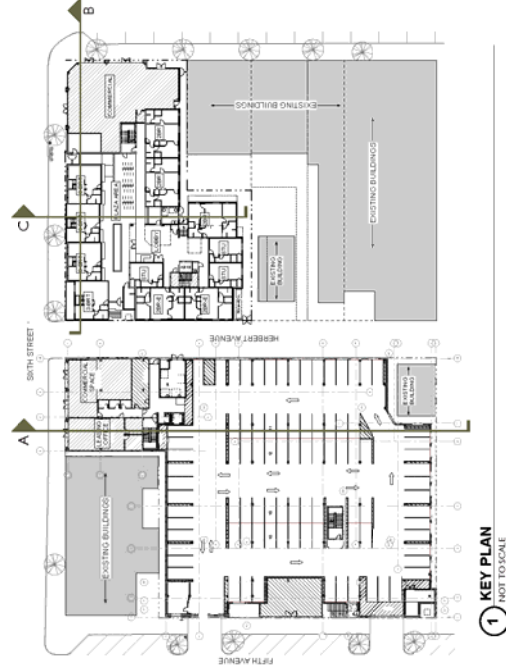
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NOT TO SCALE



B EAST BUILDING SECTION LOOKING NORTH
NOT TO SCALE



A WEST BUILDING SECTION
NOT TO SCALE

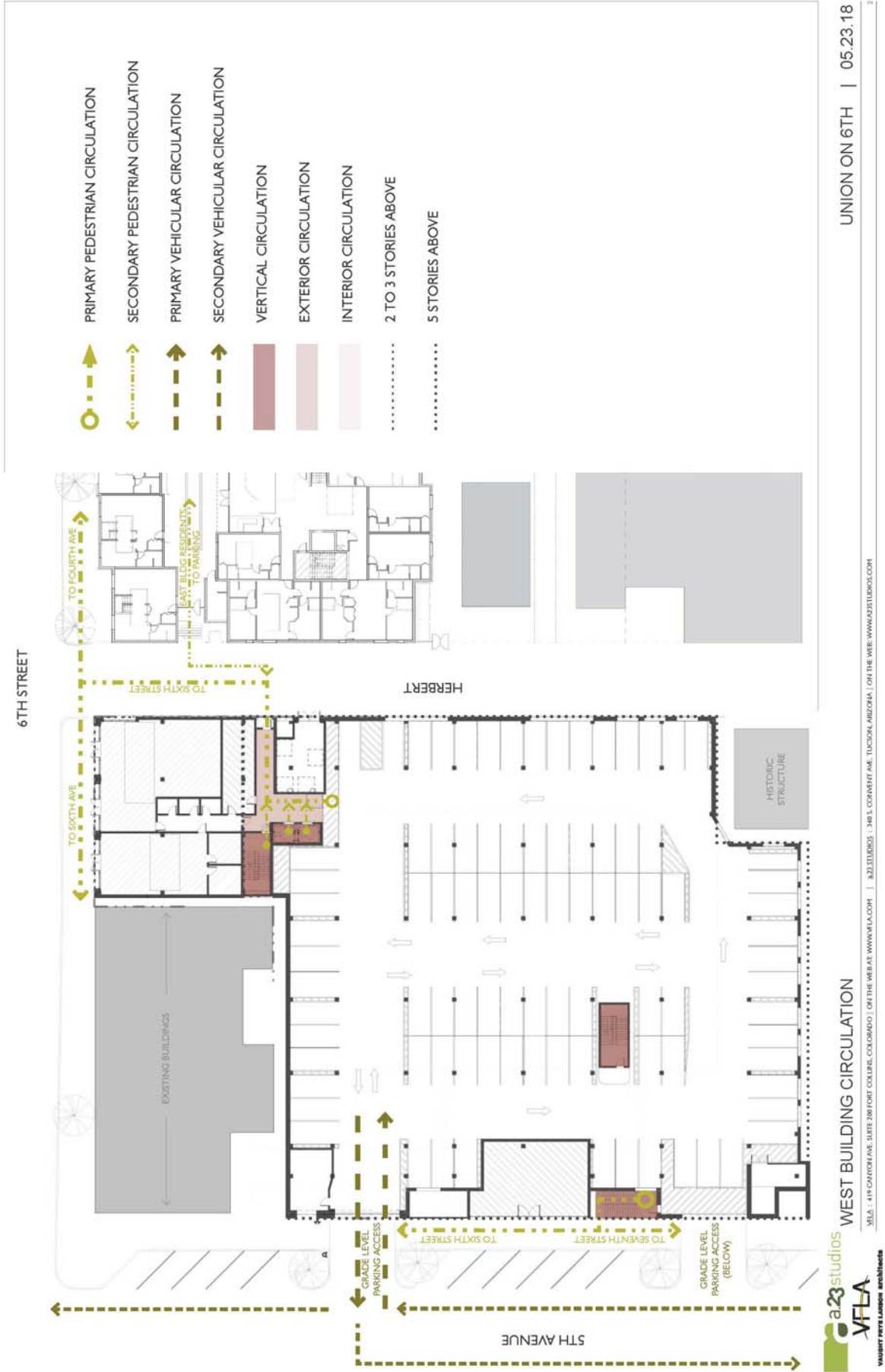


1 KEY PLAN
NOT TO SCALE

CIRCULATION



CIRCULATION



APPENDIX

UNION ON 6TH



#1 – HISTORIC PROPERTY SUPPORT DOCUMENTATION

UNION ON 6TH



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use **continuation sheets where necessary**. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 40 Survey Area: 4th Avenue Commercial Historic District

Historic Name(s):

Address: 340 E. 6th Street

City or Town: Tucson

☐ vicinity

County: Pima

Tax Parcel No. 11705033A

Township: 14 S Range: 13 E Section: 12 Quarter Section: _____ Acreage: <1

Block: 68 Lot(s): 1 Plat (Addition): Tucson City Limits Year of plat (addition): NA

UTM reference: Zone 12 Easting _____ Northing _____ USGS 7.5' quad map: Tucson

Architect: _____ ☒ not determined ☐ known (source: _____)

Builder: _____ ☒ not determined ☐ known (source: _____)

Construction Date: Ca. 1950 ☐ known ☒ estimated (source: County Assessor's Office)

STRUCTURAL CONDITION

☒ Good (*well maintained, no serious problems apparent*)

☐ Fair (*some problems apparent*) Describe: _____

☐ Poor (*major problems; imminent threat*) Describe: _____

☐ Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

Commercial (ca. 1950-present)

Currently Flycatcher Nightclub

Sources: Pima County

Assessor's Office

PHOTO INFORMATION

Date of photo: December 2015

View Direction (*looking towards*)
Southwest

Negative No.: _____



SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)

B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)

C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

Style: Commercial

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION ☒ Original Site ☐ Moved (date _____) Original Site: _____

2. DESIGN Single-story building with box-like massing, corner entry, flat roof, and minimal ornamentation.
At an unknown date windows and doors were upgraded to modern aluminum and an enclosed patio was added to the northwest corner of the building along 6th Street. .

3. SETTING Early 20th century commercial district: Fourth Avenue began as a residential neighborhood in the latter part of the 19th century and by the turn of the 20th century, homes were either torn down, replaced, or redesigned to become a commercial corridor serving adjacent neighborhoods

4. MATERIALS

Walls (structure): Brick Foundation: Concrete Roof: Built-up

Windows: Aluminum

If the windows have been altered, what were they originally? Unknown

Wall Sheathing: Stucco and paint

If the sheathing has been altered, what was it originally? _____

5. WORKMANSHIP

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

☐ Individually listed; ☐ Contributor ☐ Noncontributor to _____ Historic District
Date Listed: _____ ☐ Determined eligible by Keeper of National Register (date: _____)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property ☐ is ☒ is not eligible individually.

Property ☐ is ☒ is not eligible as a contributor to a potential historic district.

☐ More information needed to evaluate.

If not considered eligible, state reason: Façade altered

FORM COMPLETED BY:

Name and Affiliation: Poster Frost Mirto

Mailing Address: 317 N. Court Ave., Tucson, AZ 85701

Date: December 2015

Phone No.: 520-882-6310

Arizona

Historic Property Inventory Form

SHPO

State Historic
Preservation officeSURVEY SITE NO. 5.03COUNTY Pima

Accession No.

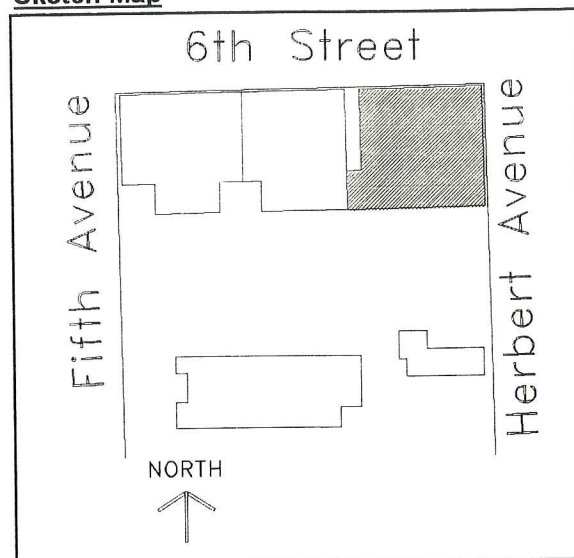
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PROPERTY NAME Not KnownSURVEY AREA Tucson Warehouse Historic District

IDENTIFICATION

ADDRESS 316 E. Sixth StreetCITY/TOWN TucsonLOT Prt of 2BLOCK 68PLAT: TucsonTOWNSHIP 14RANGE 13SECTION 12QUARTER 1/4 of the 1/4UTM REFERENCE Z 1 2 Easting 5 0 4 9 6 0Northing 3 3 6 5 3 4 0 *USGS QUAD USGS TUCSON 15' MAPPROPERTY TYPE CommercialHISTORIC USES 1. Various Retail2. ResidencePRESENT USE RetailAbandoned ☐Demolished ☐STYLE CommercialCONSTRUCTION DATE 1942Known ☐Estimated ☒Date Source Sanborn fire map of 1947 and city directory from 1942 to 1948

Sketch Map



ARCHITECT / BUILDER / CRAFTSMAN

ALTERATIONS It appears likely that the eastern portion of this building was constructed first, c. 1942 and that the western end was added about 1946.

CONDITION

Good ☒ Fair ☐ Poor ☐

INTEGRITY

Gd ☐ Fr ☐ Pr ☒

NUMBER OF ACRES

4620 S.F.

Negative Number

RO4-15Date of Photo 04/06/94View Looking South

Photographer or Source

Bodie Robins

ARCHITECTURAL DESCRIPTIONSTORIES 1FOUNDATION Concrete

STRUCTURAL MATERIAL _____

Brick with CMU addition

WALL CLADDING _____

Stucco & plywood sidingROOF TYPE Gable hidden by parapetROOF CLADDING ShingleOUTBUILDINGS None**STATEMENT OF SIGNIFICANCE**

WINDOWS _____

FixedENTRY Two single entries - one @each bay.VERANDAS none

APPLIED ORNAMENT _____

noneINTERIOR N/A

ENVIRONMENT / LANDSCAPING _____

None

1. Theme/context Abode homes were in this location beginning c.1915. The eastern portion of the building is, apparently, made of adobe leading to the assumption that a portion of the dwellings was used in the construction of the retail stores.

2. Historical Association This is the clearest example of the change from residential to retail uses in this corner of the district. The building literally used the former function in developing the new use.

3. Architectural Association The order of the traditional storefront has been changed by 'modernizing'. Clearly the balance; symmetry and the connection to the streetscape, storefront window, have been replaced.

BIBLIOGRAPHY / SOURCES

Sanborn Map Company, 11 Broadway, New York, NY for 1914, 1922, 1947 and 1942/51 fire maps and Tucson City Directory for 1942 and 1946.

NATIONAL REGISTER STATUSListed ☐ Date _____Individually Eligible ☐potentially eligible as Contributing Property ☐Not Eligible due to AGE ☐

Are conditions reversible?

Yes ☐ No ☐**REFERENCE FILES / REPORTS**

1.	
2.	
3.	



**Office of Integrated Planning (OIP) Historic Preservation Office (HPO)
Review and Approval Form**

The Historic Preservation Office has reviewed the Architectural Documentation for the property located at 316 E 6th St per Ordinance # 10776.

The type of Architectural Documentation required for demolition at this property is:

☐ Full Architectural Documentation

☒ Minor Architectural Documentation

The Applicant has provided all necessary Architectural Documentation required by Ordinance # 10776 and is approved by the Historic Preservation Office.

