PERMITTING NOTES

A. ZONING AND LAND USE NOTES

- 1. EXISTING ZONING IS R-3 RESIDENTS ZONE (TO REMAIN UNCHANGED)
- 2. THE GROSS AREA OF THE SITE IS 24,528 S.F., 0.5631 AC.
- 3. THE EXISTING USE OF THIS PROPERTY IS RESIDENTIAL, GROUP DWELLING, (TO REMAIN UNCHANGED) AND IS SUBJECT TO USE SPECIFIC STANDARD 4.9.7.B.6.
- 4. PROPOSED BUILDING INFO: TOTAL BUILDING GFA AFTER IMPROVEMENTS= 17,979 S.F., TOTAL BEDROOMS= 27, TOTAL BEDS= 55, (51 EXISTING BEDS PROVIDED= 4 NEW BEDS TOTAL)

B. DRAINAGE NOTES:

- 1. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- 2. THIS PROJECT IS NOT AFFECTED BY THE CITY OF TUCSON FLOODPLAIN REGULATIONS PER TECHNICAL STANDARDS SEC. 2—01.3.7.B.2.
- 3. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.

C. STREETS AND ROADS NOTES

- 1. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- 2. TOTAL MILES OF NEW PUBLIC STREETS IS O. TOTAL MILES OF NEW PRIVATE STREETS IS O.

D. UTILITIES NOTE

. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

E. WASTEWATER MANAGEMENT NOTES

- 1. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991–140. AS CURRENTLY AMENDED
- 2. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINEL ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- 3. SEWERAGE DISPOSAL WILL BE BY PRIVATE INDIVIDUAL DISPOSAL SYSTEMS. CONCEPTUAL APPROVAL BY THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY FOR PRIVATE INDIVIDUAL DISPOSAL SYSTEMS WILL BE OBTAINED PRIOR TO APPROVAL OF THE DEVELOPMENT PACKAGE DOCUMENTS.

SOLID WASTE

WASTE STREAM CALCULATIONS:

- A. USE: MULTI-FAMILY (0.0057 TONS/SF, TOTAL SF = 17,797 SF)
- 0.0057 TONS/SF X 17,797 SF = 101.4 TONS/YEAR. SIZE & COLLECTION FREQUENCY
- 101.4 TONS/YEAR / 52 WKS/YEAR = 1.95 TONS/WK
- 1.95 TONS/WK X 2,000 LBS/TON = 3,900 LBS/WK
- 3,900 LBS/WK / 3 LBS/GAL = 1,300 GAL/WK (TOTAL WASTE)
- 1,300 GAL/WK / 201.97 GAL/CUBIC YARD = 6.44 CUBIC YARDS/WK (TOTAL WASTE)

MINIMUM COLLECTION: 1-6 CUBIC YARD WASTE SHALL BE COLLECTED 2 TIMES PER WEEK.

VEHICULAR PARKING CALCULATIONS

	REQUIRED	PROVIDED
DORMATORY, FRATERNITY, OR SORORITY — $0.7/RESIDENT$ OR BED $(0.7x55 = 38.5)$ (3 SPACE REDUCTION IS APPLIED HERE FROM THE SHORT TERM BICYCLE PARKING OVERAGE)	36	11
EXISTING OFFSITE PARKING: (7 DESIGNATED SPACES ON MARTIN AVE.)	_	7*
(7 DESIGNATED SPACES ON NORTH ALLEY)	_	7
ACCESSIBLE (INLUDES VAN SPACES)	1	1
VAN ACCESSIBLE	1	1
TOTAL	36	25
LOADING	0	0

* THE NORTH 7 SPACES IN MARTIN AVE. ARE PERMITTED FOR SORORITY USE ONLY.