Additional documentation may be required by the Planning and Development Services Department (PDSD) prior to issuance of a building permit.

Historic Preservation Office Staff

Signature: _____

Date: 7/23/15

REV. 2/15

Planning & Development Services Department (PDSD) - 201 N. Stone Avenue

P.O. Box 27210 - Tucson, AZ 85726-7210

Telephone: (520) 791-5550 - Fax: (520) 791-5852

Website: www.tucsonaz.gov/pdsd

EMAIL: DSD_ZONING_ADMINISTRATION@TUCSONAZ.GOV

CITY OF TUCSON

DEVELOPMENT SERVICES

PERMIT APPLICATION

201 N STONE AV , 1ST FLOOR TUCSON AZ 85701 (520) 791-5550

T15BU00843

PROJECT ADDRESS:316 E 6TH ST TUC

PARCEL NUMBER:117-05-0340

LEGAL DESCRIPTION:TUCSON E70' OF LOT 2 BLK 68 - 03071

TOWNSHIP-RANGE-SECTION:14-13E-12

ZONING: C-3

DESCRIPTION OF WORK:DEMO; COMM

VALUATION:\$ \$0.00 PLAN NUMBER(if applies):

APPLICANT INFORMATION:ERIN PRICE

PHONE #:

**

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS & ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. ISSUANCE OF A PERMIT DOES NOT CERTIFY COMPLIANCE WITH DEED OR PRIVATE RESTRICTION. PERMIT BELONGS TO THE PROPERTY OWNERS.

SIGNATURE: X

DATE:07-20-2015

Division/Sect	Req'd	Approval/Signature	Date	Comments
ZONING	✓			Built in 1958 Historic
LANDSCAPE				
WASTEWATER				
ENGINEERING	✓			
FLOODPLAIN				
SANITATION				
FIRE	✓			
WATER				
RESIDENTIAL				
STRUCTURAL	✓			
PLUMBING				
MECHANICAL				
ELECTRICAL				
HANDICAP				
SIGNS				
NPDES				
CIFEE (Impact)				



Planning &
Development
Services
Department

Permit Application

Date: 7/20/15

Commercial: X Residential: _____

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec.3-02 or found on our website at pdsd.tucsonaz.gov. For information about this application or applicable policies and ordinances, please contact Gerardo Bonillas 520-837-4923

Project Address: 316 E 6th St Unit # _____

Applicant Name: Erin Price

Name of Business (If Applicable): A23 Studios

Applicant Address: 310 S Convent

City: Tucson State: AZ Zip: 85701

E-Mail: erin@a23studios.com Phone: _____

Contractor: _____

R.O.C. #: _____ C.O.T. Business Lic #: _____ Phone: _____

Architect/Engineer: Burak Bekat

Seal#: 54899 C.O.T. Business Lic #: _____ Phone: _____

Description of Work: demolition

EXPIRATIONS:

BUILDING PLAN REVIEW: 180 DAYS FROM ORIGINAL SUBMITTAL DATE

BUILDING PERMIT: 180 DAYS FROM DATE ISSUED, PAID REVISION or LAST INSPECTION RESULTING IN APPROVAL, PARTIAL APPROVAL OR DENIAL

I understand that any application, plans and/or related documents submitted to Planning and Development Services for review may be viewed as a Public Record per Planning and Development Services Department Records Policy 2011-05.

I further understand that they may also be subject to review and approval by Pima County including but not limited to Wastewater, DEQ, ADEQ, Addressing and/or Health Department and that I am responsible for paying any separate fees incurred as a result of these reviews prior to a permit being issued or a Development Package being approved by the City of Tucson Planning and Development Services Department. It is the responsibility of the Licensed Contractor or Architect to provide a letter to PDSB verifying their City of Tucson Business License number and affiliation with the project for which this application is made. Failure to do so may result in revocation of this permit and all penalties incurred.

Erin Price
Signature of Applicant/Representative of Project Owner

7/20/15
Date

The above signature attests that to the best of my knowledge, the information contained in this application is complete and correct.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.

(STAFF USE ONLY)

OTHER PERMIT OR VIOLATION NUMBERS EXISTING (APPLIED, APPROVED, ISSUED, EXPIRED OR PENDING STATUS)

NUMBER	STATUS	NUMBER	STATUS
_____	_____	_____	_____
_____	_____	_____	_____

Cross block

Staff verified?

SPDN
DO.

Tucson, Arizona 85705

PROJECT TEAM

LANDLORD
HONEYBADGER HAPPENINGS LLC
& TIGRE PROPERTIES LLC
PO BOX 43025
TUCSON AZ 85733-3025
P 520.609.6093
CONTACT: PHIL LIPMAN

PLUMBING SITE NOTES

1. SITE BUILDINGS ARE SERVED FROM (1) EXISTING 5/8" WATER METER AND (1) EXISTING 5/8" REDUCED PRESSURE BACKFLOW PREVENTERS LOCATED AT THE NORTH SIDE OF THE PROPERTY.
2. THERE ARE NO CHANGES TO THE EXISTING WATER METERS AS A PART OF THIS PROJECT.
3. THE EXISTING WATER METERS ARE TO REMAIN AS IS. EXISTING WATER METER NO'S PER TUCSON WATER: 13045406 (5/8)

LEGAL DESCRIPTION

- TUCSON E70' OF LOT 2 BLK 68

SITE DATA (ALL EXISTING TO REMAIN):

- TAX ID: 117-05-0340
CURRENT ZONING: C-3
SITE AREA: 4,620 SQ. FT., 0.11 ACRES
BUILDING AREA: N/A
FAR: 0%
PARKING: EXISTING TO REMAIN, NO CHANGE OF USE
LOADING ZONE: EXISTING TO REMAIN
ACCESSIBLE PARKING: EXISTING TO REMAIN

NOTES

- ALL CONDITIONS TO BE FIELD VERIFIED WITH ANY DISCREPANCIES TO BE REPORTED TO ARCHITECT PRIOR TO START OF CONSTRUCTION
- ALL MATERIALS AND FINISHES TO BE VERIFIED WITH ARCHITECT AND TENANT PRIOR TO ORDER AND INSTALLATION.
- GC TO PROVIDE ALL SUBS WITH COMPLETE SET(S) OF PLANS. NO ADD SERVICE/CHANGE ORDERS WILL BE ALLOWED FOR FAILURE TO COORDINATE COMPLETE DRAWING SET(S).

- ANY AND ALL PROPOSED MATERIAL / EQUIPMENT SUBSTITUTIONS / ALTERATIONS MUST BE SUBMITTED IN WRITING TO KFOF'S CORPORATE ARCHITECT FOR REVIEW AND/OR APPROVAL PRIOR TO ORDERING AND INSTALLATION. ALL COST ASSOCIATED WITH THE FAILURE TO STRICTLY ADHERE TO THIS PROTOCOL WILL BE THE SOLE RESPONSIBILITY OF THE PARTY DOING SO. ALL COST ASSOCIATED WITH THE REMOVAL, RESTOCKING AND REPLACEMENT OF SUCH SHALL ALSO BE THE SOLE RESPONSIBILITY OF SUCH.

SCOPE OF WORK

- DEMOLITION FOR TENANT IMPROVEMENT ONLY. NO CHANGE OF USE.
ALL OTHER SITE CONDITIONS TO REMAIN AS IS EXCEPT EXISTING BUILDING.

DEFERRED SUBMITTALS

- N/A

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE CITY, COUNTY AND STATE CODES CONFORM TO THE INDUSTRIAL COMMISSION OF THE ARIZONA GENERAL CONSTRUCTION SAFETY CODE AND OSHA REQUIREMENTS. REQUIRE ALL SUBCONTRACTORS TO CONFORM TO ALL CITY, COUNTY AND STATE CODES. THE CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL CONDITIONS AND BRING ANY DISCREPANCIES FROM THE DRAWINGS TO THE ARCHITECTS ATTENTION PRIOR TO BIDDING/CONSTRUCTION. DELIVER DATES FOR SCHEDULE AND COORDINATE WORK, VERIFY THEIR INSTALLATION IN THEIR PROPER SEQUENCE OF THE TO ENSURE PROVIDE TWO YEARS GUARANTEE FOR MATERIALS AND WORKMANSHIP. ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD, ANY DISCREPANCIES BROUGHT TO THE ARCHITECTS ATTENTION, DO NOT SCALE DRAWINGS. ALL DIMENSIONS FOR INTERIOR WALLS USUALLY ARE TO CENTER LINE OF WALL UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEPT ONCE ON THE PLANS OR ELEVATIONS AND NOT REPEATED. ALL SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AS WELL AS REMOVE DEBRIS AND MATERIALS COMPLETELY FROM SITE AREA. UPON COMPLETION OF WORK, MAINTAIN A CLEAN AND ORDERLY WORK AREA. SHOULD BE TAKEN TO PROTECT AND PRESERVE ANY EXISTING TREES AND SHRUBS THAT ARE ON SITE. ALL DRYWALL SURFACES TO RECEIVE TAPE, TEXTURE AND PAINT. UNFINISHED JOINTS, JOINTERS, SEALERS OR GLUES THAT EMIT VOLATILE ORGANIC COMPOUNDS (VOC) SHALL NOT BE RESPONSIBLE TO VERIFY THE MATERIALS TO BE USED TO COMPLY WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS FOR THEIR USE AND/OR INDUSTRIAL ASSOCIATION STANDARDS. CONTRACTORS SHALL COORDINATE WITH OTHER CONTRACTORS FOR BACKSPLASH EQUIPMENT FOR MOUNTING MILLWORK, SPECIAL EQUIPMENT AND OTHER ITEMS. CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION DAMAGED BY THIS WORK AND AS REQUIRED TO MATCH EXISTING UNDERSLAB FINISHES. CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON NEW DOORS AND PROVIDE TWO SETS OF KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER/NEUTRAL. CONTRACTOR SHALL APPLY SOIL STABILIZER TO THE LIMITS OF THE PAVED AREA. TAKE CARE TO PROTECT EXISTING LANDSCAPE AND PLANTERS. IF APPLIES, PROVIDE SOILS REPORT BY AN ARIZONA REGISTERED GEOTECHNICAL ENGINEER FOR THE FILL PLACEMENT UNDER SLAB.

CODE REVIEW CHECKLIST

CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT									
JOB ADDRESS: 316 East 6th Street		ARCHITECT: A23 STUDIOS							
SIGNATURE: _____		DATE: _____							
CODE ANALYSIS DATA									
TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATION DRAWINGS									
Summary of Governing Regulations									
Code	Title	Edition			Local Amendments				
Building Code	IBC	2012							
Mechanical Code	IBC / ANSI A117.1	2009							
Electrical Code	NEC	2012							
Plumbing Code	IPC	2010							
Fire Prevention Code	IFC	2012							
Zoning Code	UDC	2013							
Energy Conservation Code	IECC	2012							
International Fuel Gas Code	IFGC	2012							
Int. Existing Building Code	IEBC	2012							

General Building Summary									
Height and Area		Occupancy	Type of Construction	Sprinkler	EXISTING BUILDING AREA (sq ft)		EXISTING BUILDING HEIGHT (ft or Stories)		
Bldg Building 316 east 6th	M	V-B	NO		Actual EXISTING BUILDING 4,500 sq.ft.	Allowable EXISTING BUILDING 4,500 sq.ft.	Actual EXISTING SINGLE STORY	Allowable EXISTING SINGLE STORY	
Mixed Occupancy	N								
Unpermitted Uses									
Fire Area	Occ Groups	Fire Area	Occ Groups	Y			Fire Area	Occ Groups	
A N/A	D N/A	C N/A	F N/A	H N/A			H N/A		
Special Uses and Occupancy Conditions Applicable	N	Special Uses	N/A						

Allowable Area Calculation	
(Provide additional calculations for each building or separated use)	
Area Modifications (IBC 503): THIS PROJECT ONLY - TYPE - OCCUPANCY - EXISTING TO REMAIN	
Allowable Area per Floor (Aa)	
1 rectangular Area per Floor (Aa)	
Area increase for Penetration (Pi)	
Area increase for Penetration (Pi)	
Building Perimeter Public Way (F)	
Entire Building Perimeter (P)	
Minimum Width of Public Way (W)	
Allowable Area (Aa)	
NOTES	

Occupant Load and Exiting	
Occupant Loads (See tables 1004.1-1; 1005.1-1; 1015.1 & 1016.1)	
-	THIS PROJECT ONLY - TYPE - OCCUPANCY
total occupant load = n/a	
minimum exits and exit widths required: n/a	
exit signs = n/a	
panic hardware = n/a	
corridor protection= n/a	

Plumbing Fixture Calculations	
Minimum Plumbing Facility (See table 203.2(1))	
WC - n/a	
Lavs - n/a	
Services Sink - 1 required and 1 provided	
Drinking Fountain - 0 required and 0 provided, -	

DEMO only.
 City of Tucson
 ENGINEERING APPROVAL
 H2O2 ☐ SHT ☐ OTHER ☐
 by: 1509008343 date _____
 PRIOR TO WORK IN RIGHT-OF-WAY
 Requires Right-of-Way permit required
 Gravel for interim control
 @ d's side.
 APPROVED 7-21-1
 File # _____



REFERENCE ONLY SITE PLAN

NOT TO SCALE

NORTH

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

PLAN.DWG SITE PLAN.DWG-burak-Mon, Jul 20, 2015, 1:55pm

Project	14075
Date	07.16.15
Scale	Noted
Sheet	

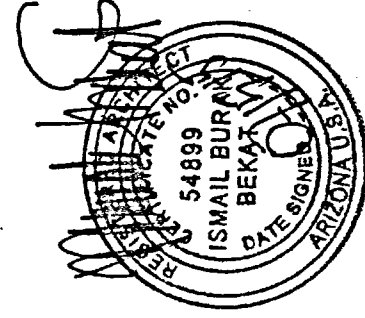
340 South Convent
Tucson, Arizona 85701
520.245.4010 phone
www.a23studios.com

These drawings are the instruments of service, and the property of A23 STUDIOS, INC., all designs and other information on the drawings are for the purposes of this project and shall not be used otherwise without the expressed written permission of A23 STUDIOS, INC.