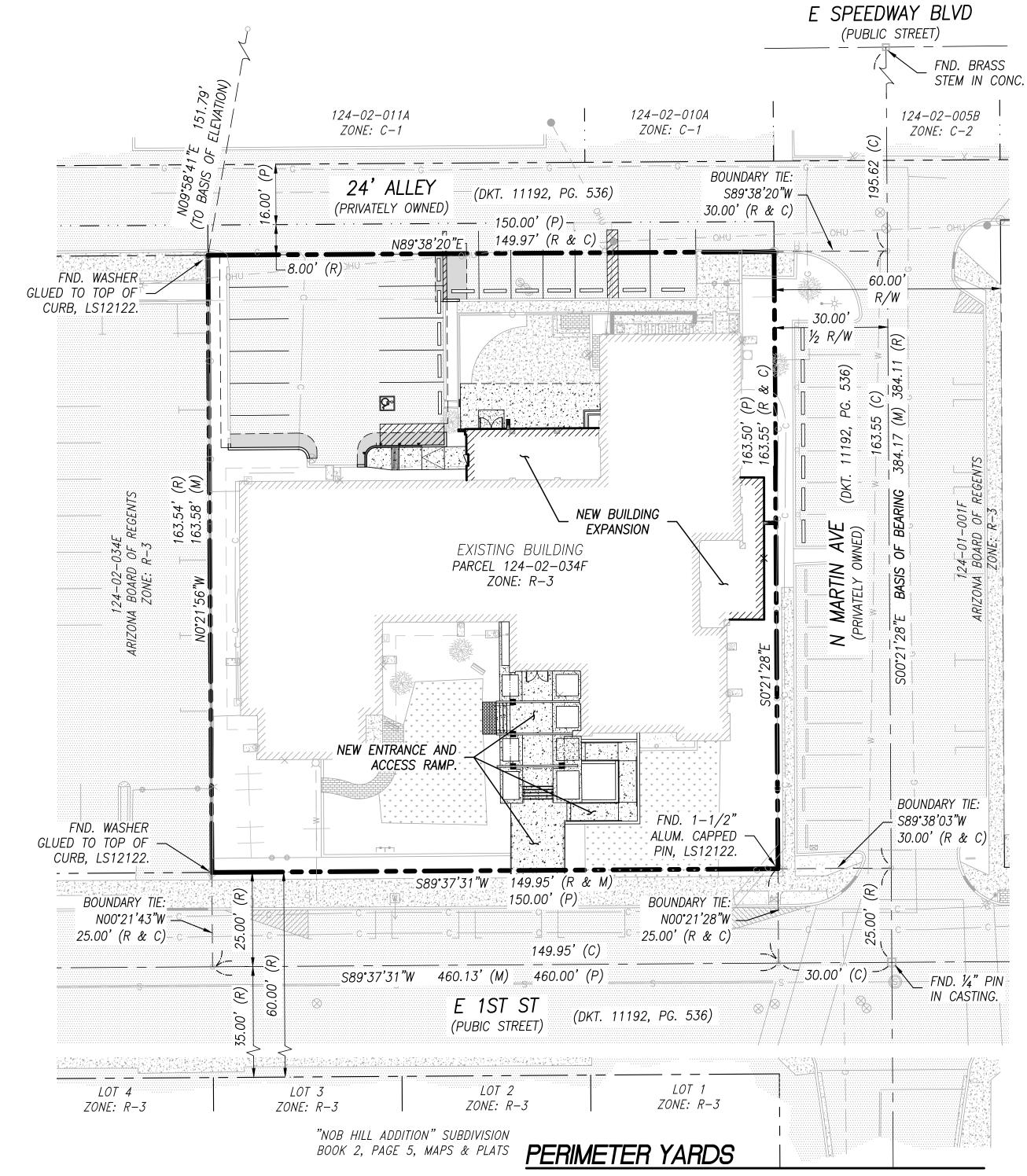
BICYCLE PARKING CALCULATIONS

_	REQUIRED	PROVIDED
<u>SHORT TERM:</u> GROUP DWELLING - 0.1 SPACES/BEDROOM	3	21
<u>LONG TERM:</u> GROUP DWELLING - 0.5 SPACES/BEDROOM	14	26
* LONG TERM BICYCLE PARKING SHALL BE LOCATI	ED INSIDE OF	BUILDING

DEVELOPEMENT PACKAGE FOR

ALPHA CHI OMEGA SORORITY

1779 E 1st STREET - TUCSON, AZ 85719 SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ



NORTH (ALLEY)

BUILDING EXPANSION CALULATION

BASEMENT

MAIN LEVEL

SECOND LEVEL

* TOTAL INCREASE= 19.6%

1,095

8,912

4,876

14,883

EXISTING AREA (SF) ADDITION AREA (SF) TOTAL (SF)

1,983

2,914

1,095

9,843

6,859

17,797

10' OR 3/4 (H)