Copyright 2012 All rights reserved

316 East 6th
Tucson, Arizona 85705

LOCATION MAP, SITE PLAN,
CODE REVIEW, GENERAL
NOTES & SHEET INDEX



Expires 09.30.16

Revisions







Arizona

Historic Property Inventory Form

SHPO

State Historic
Preservation officeSURVEY SITE NO. 5.04COUNTY Pima

Accession No.

--	--	--	--	--

PROPERTY NAME Not KnownSURVEY AREA Tucson Warehouse District

IDENTIFICATION

ADDRESS 442 N. Fifth AvenueCITY/TOWN TucsonLOT 6BLOCK 68PLAT: TucsonTOWNSHIP 14RANGE 13SECTION 12QUARTER 1/4 of the 1/4UTM REFERENCE Z 1 2 Easting 5 0 4 9 6 0Northing 3 3 6 5 3 4 0 *USGS QUAD USGS TUCSON 15' MAPPROPERTY TYPE Commercial/office

HISTORIC USES 1. _____

2. _____

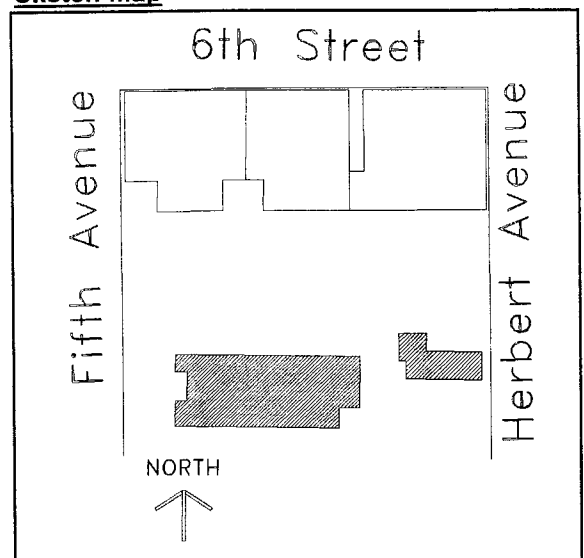
PRESENT USE OfficesAbandoned ☐Demolished ☐STYLE Non-Contributory Contemporary SouthwestCONSTRUCTION DATE 1922Known ☐Estimated ☐

Date Source _____

ARCHITECT / BUILDER / CRAFTSMAN _____

ALTERATIONS Major recent renovation has destroyed any historic detail

Sketch Map



CONDITION

Good ☒ Fair ☐ Poor ☐

INTEGRITY

Gd ☐ Fr ☐ Pr ☒

NUMBER OF ACRES _____

Negative Number _____

Date of Photo _____

View _____

Photographer or Source _____

Non - Contributing

* UTM taken from NE corner of 7th Street and 6th Avenue

ARCHITECTURAL DESCRIPTIONSTORIES 1FOUNDATION Concrete

STRUCTURAL MATERIAL _____

Masonry.

WALL CLADDING _____

Stucco.ROOF TYPE FlatROOF CLADDING Built-UpOUTBUILDINGS None

STATEMENT OF SIGNIFICANCE

WINDOWS _____

High ribbon fixed glass on side; vertical slit
windows; fixed glass front.ENTRY Tiled roof shed with double entry.VERANDAS none

APPLIED ORNAMENT _____

brick coursing at parapet; painted wainscote.INTERIOR N/A

ENVIRONMENT / LANDSCAPING

None

1. Theme/context

2. Historical Association

3. Architectural Association

BIBLIOGRAPHY / SOURCES**NATIONAL REGISTER STATUS**Listed ☐ Date _____Individually Eligible ☐potentially eligible as Contributing Property ☐Not Eligible due to AGE ☐

Are conditions reversible?

Yes ☐ No ☐**REFERENCE FILES / REPORTS**

1.	_____
2.	_____
3.	_____

Arizona	Historic Property Inventory Form	
<div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">SHPO</div> <div>State Historic Preservation office</div>	SURVEY SITE NO. <u>5.07</u>	Accession No.
	COUNTY <u>Pima</u>	
	PROPERTY NAME <u>Residence</u>	
	SURVEY AREA <u>Tucson Warehouse District</u>	

IDENTIFICATION

ADDRESS 420 N. Herbert Avenue
 CITY/TOWN Tucson

LOT Prt of 7 BLOCK 68 PLAT: Tucson
 TOWNSHIP 14 RANGE 13 SECTION 12 QUARTER 1/4 of the 1/4

UTM REFERENCE Z 1 2 Easting 5 0 4 9 6 0 Northing 3 3 6 5 3 4 0 *

USGS QUAD USGS TUCSON 15' MAP

PROPERTY TYPE Residential

HISTORIC USES 1. Residential
 2. Residential

PRESENT USE Residential

Abandoned ☐ Demolished ☐

STYLE Sonoran

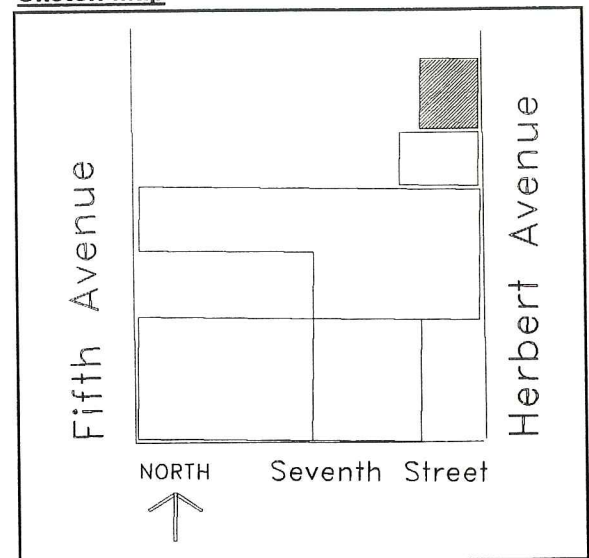
CONSTRUCTION DATE 1904

Known ☐ Estimated ☒
 Date Source Sanborn fire map for 1909 and city directory for 1904. Oral history from family.

ARCHITECT / BUILDER / CRAFTSMAN Unknown

ALTERATIONS None.

Sketch Map



CONDITION

Good ☒ Fair ☐ Poor ☐

INTEGRITY

Gd ☒ Fr ☐ Pr ☐

NUMBER OF ACRES

4997 S.F.

Negative Number

RO4-12

Date of Photo 04/06/94

View Looking West

Photographer or Source
Bodie Robins



ARCHITECTURAL DESCRIPTIONSTORIES 1

FOUNDATION _____

STRUCTURAL MATERIAL _____

Adobe

WALL CLADDING _____

StuccoROOF TYPE Low slope shed roofROOF CLADDING Rolled roofingOUTBUILDINGS None**STATEMENT OF SIGNIFICANCE**

WINDOWS _____

Double-hung windowsENTRY Single entry off alleyVERANDAS none

APPLIED ORNAMENT _____

noneINTERIOR N/A

ENVIRONMENT / LANDSCAPING _____

None**1. Theme/context**

One of the few remaining dwelling units in the District, this structure represents the residential neighborhood which once existed in this area.

2. Historical Association

In 1922 there were over 100 residences in the District, many of them located along Herbert Avenue south of 6th Street. Today, most of them are gone, replaced by warehouses, automobile uses, and other commercial activity. This is an example of one of the few remaining dwelling units.

3. Architectural Association

A typical modest sonoran adobe fronting the sidewalk.

BIBLIOGRAPHY / SOURCES

Sanborn Map Company, 11 Broadway, New York, NY for 1909 fire map, the first time the area appeared on the maps for Tucson, and the Tucson City Directory for 1904.

NATIONAL REGISTER STATUSListed ☐ Date _____ Individually Eligible ☐ potentially eligible as Contributing Property ☐Not Eligible due to AGE ☐ Are conditions reversible? Yes ☐ No ☐**REFERENCE FILES / REPORTS**

1.	_____
2.	_____
3.	_____

DEVELOPMENT SERVICES DEPARTMENT

201 N. STONE AVENUE, 1ST FLOOR TUCSON, AZ 85701

PHONE: (520) 791-5550

CITY OF TUCSON DEMOLITION PERMIT

ACTIVITY T12BU00065

SITE ADDRESS: 420 N HERBERT AV TUC
117-05-0440

PARCEL NUMBER:

LEGAL DESCRIPTION: TUCSON N36' LOT 7 & S30' W109.8' LOT 7 BLK 68 - 03071

TOWNSHIP-RANGE-SECTION: 14-14E-19

ZONING:TUC

TYPE OF PERMIT: DEMO

TYPE OF APPLICATION: RDMO

PLAN NUMBER:

DESCRIPTION OF PROPOSED WORK: DEMO SFR

NUMBER OF UNITS: 0

NUMBER OF BUILDINGS: 0

NOTICE: THE PLANS AND SPECIFICATIONS SUBMITTED WITH THE APPLICATION FOR THIS PERMIT, AS APPROVED BY THIS DEPARTMENT, MAY NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT THE WRITTEN APPROVAL FROM THIS DEPARTMENT AND ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION DOES NOT START WITHIN 180 DAYS OR IF WORK OR CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. SUCH TIME PERIODS SHALL BE EVIDENCED BY A RECORDED REQUEST FOR INSPECTION. THE PERMIT HOLDER HAS THE RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UNDERGROUND UTILITIES, SEWAGE DISPOSAL SYSTEMS OR OTHER OBSTACLES THAT MAY INTERFERE WITH THE WORK AUTHORIZED BY THIS PERMIT.

CERTIFICATION: I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE INFORMATION TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE THE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. REPRESENTATIVES OF THIS DEPARTMENT MAY ENTER UPON THE PROPERTY FOR THE PURPOSE OF CONDUCTING INSPECTIONS OF THE WORK.

CHECK ONE OF THE FOLLOWING: ☐ LICENSED CONTRACTOR: I HEREBY AFFIRM THAT I AM A CONTRACTOR LICENSED AND REGULATED BY THE PROVISIONS OF A.R.S. TITLE 32, CHAPTER 10 (SECTION 32-1101 THROUGH SECTION 32-1198.05 OR AS AMENDED).
☐ ARCHITECT/ENGINEER: I AM EXEMPT FROM THE LICENSING REQUIREMENTS AS I AM AN ARCHITECT OR ENGINEER ENGAGING IN MY PROFESSIONAL PRACTICE AS DEFINED IN A.R.S. TITLE 32, CHAPTER 1 (SECTION 32-101 AND FOLLOWING). I DO NOT ENGAGE IN THE ACTIVITY OF A CONTRACTOR AS DEFINED IN A.R.S. TITLE 32, CHAPTER 10 (SECTIONS 32-1101 AND 32-1102).
☐ OWNER/BUILDER: I HEREBY AFFIRM THAT THE WORK FOR WHICH THIS PERMIT IS ISSUED WILL BE DONE BY ME AS OWNER-OCCUPANT
☐ OTHER: I AM AN AUTHORIZED REPRESENTATIVE OF THE OWNER.