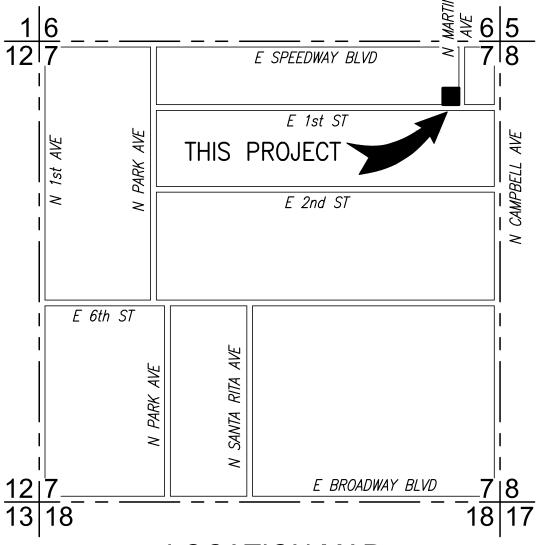
20' OR 1.5x(H)

10' OR 3/4 (H)

SOUTH (E 1ST STREET)

NOTE: SEE SHEET C3.0 FOR BUILDING SETBACK DIMENSIONS.





LOCATION MAP

A PORTION OF SECTION 7, T-14-S, R-14-E, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA SCALE: 3" = 1 MILE



SHEET INDEX

1	_	C1.0	COVER SHEET
2	_	C1.1	NOTES & LEGEND
3	_	C2.0	DEMOLITION PLAN
4	_	C3.0	SITE PLAN
5	_	C4.0	GRADING PLAN
6	_	C4.1	GRADING DETAILS/SITE DETAILS
7	_	C5.0	PRIVATE UTILITY PLAN
8	_	C6.0	HORIZONTAL CONTROL PLAN

BASIS OF BEARING

BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF MARTIN AVENUE, BETWEEN SPEEDWAY BOULEVARD AND FIRST STREET, LYING WITHIN SECTION 7, TOWNSHIP 14 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. SAID BEARING BEING SOUTH 00°21'28" EAST, AS SHOWN HEREON.

BASIS OF ELEVATIONS

BASIS OF ELEVATIONS: THE BASIS OF ELEVATIONS FOR THIS PROJECT IS AN UNNAMED CITY OF TUCSON (COT) BENCHMARK BEING A CHISELED "X" ON ROUND CONCRETE BASE OF NORTHERNMOST LIGHT POLE IN EAST PARKING LOT OF "SPEEDWAY MERCHANTS" (LOCATED NO9°58'41"E, 151.79 FEET FROM THE NORTHWEST CORNER OF THE SUBJECT PARCEL). SAID ELEVATION BEING 2465.61 (NAVD-88) PER COT FIELD BOOK 2332, PAGE 56 (LEFT).

<u>OWNER/DEVELOPER</u>

ALPHA CHI OMEGA NATIONAL
HOUSE CORPORATION
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ADDRESS: 1420 E. 1ST STREET
TUCSON, AZ 85719

EMAIL : AJGabel@alphachiomega.org

ARCHITECT

TRENORHL, INC.

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CIVIL ENGINEER

GRENIER ENGINEERING, INC.

CONTACT: JASON MORSE, P.E.

ADDRESS: 6300 E. EL DORADO PLAZA,

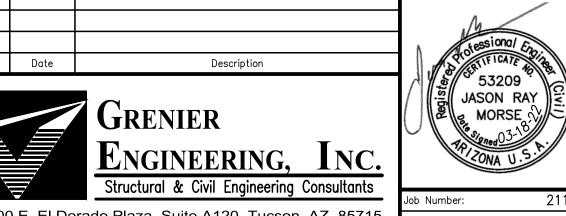
SUITE A120, TUCSON, AZ 85715

PHONE : (520) 326-7082 EMAIL : jmorse@greniereng.com



DP21-0351 ot administrative address 1779 E 1st STREET

1/79 E 1st STREET
TUCSON, AZ 85719
REF NO'S.: T20F000174



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Phone: 520.326.7082 ~ Fax: 520.326.7508

Sheet Name

COVER SHEET

DEVELOPEMENT PACKAGE FOR

ALPHA CHI OMEGA SORORITY

1779 E 1st STREET, TUCSON, AZ 85719
A PORTION OF SECTION 7, T14S, R14E, G&SRM,
PIMA COUNTY, AZ

Date: 03/18/2022

Scale Vt: N/A Hz: 1"=20"

Sheet Number:

Y

Sheet 1 of 8

EAST (N MARTIN AVE) 10' 10.00' VARIES WEST (PARKING LOT)

PROVIDED

VARIES

VARIES

7.85'