SIGNATURE

DATE: 01-23-2012

SEE REVERSE SIDE FOR ADDITIONAL INFORMATION AND SPECIAL CONDITIONS

APPLICANT: B AND C CONTRACTORS INCORPORATED

P O BOX 50863
TUCSON, AZ

85703

OWNER: GASTON DARLENE I

7777 W 91ST ST UNIT E2142
PLAYA DEL REY CA

902937336

CONTRACTOR: B AND C CONTRACTORS INCORPORATED

P O BOX 50863

Phone # 520-977-5941
License # 163612

SPECIAL CONDITIONS

1: PLANS EXPIRE IN 180 DAYS FROM DATE OF SUBMITTAL. PERMITS
EXPIRE IN 180 DAYS FROM DATE OF ISSUE OR LAST INSPECTION.

DEMOLITON CONDITIONS:

1. The permittee shall abide by the conditions listed below. Failure to follow these conditions may result in the requirement to develop and implement a Corrective Action Plan utilizing Best Management Practices (BMP's) to prevent stormwater pollution as required by Tucson Code Section 26-42.1, and may result in Penalties described in Tucson Code Section 26-48.
2. The permittee shall keep all adjacent streets and rights-of-way free of dirt and debris from the project site. This shall be accomplished using stabilized entrances, routine sweeping and any other effective methods.
3. The permittee shall remove all debris from the project site and shall prevent debris, sediment and other material from entering any part of the City of Tucson's Municipal Separate Storm Sewer System. Temporary controls (BMP's) may be necessary.
4. The permittee shall stabilize the soil at the project site at the end of the project as required by the Land Use Code 3.7.2.7. Stabilization shall consist of the use of decomposed granite, decorative rock, or any other effective method described in the code.
5. The permittee agrees to reimburse the City of Tucson for the cost of abatement if these conditions are not met. (Tucson Code Sec 26-36).
6. A copy of the permit is required to remain onsite during the demolition and soil stabilization process as described in # 4 (above), and shall be available to City of Tucson staff.

CITY OF TUCSON

DEVELOPMENT SERVICES

PERMIT APPLICATION

201 N STONE AV , 1ST FLOOR TUCSON AZ 85701 (520) 791-5550

T12BU00065

PROJECT ADDRESS:420 N HERBERT AV TUC

PARCEL NUMBER:117-05-0440

LEGAL DESCRIPTION:TUCSON N36' LOT 7 & S30' W109.8' LOT 7 BLK 68 - 03071

TOWNSHIP-RANGE-SECTION:14-14E-19

ZONING:TUC C-3 1896

DESCRIPTION OF WORK:DEMO SFR

VALUATION:\$ \$0.00 PLAN NUMBER(if applies):

APPLICANT INFORMATION:B AND C CONTRACTORS INCORPORATED

PHONE #: 520-977-5941

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS & ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. ISSUANCE OF A PERMIT DOES NOT CERTIFY COMPLIANCE WITH DEED OR PRIVATE RESTRICTION. PERMIT BELONGS TO THE PROPERTY OWNERS.

SIGNATURE: _____

DATE:01-13-2012

Division/Sect	Req'd	Approval/Signature	Date	Comments
ZONING	✓	<i>DLN</i>	1/19/12	
LANDSCAPE				
WASTEWATER				
ENGINEERING	✓	<i>LA</i>	1/19/2012	
FLOODPLAIN				
SANITATION				
FIRE				
WATER				
RESIDENTIAL		<i>✓</i>	1-19-12	
STRUCTURAL				
PLUMBING				
MECHANICAL				
ELECTRICAL				
HANDICAP				
SIGNS				
NPDES	✓	<i>LA</i>	1/19/2012	
CIFEE (Impact)				



PERMIT APPLICATION

DATE

1-13-12

COMMERCIAL

RESIDENTIAL

Project Address 420 N. Herbert Ave Tucson, AZ 85705 Unit # _____Applicant/Contact Name B&C Contractors, Inc.Applicant/Contact Address 1324 W. El Caminito Pl.City Tucson State AZ Zip 85705E-Mail Address pankaj.pc@comcast.net Phone # (520)-696-9332Name of Business (If Applicable) B&C Contractors, Inc. Bus Phone # (520)-696-9332Contractor B&C Contractors, Inc.ROC # K-5715+1103012 COT Business Lic # (Required) 01173810 Phone # (520)-696-9332Architect/Engineer Gen A-191656

Seal # _____ COT Business Lic # (Required) _____ Phone # _____

Description of Work Demo

Result of a violation Y N Violation # _____

P. C. Health Department Permit # _____ P. C. Wastewater Receipt # _____

EXPIRATIONS:

DEVELOPMENT PACKAGE PLAN REVIEW: 1 YEAR

DEVELOPMENT PACKAGE APPROVAL: 3 YEARS IF NO PERMITS ARE PULLED ON THE PROJECT

BUILDING PLAN REVIEW: 180 DAYS FROM APPLICATION DATE

BUILDING PERMITS ISSUED: 180 DAYS FROM DATE ISSUED OR LAST INSPECTION

I understand that any application, plans & related documents submitted to Planning and Development Services for review may be viewed as a Public Record per PDS Records Policy 2011-05.

I further understand that they may also be subject to review and approval by Pima County including but not limited to Wastewater, DEQ, ADEQ, Addressing and Health Department WWW.PIMAHEALTH.ORG and that I am responsible for paying any separate fees incurred as a result of these reviews prior to a permit being issued or a Development Package being approved by the City of Tucson Planning and Development Services Department. It is the responsibility of the Licensed Contractor or Architect to provide a letter to PDS verifying their City of Tucson Business license number and affiliation with the project for which this application is made. Failure to do so may result in revocation of this permit and all penalties incurred.

Signature of Applicant/Representative of Project Owner

Date

1-13-12

(AMBASSADOR USE ONLY)

OTHER PERMIT OR VIOLATION NUMBERS EXISTING (APPLIED, APPROVED, ISSUED, EXPIRED OR PENDING STATUS)

NUMBER

STATUS

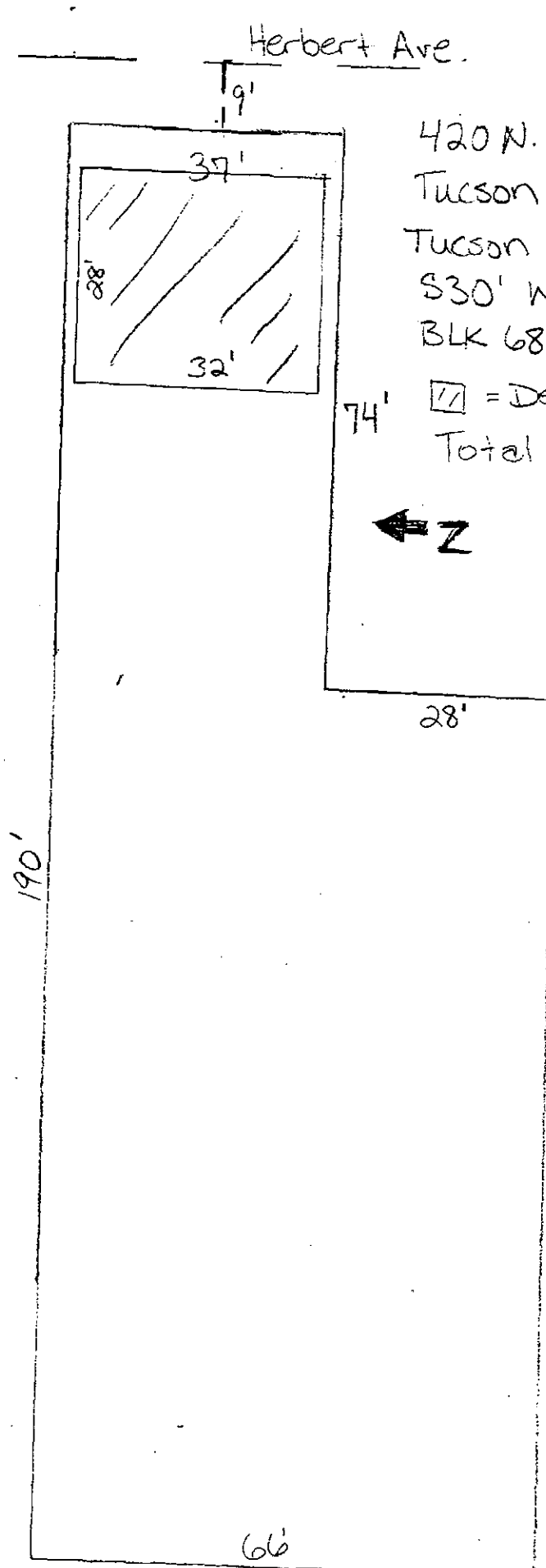
NUMBER

STATUS



PROJECT IN RIO NUEVO

Staff verified?



420 N. Herbert Ave
Tucson, AZ 85705
Tucson N36' Lot 7 &
S30' W109.8' Lot 7
BLK 68

1/1 = Demo
Total Sq. Ft. 896

APPROVED PLANS
MUST BE KEPT ON
JOB AT ALL TIMES
Planning & Development Services Dept.

CITY OF TUCSON
DSD / ZONING APPROVAL

- ☐ Site Plan ☐ Grading Plan ☐ Wall
☐ Lot Split ☐ Sign ☐ HPZ
☐ SCZ ☒ Other

ORD #10276

additional comments as noted
B. Padgett 19 JAN 12

City of Tucson
ENGINEERING APPROVAL

115' HDZ ☐ SVT ☐ OTHER ☒ demolition

by: *[Signature]* 1/19/2012
T12B000065 date

CITY OF TUCSON
DSD / ZONING APPROVAL

- ☐ Site Plan ☐ Grading Plan ☐ Wall
☐ Lot Split ☐ Sign ☐ HPZ
☐ SCZ ☒ Other

Complete Demo

additional comments as noted
[Signature] 1/19/12

C-3 NO structures to be left on site

APPROVED

1-19-12
Bldg. Permit Specialist

T12B000065

Arizona

Historic Property Inventory Form

SHPO

State Historic
Preservation officeSURVEY SITE NO. 5.09COUNTY Pima

Accession No.

--	--	--	--	--

PROPERTY NAME ResidenceSURVEY AREA Tucson Warehouse District

IDENTIFICATION

ADDRESS 419 N. Herbert AvenueCITY/TOWN TucsonLOT Prt of 7BLOCK 68PLAT: TucsonTOWNSHIP 14RANGE 13SECTION 12QUARTER 1/4 of the 1/4UTM REFERENCE Z 1 2 Easting 5 0 4 9 6 0Northing 3 3 6 5 3 4 0 *USGS QUAD USGS TUCSON 15' MAPPROPERTY TYPE Converted ResidentialHISTORIC USES 1. Residential2. Furniture StoragePRESENT USE Woodworking ShopAbandoned ☐Demolished ☐STYLE Transformed SonoranCONSTRUCTION DATE 1904Known ☐Estimated ☒Date Source Oral history of original owner. Sanborn
fire map from 1909 and city directory from 1904ARCHITECT / BUILDER / CRAFTSMAN Built by Albert Romero.ALTERATIONS Interior partition walls removed; large opening and sliding door

CONDITION

Good ☒ Fair ☐ Poor ☐

INTEGRITY

Gd ☐ Fr ☐ Pr ☒

NUMBER OF ACRES

2250 S.F.

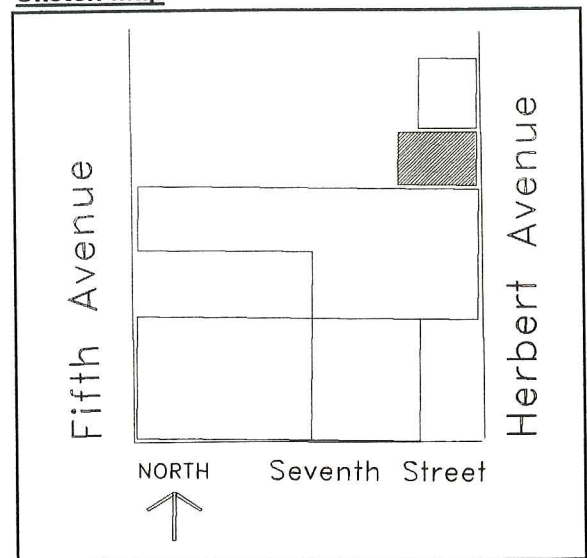
Negative Number

RO4-10Date of Photo 04/06/94View Looking Northwest

Photographer or Source

Bodie Robins

Sketch Map



ARCHITECTURAL DESCRIPTIONSTORIES 1FOUNDATION Concrete

STRUCTURAL MATERIAL _____

Adobe

WALL CLADDING _____

StuccoROOF TYPE GableROOF CLADDING Corrugated steelOUTBUILDINGS None**STATEMENT OF SIGNIFICANCE**

WINDOWS _____

NoneENTRY Double entries front & back.VERANDAS none

APPLIED ORNAMENT _____

noneINTERIOR One open space.

ENVIRONMENT / LANDSCAPING _____

None

1. Theme/context

The change from residential neighborhood to automobile and other uses north of the railroad tracks is shown by the few remaining dwelling units still in the District.

2. Historical Association

At one time over 100 residences existed in the District, concentrated in the northeast quadrant. This is one of only a handful which still remain.

3. Architectural Association Very similar to the building just to the north (#5.07) but transformed with the addition of a gabled roof. This building has been converted commercial purposes.

BIBLIOGRAPHY / SOURCES

Sanborn Map Company, 11 Broadway, New York, NY for 1909 fire map. This was the first time this area was shown on the maps. Also, Tucson City Directory for 1904.

NATIONAL REGISTER STATUSListed ☐ Date _____Individually Eligible ☐potentially eligible as Contributing Property ☐Not Eligible due to AGE ☐

Are conditions reversible?

Yes ☐ No ☐**REFERENCE FILES / REPORTS**

1.	
2.	
3.	

#2 – DOWNTOWN INTERIM STREETScape POLICY

UNION ON 6TH



The following letter addresses the Downtown Streetscape Interim Policy for the UNION ON 6TH – Mixed-use/Multi-family IID Design Package Application:

The Union on 6th development project is located at the southwest corner of 4th Avenue and 6th Street, and continues west across Herbert Avenue to 5th Avenue. The project is located within the 4th Avenue Sub-Area (FAS) and the Warehouse Triangle Sub-Area (WTA) of the Downtown Links Subdistrict (DLS) of the Infill Incentive District overlay zone (IID). As a part of the DLS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Downtown Streetscape Interim Policy:

2. Trees;

Response: Trees will be, at time of installation, of 24" box minimum size. It is the goal of this development to provide a unique streetscape experience and, as such, will be providing the following plant species in addition to the existing species already located adjacent to the site: Palo Blanco, Nettleaf Hackberry, and Velvet Mesquite. Encumbrances to Pedestrian, Streetcar, and Environmental Services movement will be monitored by building management, and a management plan will be put in place to ensure clear movement by all affected parties.

3. Pavers;

Response: Grey concrete currently exists as the predominate hardscape material along 4th Avenue, 6th Street, and 5th Avenue. The development team has been involved with the Fourth Avenue Merchants Association and their streetscape design subcommittee in discussing possible design alternatives to the hardscape. Results of those discussions are still preliminary, but the request for brick pavers to be a featured hardscape element has been expressed and incorporated into the proposed hardscape design along with tree and shrub plantings, and raised steel planters to vary the pedestrian environment.

4. Paving;

Response: Grey concrete paving will be provided both on and off-site, and will serve as the predominate hardscape material for private and nonpublic pedestrian zones. To maintain consistency with the surrounding areas, a mixture of smooth grey, medium broom, and other finishes per the architectural program will be utilized.

5. Street furniture;

Response: Street furniture in the form of bicycle racks currently exists along the street frontages. Additional bike racks, benches, trash receptacles, and raised planters will be added along the 4th Avenue, 6th Street, and 5th Avenue frontages. All additional planters or furniture will be a neutral sage green-grey earth tone, natural/rustic steel, or black.

6. Planters and pots;

Response: Raised steel planters will be provided along 4th Avenue, 6th Street, and 5th Avenue, and will be limited to a height of 12 to 20 inches. The raised planters will be of steel construction, and be of similar color to other street furniture elements.

7. Pedestrian lighting;

Response: Existing pedestrian and street lighting will remain within the public rights-of-way. Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture, without distracting from the elements of the façade, but be in full compliance with the City of Tucson Outdoor Lighting Code.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo District Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development

A handwritten signature in black ink that reads "Matt Stuart". The signature is fluid and cursive, with a horizontal line extending from the end of the name.

Matt Stuart
Project Manager

#3 – MS&R SETBACK RELIEF

UNION ON 6TH



RE: Major Streets & Routes Use Modification and Relief Request for the UNION ON 6th Development

Cypress Civil Development has compiled the following narrative responses for City of Tucson staff for the above mentioned project. The responses are listed by heading below:

Description of Project:

The proposed project is for a new mixed-use/multi-family use on six (6) existing parcels at the southwest corner of E 6th Street and N 4th Avenue, and continuing across N Herbert Avenue to N 5th Avenue – APN #'s 117-05-0033A, -0340, -0370, -0430, -0440, and -0450. The proposed development would include the construction of permanent building structures within the future MS&R Right-of-way area of N 6th Street.

The proposed project is seeking to utilize the Infill Incentive District – 4th Avenue Sub-Area (FAS) and the Warehouse Triangle Sub-Area (WTA) of the Downtown Links Subdistrict (DLS), and as such modification requests in conjunction with this waiver request have been submitted separately, and include but are not limited to: reduction to the UDC Landscape & Screening standards, the UDC Perimeter Yard standards, and UDC Building Setback standards.

It must be acknowledged that there are two (2) buildings to the west of the subject property along E 6th Street between N Herbert Avenue and N 5th Avenue, are both listed and contributing structures to the Tucson Warehouse Historic District. One such building is The Haynes Building - designed by architect Josias T. Joesler and built in 1928 by John Murphey, it is one of only a few Joesler/Murphey commercial buildings that remain within the City limits. These Buildings, along with others to the east and west of the development (along both north and south boundaries of E 6th Street), currently utilize a 0' lot line development standard and any future widening of E 6th Street would require the acquisition and demolition of these structures. It is our opinion that based upon the aforementioned the likelihood of a future expansion of E 6th Street is incredibly small, and therefore the dedication of any property for future right-of-way would take away the pedestrian orientation and character of the area.

Description of the proposed use of future MS&R Right-of-Way:

The proposed MS&R Right-of-Way will be utilized for the proposed project, with development of the structures and streetscape improvements. It is the intent of the project to utilize the existing property/right-of-way boundary, as it exists today, with a 0 foot building setback – consistent and congruent with the neighboring properties. The proposed project plans to improve the pedestrian oriented environment along E 6th Avenue through significant streetscape improvements that include landscaping, furniture, shading, and other elements outlined in the Downtown Interim Streetscape Policy. These improvements will create an active and permeable pedestrian environment to an

otherwise underutilized stretch along E 6th Street, and encourage pedestrian activity with a safer and cooler environment.

Street name(s) of the requested MS&R setback relief:

East 6th Street.

Width of relief needed:

The relief needed is 5.4' along East 6th Street.

How the modification allows the development to provide an improvement that is better integrated into the design character of the immediate neighborhood:

The proposed project bisects the 4th Avenue Sub-Area (FAS) and the Warehouse Triangle Sub-Area (WTA) of the Downtown Links Subdistrict (DLS) of the Infill Incentive District overlay zone (IID). It is also within the boundaries of the Tucson Warehouse Historic District, which means a vast majority of the development in the area utilized a 0 foot lot line development standard at the time of construction. It should also be noted that a majority of the buildings in the area are listed, eligible to be listed, or are currently contributing to a historic district, which under the IID are all protected classes from demolition. In order to maintain congruency and to develop a site commensurate with the surrounding development that promotes a strong pedestrian oriented environment, a 0 foot lot line standard must be utilized. It is our opinion that based upon the aforementioned likelihood of a future expansion of E 6th Street is incredibly small, and would require the acquisition and demolition of treasured historical Tucson assets, allowing the proposed project the opportunity to utilize the proposed MS&R area for permanent development and streetscape improvements would continue with the theme and character currently present within the area.

How the proposal will not cause a safety hazard, noise, or parking impacts on an adjacent neighborhood:

The proposed project will provide on-site parking and is outlined within the Parking Plan of IID Design Package. Said on-site parking will be accessed solely from N 5th Avenue and along with the improved streetscape measures will create a safer, and more active, pedestrian environment. The WTA and FAS of the IID encourage commercial activity along the street frontage, and this project will provide such activity along what is currently a vacant stretch of E 6th Street frontage. The use of the MS&R Right-of-Way for will not cause a safety hazard, noise, or a negative impact on parking within the adjacent neighborhoods.

How the modification does not impede sight visibility at points of ingress into, egress from, or within the vehicular use area for either vehicular or pedestrian traffic:

The proposed project will provide vehicular ingress & egress along N 5th Avenue. E 6th Street will only be utilized for pedestrian traffic within the current right-of-way configuration. Currently N Herbert Avenue is a southbound, one-way street, and it is the intent of this project to not disturb that traffic pattern. Based on observations of both owner and neighbor testimony, this section of N Herbert Avenue is primarily utilized for utility, trash, and delivery services. As such, site visibility for ingress traffic turning onto N Herbert Avenue from E 6th Street will not be impeded and vehicular/pedestrian conflict should be minimized through additional streetscape and safety measures as a result of the development.

This narrative is intended to highlight the main aspects of the proposed project and the requested relief from the MS&R Right-of-Way. A Development Package has been submitted for review by City of Tucson Development Services staff, and the following application is a result of that interaction and the IID Design Package process. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

Cypress Civil Development

A handwritten signature in black ink that reads "Matt Stuart". The signature is written in a cursive, flowing style.

Matt Stuart

Project Manager

#4 – PARKING PLAN

UNION ON 6TH



Parking Plan for the UNION ON 6TH

The Union on 6th (the “Project”) is at the southwest corner of N 4th Avenue and E 6th Street, continuing west across Herbert Avenue to N 5th Avenue. The Project is located within the Infill Incentive District’s (“IID”) 4th Avenue Area (FAS) and Warehouse Triangle Area (WTA) of the Downtown Links Subdistrict (DLS). The following is a request for reduction in required parking, as allowed by Unified Development Code (“UDC”) § 5.12.11.I, Table 5.12-DLS-5. The Project request a parking reduction allowing the Project 180 onsite spaces for 254 residential units.

Project Background

Project Overview

The Project will be a mixed use project with 254 multi-family residential units and approximately 7,800 sq. ft. of commercial/retail space. *See Attachment 1 – Site Plan.* It will have 180 on-site parking spaces accessed on 5th Avenue. The hours of operation for the proposed project will be similar to other residential and commercial businesses with similar uses in the area, and comply with all applicable UDC provisions. The result is a well distributed arrival and departure trip load with peak traffic times associated with the AM and PM rush.

The IID parking standard for DLS projects is: 1) for residential, one-space for each residential unit; and 2) no spaces for a non-residential use. *See Table 5.12-DLS-5.* As a result, the IID’s parking requirement for the Project’s 254 residential units and commercial space is 254 spaces. *See Attachment 2 – Applicable Parking Codes.*

Nearby Transit & Alternative Transportation Amenities

The Project is adjacent to several public transit stops and other related transit amenities. The Sun Link Street Car currently stops almost directly in front of the Project’s N 4th Avenue street frontage, near the intersection of N 4th Avenue and E 6th Street. Sun Tran Bus services, specifically the #3 route, currently stops along the projects E 6th Street frontage. Both service stops are adjacent to and within direct pedestrian access to the proposed development. *See Attachment 3 – Street Car & Bus Station Proximity Map.*

In addition, the Project is adjacent to other alternative transportation opportunities like the City of Tucson (“City”) Bike Share Program and a Zipcar station. The City recently installed 330 bikes distributed among 36 stations (“Stations”) throughout the City, most within its urban core and University areas. Two of the Stations are within one block the Project – at N 4th Avenue/E 5th Street and at N 4th Avenue/E 7th Street. The Project also will have access to the Zipcar station across N 6th Street, located at 550 N 5th Avenue.

Effects of Transit Oriented Development & Alternative Transportation on Parking

The demand for “vehicle optional” apartments is on the rise, especially with younger millennials and older empty nesters. A 2015 ULI survey shows that 52 percent of Americans, including 63 percent of millennials, would like to live in a place where they do not need a car very often.¹ This percentage for renters of all ages is 64 percent. Those wishing to live in a vehicle-optional housing often look for transit oriented developments (“TOD”). A TOD is a mixed-use development with higher density apartments/condos and integrated commercial and/or office uses, all located near transit stops. TODs often offer less vehicle parking spaces and require vehicle spaces to be leased separately from the unit, as both encourage residents to use alternate modes of transportation.