REQUIRED

VARIES

VARIES

GENERAL NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA ASSOCIATION OF GOVERNMENTS DETAILS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (P.A.G. S.S.P.I.), LATEST EDITION AND ANY AMENDMENTS THERETO.
- 2. A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES, HAS BLEN REPORT FOR THIS PROJECT BY TO THE RECOMMENDATIONS CONTAINED IN SAID REP
- BOUNDARY, SURVEY DATA, AND EXISTING IMPROVEMENTS SHOWN ON PLAN ARE PER SURVEY PREPARED BY PUTT LAND SURVEYING. INC., 4817 E. FIFTH STREET, TUCSON, AZ 85711. GRENIER ENGINEERING, INC. ASSUMES SAID BOUNDARY, TOPO AND OTHER INFORMATION SHOWN ON SAID PLAN TO BE CORRECT AND ACCURATE FOR DESIGN, DEVELOPMENT AND ALL OTHER PURPOSES, HAS RELIED THEREON AND ACCEPTS NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN THE PLAN BEARINGS, DISTANCES AND QUANTITIES CALCULATED FROM THIS TOPO AND THE FINAL CONSTRUCTION QUANTITIES OR DISTANCES OR BEARINGS, INCLUDING, WITHOUT LIMITATION, ANY OWNER/CONTRACTOR OR PAYMENT DISPUTES CREATED AS A RESULT OF THESE DISCREPANCIES.
- . IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY—FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- 5. THE GROSS AREA FOR THIS SITE IS 24,528 S.F., 0.5631 AC. THE AREA OF DISTURBANCE IS ±3,663.1 S.F., ±0.84 AC.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
- CONTRACTOR SHALL CALL BLUE STAKE (ARIZONA 811) TO VERIFY LOCATION OF ALL UTILITIES A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES. IRRIGATION LINES. IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
- 11. THE CONTRACTOR SHALL GIVE FORTY—EIGHT (48) HOURS NOTICE WHEN HE/SHE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE/SHE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR THEIR ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- 12. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC, FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCROACHING OF AFFECTING DIRECTLY OR INDIRECTLY ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.
- 13. NO STRUCTURE WITHIN 30" TO 72" IN HEIGHT SHALL BE PLACED IN THE SHOWN SITE VISIBILITY TRIANGLES.
- 14. THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- 15. ALL REVISIONS TO PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE CITY OF TUCSON PRIOR TO CONSTRUCTION.
- 16. THE CONTRACTOR SHALL ADHERE TO THE CONDITIONS OF THE STATE ANTIQUITIES ACT AND NOTIFY THE ARIZONA STATE MUSEUM AND THE PIMA COUNTY ARCHAEOLOGIST IN THE EVENT HUMAN REMAINS OR FUNERARY OBJECTS ARE ENCOUNTERED.
- 17. ALL CONCRETE SHALL CONFORM TO P.A.G. S.S.P.I. SECTION 1006. CLASS S. 3000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.