TODs are shown to reduce vehicle trips and parking demand, likely because they attract residents who want to drive less. TOD’s typically attract childless singles or couples who are either younger professionals or older empty nesters.² On average, TOD households are almost twice as likely to not own a personal vehicle than non-TOD households.³ Also, TODs or developments located within Transit Oriented zones that offer alternative modes of transportation see on average a reduction in the daily peak trip generation rates of almost half compared to the general guidelines developed by the Institute of Traffic Engineers.⁴ A 2017 study found that on average TODs were required to supply 1.18 spaces per dwelling unit (“D/U”), while their actual average peak parking demand was only .87 spaces per D/U.⁵ These statistics show that TODs are successful in decreasing daily vehicle use and an increasing reliance on other forms of transportation.

The City recognizes that TODs reduce vehicle parking demand, based on recent approvals of projects along the Sun Link Streetcar line (excluding Group Dwelling or Dormitory Housing). For example, The Marist on Cathedral Square is parked at .36 spaces per D/U ($27/75 = 0.36$), The Westerner is parked at .5 spaces per D/U ($25/50 = 0.5$), and 1 W Broadway is parked at .88 spaces per D/U ($40/45 = 0.88$, leased separately and available to Public). Currently planned, The Flin will be parked at 1.18 spaces per D/U ($290/244 = 1.18$) and the Trinity Mixed Use will be parked at .75 spaces per D/U ($45/60 = 0.75$). These developments average to parking at .73 spaces per D/U.

Bike Share programs also contribute to less demand on driving and parking. A 2015 Transit Reviews study noted that in cities such as Washington D.C. and Minneapolis, MN, bike shares

¹ Page 24, Urban Land Institute: America in 2015, A ULI Survey of Views on Housing, Transportation, and Community. Washington, D.C.; the Urban Land Institute, 2015.

² Page 3. National Academies of Sciences, Engineering, and Medicine. 2008. *Effects of TOD on Housing, Parking, and Travel*. Washington, DC: The National Academies Press. <https://doi.org/10.17226/14179>.

³ Page 26, *Effects of TOD on Housing, Parking, and Travel*.

⁴ Page 54. *Effects of TOD on Housing, Parking, and Travel*.

⁵ Reid Ewing, Guang Tian, Torrey Lyons, Kathryn Terzano, Trip and parking generation at transit-oriented developments: Five US case studies, *Landscape and Urban Planning*, Volume 160, 2017, Pages 69-78, ISSN 0169-2046, <https://doi.org/10.1016/j.landurbplan.2016.12.002>.

created a substitution rate for car trips of 8% and 20% respectively.⁶ This substitution rate indicates that Bike Share Programs not only offer a viable alternative mode of transportation, they also provide a form of physical activity that provides an overall health benefit for the community. *See Attachment 4 – Bike Share Map.*

Parking Reduction Request

The Project requests to reduce its required parking by 74 spaces to 180 on-site parking spaces, providing a ratio of .7 spaces per D/U. This reduction request is appropriate for a TOD for several reasons. The Project meets the definition of a TOD, in that it is a mixed-use, medium density residential project adjacent to multiple transit stops. As one of the few TOD's in the City's urban core, the Project will likely attract young and old residents seeking a vehicle-optional lifestyle.

The Project provides those wishing to eliminate personal vehicles with multiple options for transportation. As described above, the Project is adjacent to multiple transit stops, near a bike share Station and a Zipcar station. The Project also promotes pedestrian and bicycle activity by allowing easy accessibility to the pedestrian and streetscape. Because of these features, the Project has been designed in support of Transit Oriented and Pedestrian Oriented Development principles and practices.

Further, the Project will lease on-site parking spaces separately from the residential unit leases, further decreasing demand for on-site vehicles. This practice provides residents the choice and flexibility to either separately lease an on-site parking space or forego vehicle ownership altogether. The latter option is quickly becoming a more popular option within urban environments, as more residents choose ridesharing, bicycling, and public transportation over personal vehicles.

As TODs nationally have shown a significant reduction in parking demand – as low as 50 percent in many cases - we expect the Project to see a similar demand reduction. The Project's request of .7 spaces per D/U is reasonable, and fits within the other City projects being developed along the Streetcar line. These projects range between .36 and 1.18 spaces per D/U and average .73 spaces per D/U. The Project almost exactly meets that average, and therefore this request is reasonable and should be granted.

Conclusion

Based on recent national and local data surrounding parking demand for multi-family residential developments, we believe the proposed 180 on-site parking spaces will provide

⁶ Elliot Fishman (2015) Bikeshare: A Review of Recent Literature, *Transport Reviews*, 36:1, 92-113, DOI: [10.1080/01441647.2015.1033036](https://doi.org/10.1080/01441647.2015.1033036)

adequate parking to meet the needs and demands of the proposed project and its future residents.

Thank you for the opportunity to provide the above Parking Plan narrative to support the attached Development Plan and Design Package for the Union on 6th development project. If you have any questions please do not hesitate to contact.

Sincerely,

Cypress Civil Development

A handwritten signature in black ink that reads "Matt Stuart". The signature is written in a cursive, flowing style with a horizontal line extending from the end of the name.

Matt Stuart
Project Manager

Attachment 1 – Applicable Parking Codes

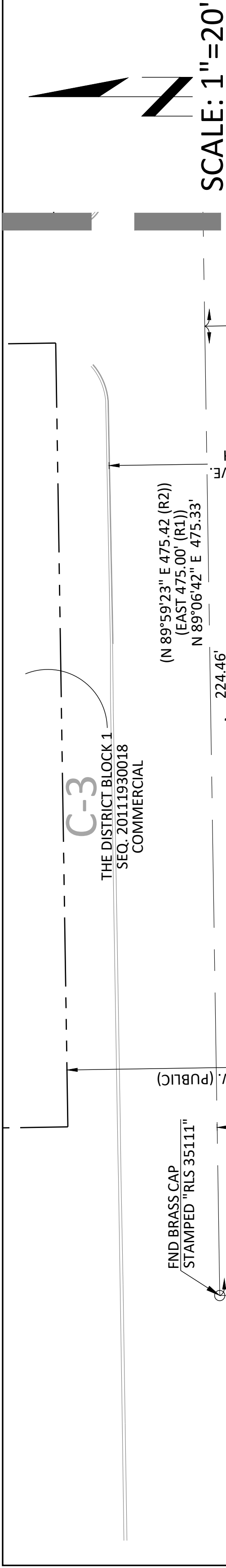
Attachment 2 – Site Plan

Attachment 3 – Street Car & Bus Station Proximity Map

Attachment 4 – Bike Share Map

TABLE 5.12-DLS-5

PARKING		
Location (Distance from Property Line)		
Street Setback (5)	30 Ft.	T
Pedestrian Easement Setback	5 Ft.	U
Side Setback (8)	0 Ft.	V
Required Spaces		
Off-street (1, 4)	Non-residential = 0 Residential = 1/DU	
Accessible (2, 3)	Compliance with the accessible parking requirements in the UDC for the underlying zone .	
Bicycle Facilities (2)	Compliance with the requirements in the UDC for the underlying zone .	
Vehicular Access Points (9)		
Maximum Allowable Width	24 Ft.	W
Maximum Allowable Number	1 Drive/Primary Street (6)	X
Alley Access (7)	1 Drive per property at FAS and IHA-RS Sub-Areas only	Z
SPECIFIC REQUIREMENTS		
<p>1. Commercial parking not required. Residential uses are required to provide 1 space per unit. Further reduction in required on-site residential parking can be achieved through an IID Parking Plan prepared pursuant to Section 5.12.E; leased spaces from an off-site location; or an on-site care-share program.</p> <p>2. Required accessible spaces and bicycle facilities may not be reduced or eliminated. The number of required accessible spaces is governed by the Building Code. The number of bicycle spaces required for a proposed use is governed by Section 7.4.8.</p> <p>3. Accessible spaces may be provided 1) on-site, 2) off site within one quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.</p> <p>4. Surface parking is allowed only within a structure at sites developed with Floor Area Ratios of 3.0 and above.</p> <p>5. In the Armory Park, Low Density Residential Infill Sub-Area, parking setback may be reduced to 10 feet from the front property line.</p> <p>6. At corner lots, vehicular access points may not be located on a primary street. At all other lots, vehicular access points are limited to one per primary street, except in the Fourth Avenue Sub-Area (FAS), where vehicular access lanes may not be located on Fourth Avenue.</p> <p>7. Access to parking spaces in the Iron Horse, Low Density Residential Infill Sub-Area and the Fourth Avenue Historic and Fourth Avenue Sub-Areas may be had by way of existing alleys(Z).</p> <p>8. Zero foot setback is also allowed at Union Pacific frontage.</p> <p>9. In the El Presidio Sub-Area (ESP) vehicular access to Block 175 (bounded by Church Avenue, Council Street, Court Avenue, and Franklin Street) Shall be limited to access from Church Avenue.</p>		



SCALE: 1"=20'

MATCH LINE - SEE SHEET 4

C-3

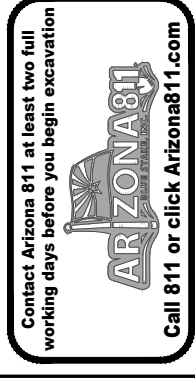
NEW MIXED USE BUILDING #1
7 STORIES
AREA=244,350 SF
FIRST FLOOR ELEV=0
HIGHEST FLOOR ELEV=69'
TOP OF PARAPET=86' MAX

C-3
C.O.T. BLK. 69
RESUB
BK. 1, PG. 7
COMMERCIAL

C-3
C.O.T. BLK. 69
RESUB
BK. 1, PG. 7
COMMERCIAL

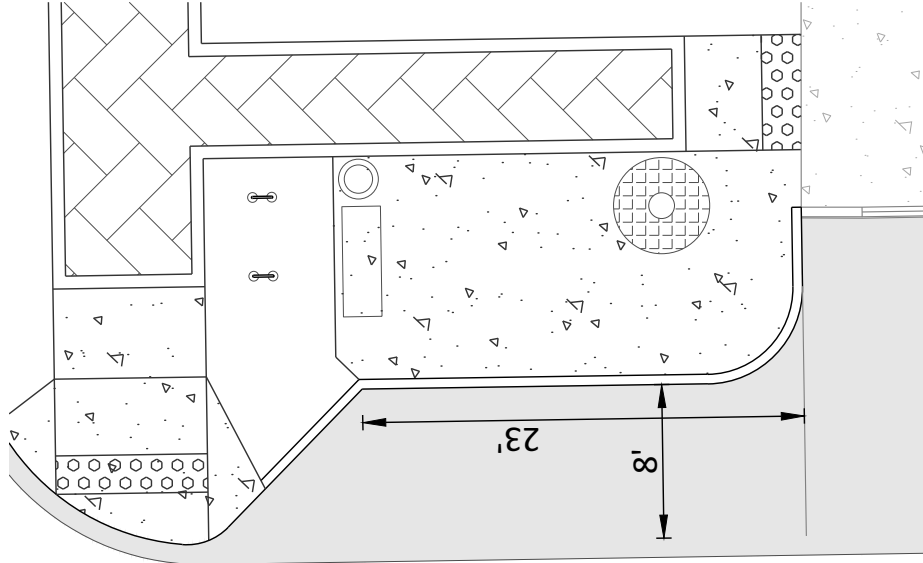
C-3
C.O.T. BLK. 69
RESUB
BK. 1, PG. 7
COMMERCIAL