GENERAL NOTES - CONTINUED

- 18. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS. NOTES. AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- 19. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- 20. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS, INCLUDING BUT LIMITED TO: CLEARING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, TOGETHER WITH PLACEMENT AND COMPACTION OF FILL.
- 21. THE CONTRACTOR SHALL HAVE THE SOILS ENGINEER CERTIFY, IN WRITING, THAT ALL MATERIALS UTILIZED ON THIS DEVELOPMENT ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATION. CERTIFICATIONS, IN WRITING, ARE TO BE RECEIVED BY THE ENGINEER AND ARCHITECT PRIOR TO REQUEST FOR FINAL INSPECTION.
- 22. THE CONTRACTOR SHALL CERTIFY. IN WRITING, THAT ALL IMPROVEMENTS (PRIVATE AND PUBLIC) HAVE BEEN CONSTRUCTED. PLACED. INSTALLED. ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS, IN WRITING, ARE TO BE RECEIVED BY THE ENGINEER AND ARCHITECT PRIOR TO REQUEST FOR FINAL INSPECTION.
- 23. ALL SIGNING AND MARKING SHALL BE PER THE TUCSON DOT SIGNING MANUAL AND PAVEMENT MARKING DESIGN MANUAL
- 24. RETAINING WALLS MUST BE APPROVED BY CITY OF TUCSON PLANING AND DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
- 25. THE CONTRACTOR SHALL WORK AROUND EXISTING TRAFFIC SIGNS WHEN GRADING UNLESS INDICATED FOR REMOVAL AND REPLACEMENT.
- 26. DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6" FOR WATER HARVESTING.
- 27. THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE WATER HARVESTING AREAS AND SCARIFY THEIR BOTTOMS ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED, IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION. BMP'S MAY BE INSTALLED AT THE BASIN INLET(S) TO PREVENT THE FINE MATERIAL FROM ENTERING THE BASIN.
- 28. IN THE CASE WHERE WORK EXTENDS BEYOND THE EXPIRATION OF ANY PERMIT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RENEW PERMITS.
- 29. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDSD TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- 30. ANY PROPOSED ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFFS, WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACK FILLED UNTIL PLANNING AND DEVELOPMENT SERVICES DEPARTMENT INSPECTOR INSPECTS THE WORK AND APPROVES IT.
- 31. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- 32. CALL FOR SWPPP INSPECTION AND PRE-CONSTRUCTION MEETINGS. FOR A PDSD ENGINEERING INSPECTIONS, CALL IVR (740-6970), OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSD ENGINEERING 791-5550 EXTENSION 2101. OR SCHEDULE INSPECTIONS ONLINE AT: http://cms3.tucsonaz.gov/pdsd/inspections.
- 33. THE PROJECT WILL BE IN COMPLIANCE WITH CITY OF TUCSON TECHNICAL STANDARDS MANUAL SECTION 2-01 (EXCAVATION AND GRADING).
- 34. THE APPROVED DEVELOPMENT PACKAGE PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. A COPY OF THE APPROVED DEVELOPMENT PACKAGE, GRADING PERMIT, AND ANY GEOTECHNICAL REPORTS SHALL BE KEPT AT THE SITE AT ALL TIMES UNTIL FINAL GRADING APPROVAL. ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDSD ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- 35. SEE THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN AS PART OF THIS GRADING PERMIT.
- 36. THE OWNER SHALL COORDINATE INSPECTIONS OF PRIVATE DRAINAGE FACILITIES SUCH AS ONSITE ROOF DRAINS AND SCUPPERS BY A REGISTERED CIVIL ENGINEER ANNUALLY AND AFTER MAJOR STORM EVENTS. MAINTENANCE OF ONSITE PRIVATE DRAINAGE FACILITIES SHALL BE PERFORMED BY THE OWNER.
- 37. THE PERMITEE SHALL NOTIFY THE PDSD WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK. INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES AND THEIR PERMANENT PROTECTIVE DEVICES, AND ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY REQUIRED REPORTS HAVE BEEN SUBMITTED.
- 38. ALL PROPOSED WORK IN THE PUBLIC RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY EXCAVATION PERMIT OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT RICHARD LEIGH OF TRANSPORTATION DEPARTMENT PERMIT CODES AT 791-5100 FOR ADDITIONAL INFORMATION.

GENERAL NOTES - CONTINUED

- 39. PRIOR TO THE CITY'S APPROVAL OF ANY CONSTRUCTION PERMIT FOR A PERMANENT BUILDING, THE PROPERTY OWNER SHALL RECORD THE AIRPORT DISCLOSURE STATEMENT FORM THAT DISCLOSES THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND FURTHER CONVEYS THE RIGHT TO THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED.
- 40. DEVELOPMENT SHALL NOT CAUSE OR POTENTIALLY AFFECT AVIATION IN THE VICINITY OF THE SITE, INCLUDING BUT NOT LIMITED TO, PHYSICAL OBSTRUCTIONS TO AIRCRAFT OPERATIONS, INTERFERENCE WITH OPERATIONS BY WAY OF ELECTRICAL STATIC, VISUAL OBSTRUCTIONS THROUGH EMISSIONS OR GLARE, AND/OR THE OPEN STORAGE OF PETROLEUM PRODUCTS, EXPLOSIVE MATERIALS. OR MATERIALS WHICH ATTRACT OR LEAD TO THE CONCENTRATION OF WILDLIFE.
- . CONTRACTOR SHALL INCLUDE ALL CONTINGENCIES WHICH MAY ARISE AND MAY BE REQUIRED BY PROPOSED IMPROVEMENTS TO THE SITE. THIS SHALL INCLUDE REMOVAL, REPLACEMENT AND/OR RELOCATION OF EXISTING UNKNOWN UTILITIES NOT SHOWN ON PLANS.

GENERAL GRADING NOTES

- 1. ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.
- 2. ELEVATIONS SHOWN ON THIS PLAN ARE ELEVATIONS OF FINAL IMPROVEMENTS
- 3. CONTRACTOR SHALL EXERCISE EXTREME CARE TO MINIMIZE DAMAGE TO NATURAL GROWTH IN UNDISTURBED AREAS AND WORK WITHIN EASEMENTS AND ROADWAYS.
- 4. ALL GRADING SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- 5. ALL OVER EXCAVATED SOILS AND OTHER DELETERIOUS MATERIALS SHALL BE PLACED ONLY AT APPROVED SITES.
- 6. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN ± 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN ±0.10 FOOT OF FINISH SUBGRADES AS STAKED BY THE ENGINEER.
- COMPACTION OF ALL AREAS SHALL BE TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. DESIGNATION T-99. METHOD A. THOSE AREAS TO RECEIVE FILL ARE TO BE SCARIFIED TO A DEPTH OF SIX (6) INCHES, BROUGHT TO THE PROPER MOISTURE CONTENT AND COMPACTED TO THE REQUIRED DENSITY. THE AREA SOURCE OF FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. TEST OF FILL MATERIAL WILL BE DONE AT THE OWNER'S EXPENSE.
- 8. ALL CUT AND FILL SLOPES SHALL BE 3:1 OF FLATTER AND NO HIGHER THAN 5 FEET.
- 9. THE GRADING PLAN IS IN CONFORMANCE WITH CITY OF TUCSON TECHNICAL STANDARDS MANUAL SECTION 2-01 (EXCAVATION AND GRADING REQUIREMENTS).
- 10. STANDING WATER IN WATER HARVESTING AREAS WILL NOT BE MORE THEN 6"
- 11. GRADES SHOWN ON PLANS HAVE BEEN TRUNCATED. ADD 2400 TO ALL SPOT

GENERAL PAVING NOTES

- 1. AGGREGATE BASE COURSE SHALL CONFORM TO P.A.G. S.S.P.I. SEC. 303.
- 2. ASPHALTIC CONCRETE SHALL CONFORM TO P.A.G. S.S.P.I. SECTION 406 AND SOILS REPORT, UNLESS OTHERWISE SPECIFIED.
- 3. SUBBASE MATERIAL SHALL CONFORM TO P.A.G. S.S.P.I., SECTION 203.
- 4. PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.

- 1. USE ALL MEANS NECESSARY TO PROTECT ASPHALT CONCRETE PAVEMENT MATERIALS BEFORE, DURING AND AFTER INSTALLATION TO PROTECT THE INSTALLED WORK OF OTHER TRADES.
- 2. USE ALL MEANS NECESSARY TO PREVENT THE SPREAD OF DUST DURING THE PERFORMANCE OF WORK UNDER THIS SECTION.
- 3. ASPHALTIC CONCRETE SHALL CONFORM TO PIMA P.A.G. S.S.P.I.. SECTION 406. UNLESS OTHERWISE SPECIFIED.
- 4. TESTS SHALL BE CONDUCTED BY AN EXPERIENCED TESTING LABORATORY EMPLOYED BY THE OWNER AND LICENSED IN THE STATE OF ARIZONA.
- 5. APPLY TACK COAT TO ALL ADJACENT CONCRETE ASPHALT EDGE SURFACES.

GENERAL PAVING NOTES - CONTINUED

- 1. PROVIDE ALL LABOR, MATERIAL, TOOLS, EQUIPMENT AND SERVICES FOR CONCRETE PAVING, EQUIPMENT FOUNDATIONS AND BASES, EXTERIOR PLATFORMS AND STEPS, SPLASH BLOCKS, AND CURB AND GUTTER AS INDICATED OR REQUIRED FOR A COMPLETE INSTALLATION.
- COMPLY WITH ALL PERTINENT SECTIONS OF THE APPROPRIATE GOVERNING AUTHORITIES STANDARD SPECIFICATIONS, AS AMENDED TO DATE.
- THE CLASS OF EXTERIOR CONCRETE SHALL BE 3000 PSI WITH 3/4 IN MAXIMUM AGGREGATE, A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI, AND A MODULUS OF RUPTURE OF 650 PSI AT 28 DAYS. MAXIMUM ALLOWABLE SLUMP SHALL BE 4-1/2 IN FOR HAND
- FINISH CONCRETE WITH A DIRECTIONAL LIGHT BROOM FINISH PERPENDICULAR TO THE FLOW OF TRAFFIC.