C-3
C.O.T. BLK. 69
RESUB
BK. 1, PG. 7
COMMERCIAL

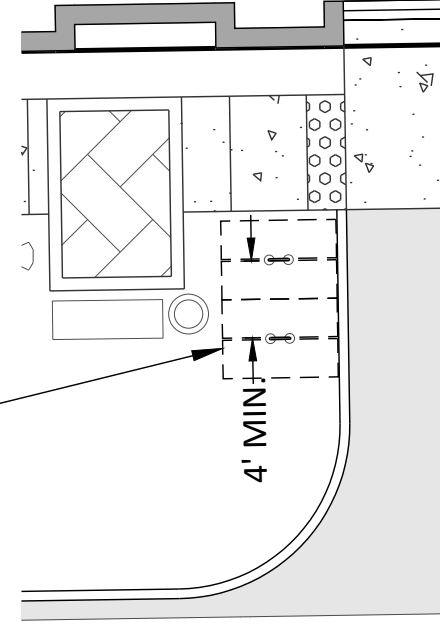


KEYNOTES

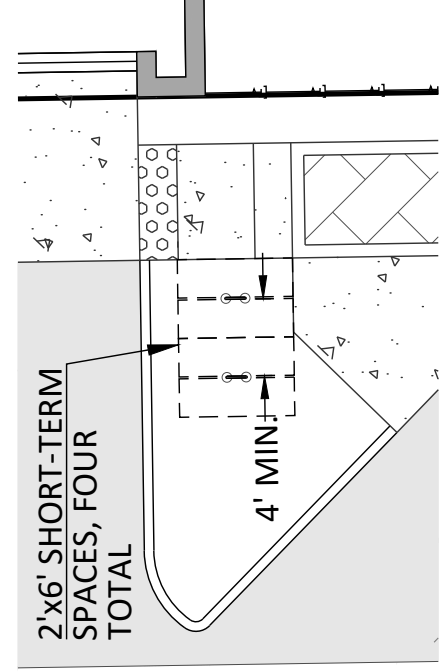
- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB ACCESS RAMP TO REMAIN.
- 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 6 [NOT USED]
- 7 EXISTING STRIPING TO REMAIN.
- 9 EXISTING LIGHT TO REMAIN.
- 11 EXISTING FENCE TO REMAIN.
- 12 EXISTING WALL TO REMAIN.
- 13 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 10. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 15 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 10.
- 16 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 17 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 19 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 10.
- 21 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207, EXCEPT AS MODIFIED HEREON.
- 22 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 23 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL D, SHEET 10. FOR RACK SPACING SEE DETAIL, THIS SHEET.
- 24 NEW SITE AMENITY (PLANTER, BENCH, ETC.). SEE LANDSCAPE PLANS (TYP.).
- 26 NEW POST BARRICADE (TYPE A) PER PAG DETAIL 106.
- 27 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL D, SHEET 10.
- 28 NEW 8" WIDE CONCRETE HEADER PER LANDSCAPE PLAN.
- 29 NEW BRICK PAVERS PER LANDSCAPE PLAN.



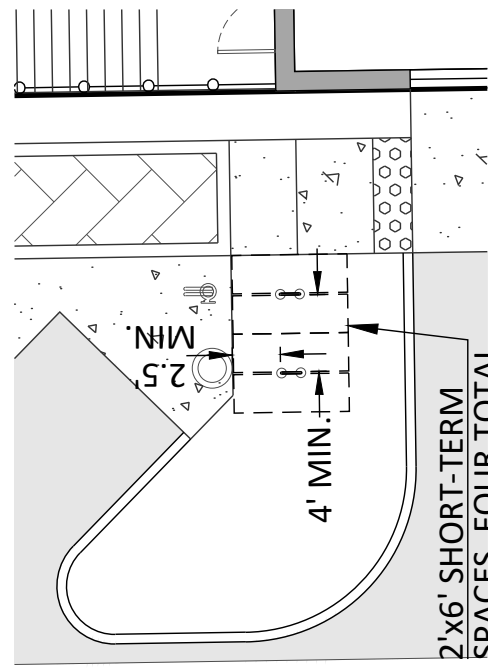
2'x6' SHORT-TERM SPACES, FOUR TOTAL



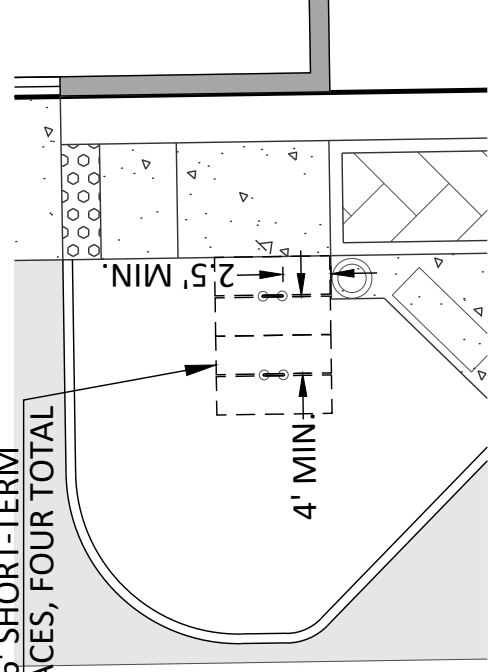
2'x6' SHORT-TERM SPACES, FOUR TOTAL



2'x6' SHORT-TERM SPACES, FOUR TOTAL



2'x6' SHORT-TERM SPACES, FOUR TOTAL



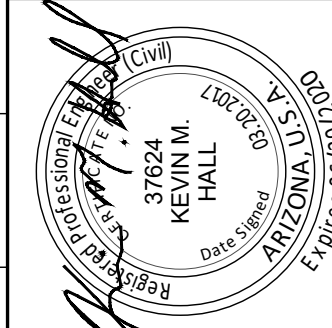
2'x6' SHORT-TERM SPACES, FOUR TOTAL

BIKE RACK PLACEMENT DETAIL
R.O.W.
SCALE: 1"=10'

OFF-SITE PARKING DETAIL
SCALE: 1"=10'

NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER
EDUCATION REALTY TRUST, INC.
999 SOUTH SHADY GROVE ROAD, SUITE 600
MEMPHIS, TENNESSEE 38120
ATTN: MR. RODNEY KING
PH: (901) 259-2500
EMAIL: rking@edtrust.com



CYPRESS
CIVIL DEVELOPMENT
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhal@cypresscivil.com

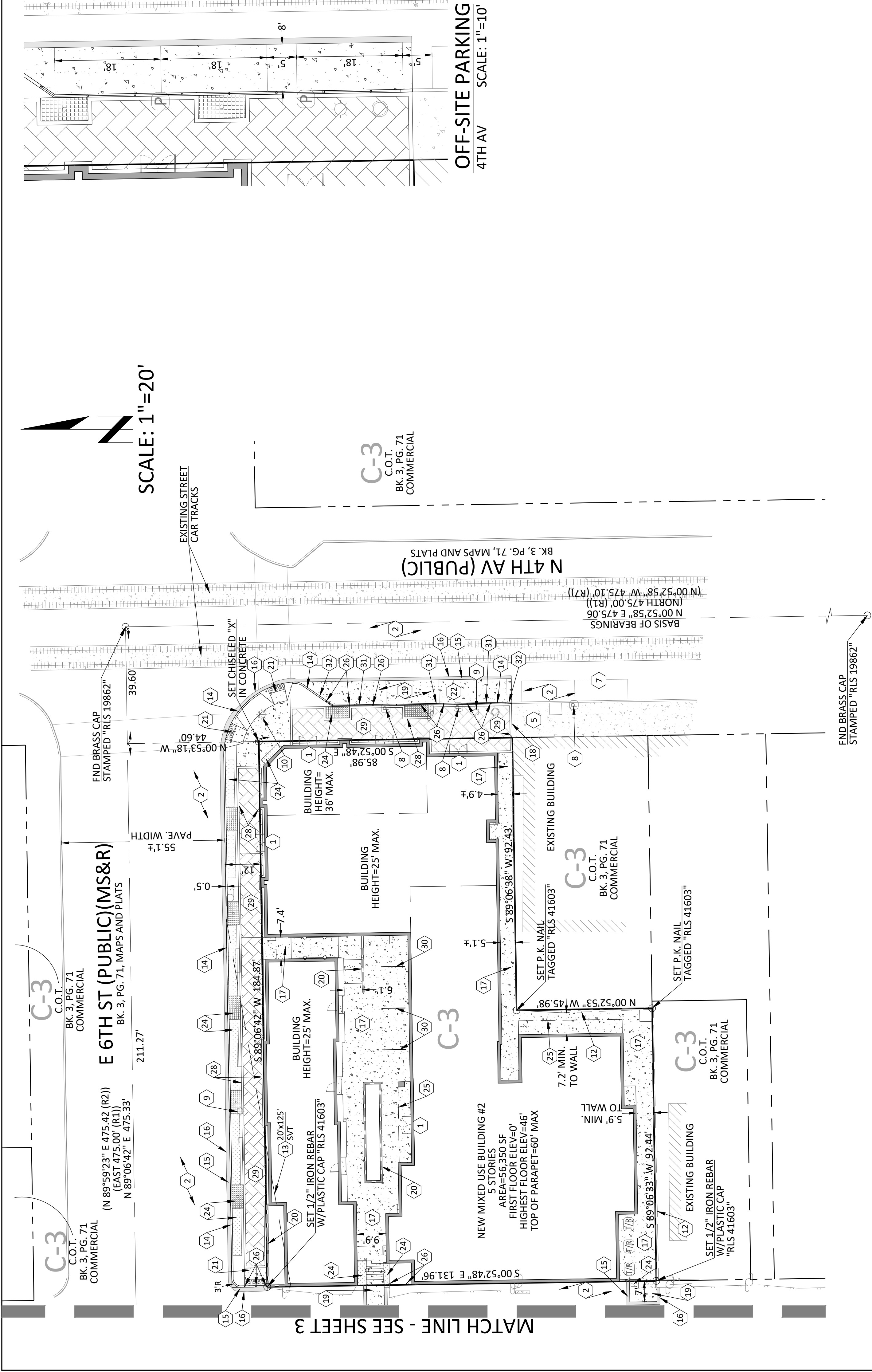
SITE ADDRESS
314 EAST 6TH STREET
TUCSON, ARIZONA 85705

CITY OF TUCSON		DEVELOPMENT PACKAGE	
PSDD APPROVAL		CITY OF TUCSON	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ	<input type="checkbox"/> Fire	<input type="checkbox"/> PLME
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ	<input type="checkbox"/> Engineering	<input type="checkbox"/> Revision #
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ	<input type="checkbox"/> W/C Site	<input type="checkbox"/> per letter in SIRE
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH	<input type="checkbox"/> Fire	<input type="checkbox"/> per letter in SIRE
<input type="checkbox"/> FUP	<input type="checkbox"/> Other	<input type="checkbox"/> Landscape	<input type="checkbox"/> per letter in SIRE
DVPKG MGR	Date	PLME	Date
Zoning	Date	Revision #	Date
Engineering	Date		
W/C Site	Date		
Fire	Date		
Landscape	Date		
PLME	Date		
Revision #	Date		

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
AND PLATS. LOCATED IN THE NW 1/4 OF
THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., G. & S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
UNION ON 6TH
site plan - building #1

3
OF
30

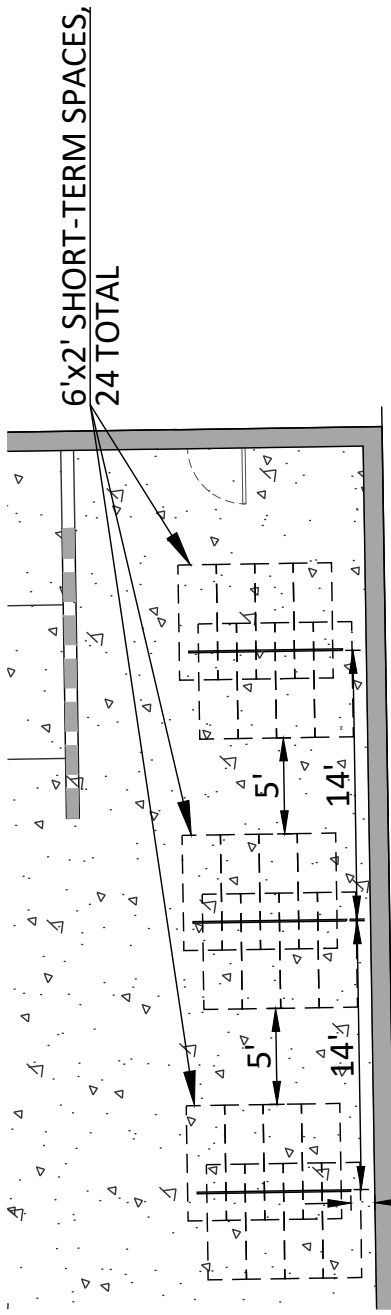


KEYNOTES

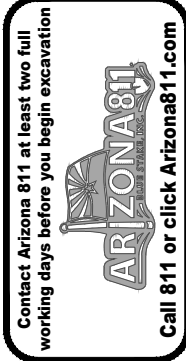
- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB ACCESS RAMP TO REMAIN.
- 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 6 [NOT USED]
- 7 EXISTING STRIPING TO REMAIN.
- 8 EXISTING PARKING METER TO REMAIN. CONTRACTOR TO RESET AS NEEDED.
- 9 EXISTING LIGHT TO REMAIN.
- 10 EXISTING STREET CAR POLE TO REMAIN.
- 12 EXISTING WALL TO REMAIN.
- 13 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 10. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 15 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 10.
- 16 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 17 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 33 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 10.
- 20 NEW WALL PER BUILDING PLANS.
- 21 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207, EXCEPT AS MODIFIED HEREON.
- 22 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 24 NEW SITE AMENITY (PLANTER, BENCH, ETC.). SEE LANDSCAPE PLANS (TYP.).
- 25 NEW BUILDING OVERHANG PER BUILDING PLANS.
- 26 NEW POST BARRICADE (TYPE B) PER PAG DETAIL 106.
- 28 NEW 8" WIDE CONCRETE HEADER PER LANDSCAPE PLAN.
- 29 NEW BRICK PAVERS PER LANDSCAPE PLAN.
- 30 NEW SHORT-TERM BICYCLE RACK. OWNER/ARCHITECT TO PROVIDE DETAILS + FINISHES. FOR RACK PLACEMENT, SEE DETAIL, THIS SHEET.
- 31 NEW CONCRETE HEADER PER PAG DETAIL 213.
- 32 NEW CURB TRANSITION (VERTICAL TO HEADER) PER PAG DETAIL 212.