ABBREVIATIONS

וטטר	NE VIA LIONS		
ABC	AGGREGATE BASE COARSE	MAX	MAXIMUM
AC	ASPHALTIC CONCRETE	M.E.	MATCH EXISTING
ADEQ	ARIZONA DEPARTMENT OF	MIN	MINIMUM
, .b _ q	ENVIRONMENTAL QUALITY	N	NORTH
ALT	ALTERNATE	NAVD	NORTH AMERICAN
		NAVD	
ANSI			VERTICAL DATUM
	STANDARDS INSTITUTE	NE	NORTHEAST
APC	AUTOMATED PLASTIC	NO	NUMBER
	CONTAINER	NOI	NOTICE OF INTENT
ARCH	ARCHITECTURAL	NTS	NOT TO SCALE
ARS	ARIZONA REVISED	NW	
AKS			
	STATUTES	OC ,	ON CENTER
ASTM	AMERICAN SOCIETY FOR	PC/COT	PIMA COUNTY/CITY OF
	TESTING AND MATERIALS	·	TUCSON
<i>AZPDES</i>	ARIZONA POLLUTANT	Р	PAVEMENT
	DISCHARGE ELIMINATION	PCC	PORTLAND CEMENT
	SYSTEM	700	CONCRETE
DC		0000	
BC	BACK OF CURB	PDSD	PLANNING &
BCS	BUSINESS CONNECTION		DEVELOPMENT SERVICES
	SEWER	PΕ	POLYETHYLENE
BK	BOOK	PG	PAGE
BLDG	BUILDING	PN	PLAN NUMBER
BLVD	BOULEVARD	PSI	
		r31	POUNDS PER SQUARE
C	CONCRETE, COMPUTED		INCH
CF	CUBIC FEET	PUE	PUBLIC UTILITY EASEMEN
CFS	CUBIC FEET PER SECOND	PVC	POLYVINYL CHLORIDE
CI	CAST IRON	PVMT	PAVEMENT
CLR	CLEAR	R	RANGE, RADIUS, RECORD
CMU		RCP	REINFORCED CONCRETE
CONC	CONCRETE	KCF	
			PIPE
COT	CITY OF TUCSON	RD	ROAD
CY	CUBIC YARDS	RLS	REGISTERED LAND
DIP	DUCTILE IRON PIPE		SURVEYOR
DKT	DOCKET	R/W	RIGHT-OF-WAY
DTL		•	
DR		RWRD	REGIONAL WASTEWATER
			RECLAMATION
E	EAST		DEPARTMENT
EG		S	SLOPE, SOUTH, SECTION
ELEV	ELEVATION	SE	SOUTHEAST
EQUIV	EQUIVALENT	SEQ	
-	EXISTING	SF	
	EXISTING		
		SSPI	
	FACE OF CURB		SPECIFICATIONS FOR
FFE			PUBLIC IMPROVEMENTS
	ELEVATION	STD	STANDARD
FG	FINISHED GRADE	SVT	
FL	FLOW LINE		
FT	FEET		SIDEWALK, SOUTHWEST
			SEWER
	GUTTER	SWPPP	
G&SRM			PREVENTION PLAN
	MERIDIAN	Τ	TOWNSHIP
GA	GAUGE	, TC	TOP OF CURB
GAL	GALLONS	TYP	TYPICAL
GFA	GROSS FLOOR AREA		
GFA HDPE		T.O.P.	
NUPE	HIGH-DENSITY	T.O.W.	
	POLYETHYLENE	UDC	UNIFIED DEVELOPMENT
IBC	INTERNATIONAL BUILDING		CODE
	CODE	U.N.O.	UNLESS NOTED
ICC	INTERNATIONAL CODE	0.14.0.	OTHERWISE
	COUNCIL	1/05	
18187		VCP	VITRIFIED CLAY PIPE
INV	INVERT	VERT	
L	LENGTH	W	WEST, WIDTH
LBS	POUNDS	WK	WEEK
LF	LINEAR FEET	WSEL	WATER SURFACE
LP	LOOP	VVJEL	
—-			ELEVATION
M	MEASURED	WTR	WATER
M&P	MAPS & PLATS	WWF	WELDED WIRE FABRIC
MAG	MARICOPA ASSOCIATION	YR	YEAR
	OF GOVERNMENTS		
		<u> </u>	41 OT 41 40
	PC AF	PROV	AL STAMP