OFF-SITE PARKING
4TH AV SCALE: 1"=10'

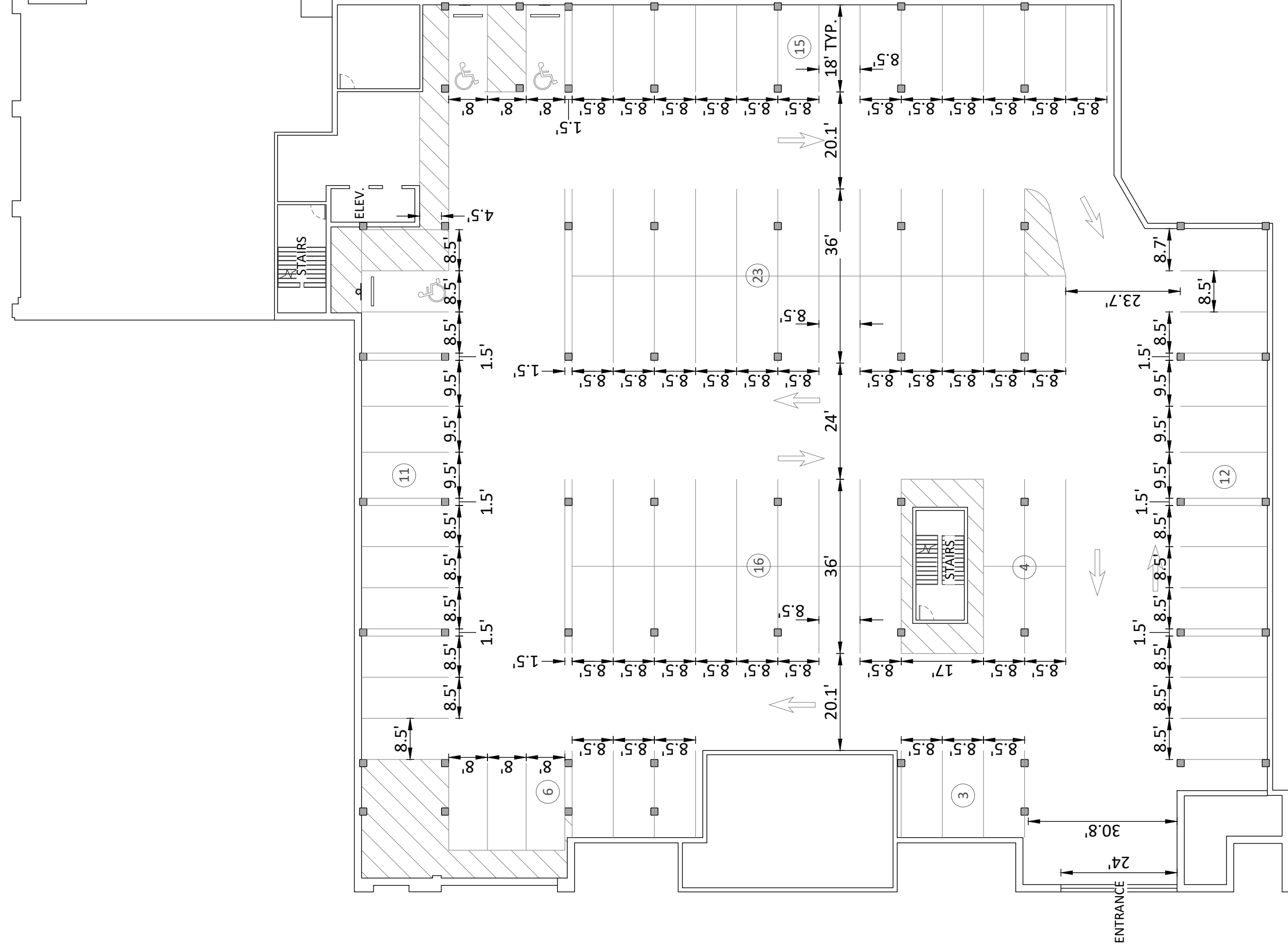
NOTE: BICYCLE PARKING AREA TO BE ILLUMINATED BY ADJACENT BUILDING LIGHTING



BIKE RACK PLACEMENT DETAIL
BUILDING #2 SCALE: 1"=10'



NO.	DATE	REVISION DESCRIPTION	BY
CYPRESS PROJECT NO: 17.097		OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edtrust.com	
CYPRESS CIVIL DEVELOPMENT 37624 KENNETH HALL TUCSON, ARIZONA 85719 PH: 520.499.2456 E: kmhall@cypresscivil.com		SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705	
CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> Tentative Plat <input type="checkbox"/> Grading <input type="checkbox"/> SWPPP <input type="checkbox"/> FUP <input type="checkbox"/> SCZ <input type="checkbox"/> FRZ <input type="checkbox"/> HDZ <input type="checkbox"/> WASH <input type="checkbox"/> Other DVPKG MGR _____ Date _____ Zoning _____ Date _____ Engineering _____ Date _____ W/C Site _____ Date _____ Fire _____ Date _____ Landscape _____ Date _____ PLME _____ Date _____ Revision # _____ per letter in SIRE		DEVELOPMENT PACKAGE for UNION ON 6TH site plan - building #2	
PORTION OF LOTS 1-7 OF "BLOCK 68" AS RECORDED IN BOOK 3, PAGE 70 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA		4 OF 30	




PARKING PLAN - BUILDING #1
BASEMENT
SCALE: 1"=20'



BIKE RACK PLACEMENT DETAIL
BUILDING #1 SCALE: 1"=10'

- (C) COMPACT PARKING SPACE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER EDUCATION REALTY TRUST, INC. 999 SOUTH SHADY GROVE ROAD, SUITE 600 MEMPHIS, TENNESSEE 38120 ATTN: MR. RODNEY KING PH: (901) 259-2500 EMAIL: rking@edrttrust.com
				SITE ADDRESS 314 EAST 6TH STREET TUCSON, ARIZONA 85705



CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

CYPRESS PROJECT NO: 17-057

DEVELOPMENT PACKAGE for UNION ON 6TH parking plan

PORTION OF LOTS 1-7 OF "BLOCK 68" AS
RECORDED IN BOOK 3, PAGE 70 OF MAPS
AND PLATS, LOCATED IN THE NW 1/4 OF
THE SE 1/4 OF SECTION 12, T. 14 S., R. 13
E., GLENDALE TOWNSHIP OF TUCSON, PIMA
COUNTY, ARIZONA

Notes

Legend

-  **Parcels**

 **Bus Stops**

 -  No Shelter
 -  Shelter

 **Sun Tran Bus Routes**

 - 10th/12th Ave
 - 22nd St
 - 6th St/Wilmoit
 - Ajo Way
 - Alvernon Way
 - Benson Highway
 - Broadway
 - Campbell Ave
 - Congress/Silverbell
 - Country Club/29th St
 - Craycroft/Ft Lowell
 - Euclid/N 1st Ave
 - Flowing Wells
 - Glenn/Swan
 - Grande
 - Grant Road
 - La Cholla
 - Midvale Park
 - Mission Road
 - Oracle/Ina
 - Pantano
 - Pima/West Speedway
 - Pueblo Gardens
 - S 12th Ave
 - S 6th Ave
 - S Park Ave
 - Speedway
 - Stone Ave
 - Valencia

 **Street Car Stops**

 **Street Car Route**

1: 2,257

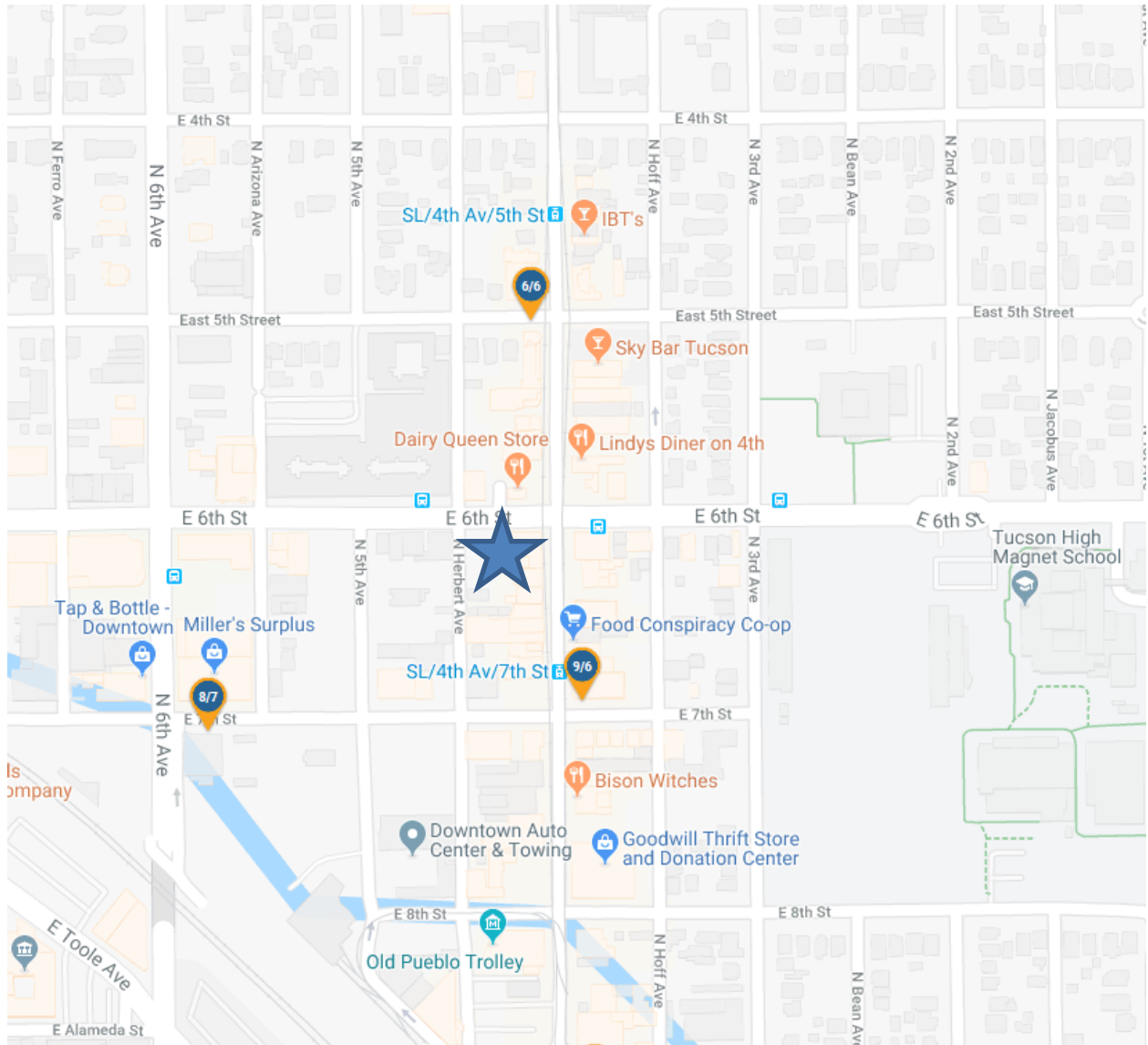


0.1 0 0.03 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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THIS MAP IS NOT TO BE USED FOR NAVIGATION



ADDENDUM

UNION ON 6TH