P.C. APPROVAL STAMP

LEGEND

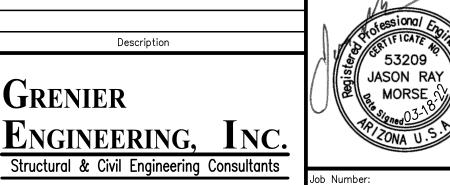
SURVEY MONUMENT SURVEY MARKER BOUNDARY LINE EASEMENT LINE CENTER LINE/MONUMENT LINE CONTOUR LINE — MAJOR CONTOUR LINE — MINOR		
BOUNDARY LINE EASEMENT LINE CENTER LINE/MONUMENT LINE CONTOUR LINE — MAJOR —		
EASEMENT LINE - CENTER LINE/MONUMENT LINE CONTOUR LINE - MAJOR -		
CENTER LINE/MONUMENT LINE CONTOUR LINE — MAJOR —		
CONTOUR LINE - MAJOR -		
CONTOUR LINE - MINOR -	<i>-</i> 4	50
	51	51
A.C. PAVEMENT		
CONCRETE CURB =		
CONCRETE CURB & GUTTER		4
CONCRETE SIDEWALK/PAD	44	44 44
BUILDING EXTERIOR WALL		
WALL		
OVERHEAD ELECTRIC LINE		OHE
UTILITY POLE		Ø
LIGHT POLE		*
TELEPHONE PEDESTAL		T
UTILITY PEDESTAL		U
GAS LINE		G
GAS METER		$\blacksquare G$
SANITARY SEWER LINE -		s
SANITARY SEWER MANHOLE	•	
SANITARY SEWER CLEANOUT	o ^{CO}	o ^{CO}
FIRE HYDRANT	-	FH FH
WATER LINE -	W	W
WATER METER	$\blacksquare W$	\square W
BACKFLOW PREVENTOR	⊘ ⊘	
WATER VALVE	\otimes	\otimes
SLOPE ARROW	→ ~	
GRADE POINT	51.00	51.00
SIGN	•	o s
BOLLARD		。 P
FENCE -	x	×
TREE		£3
PARKING BUMPER		
RIPRAP		

Contact Arizona 311 at least two full working days before you begin excavation STARTE, INC. Gall 811 or oliok Arizona811.com

COT ADMINISTRATIVE ADDRESS 1779 E 1st STREET **TUCSON, AZ 85719**

REF NO'S.: T20FO00174

Date Description GRENIER



6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508

NOTES & LEGEND

DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY

1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7. T14S. R14E. G&SRM. PIMA COUNTY, AZ

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GENERAL DEMOLITION NOTES 1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INCLUDING DEMOLITION PERMIT, REQUIRED BY GOVERNMENTAL AGENCIES. 2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY PIMA COUNTY REGARDING DUST POLLUTION. 3. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE PLANS; THEREFORE, THE POSSIBILITY OF CONFLICTS WITH UTILITIES IN SERVICE EXISTS. THE CONTRACTOR SHALL CALL "BLUE STAKE CENTER" AT 1-800-782-5348, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATION AND ELEVATION OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS. 4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING WORK TO DISCONNECT, SHUT OFF, OR STUB OUT ANY EXISTING UTILITIES AFFECTED BY THE DEMOLITION. 5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS. 6. THE CONTRACTOR AGREES TO PROTECT ALL ADJACENT PROPERTY AND EXISTING IMPROVEMENTS. INCLUDING POSITIVE CONTROL OF EARTH SPILLAGE, CONSTRUCTION WATER, AND RUNOFF WATERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER. 8. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. 9. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS PER CITY AND/OR COUNTY REGULATIONS. 10. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT ON LOCATION AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION. 11 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH. HAUL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE. 12. THE EXISTENCE AND LOCATION OF ANY EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A REPRESENTATION OF THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY OR

STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS

CONSTRUCTION.

ASBESTOS/NESHAP.

CONTRACTOR SHALL:

BE REMOVED.

BELOW GRADE.

UNDER THE PLANT CANOPY.

WATER SERVICES TO BE ABANDONED.

CITY AND/OR COUNTY REGULATIONS.

INSTALLED WHERE NECESSARY.

REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT ANY UTILITY NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR

SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO ANY

13. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING DUST CONTROL AND

14. THE CONTRACTOR SHALL OBTAIN APPROVAL AND CLEARANCE FROM TUCSON FIRE DEPARTMENT PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK.

A. CUT AND CAP ALL LANDSCAPE IRRIGATION LINES SERVING PLANTS TO

B. ENSURE CONTINUED IRRIGATION SERVICE TO PLANT MATERIAL TO REMAIN.

C. PROTECT ALL PLANT MATERIAL TO REMAIN: DO NOT COMPACT SOIL OR

PLACE CONSTRUCTION EQUIPMENT OR MATERIAL WITHIN THE AREA

D. SALVAGE AND OFFER ALL LANDSCAPE IRRIGATION EQUIPMENT TO THE

E. ALL STUMPS OF REMOVED TREES MUST BE COMPLETELY REMOVED

F. ALL EXISTING BACKFLOW PREVENTORS SHALL BE SALVAGED.

17. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR ARCHITECT FOR

18. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING.

20. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING

BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED

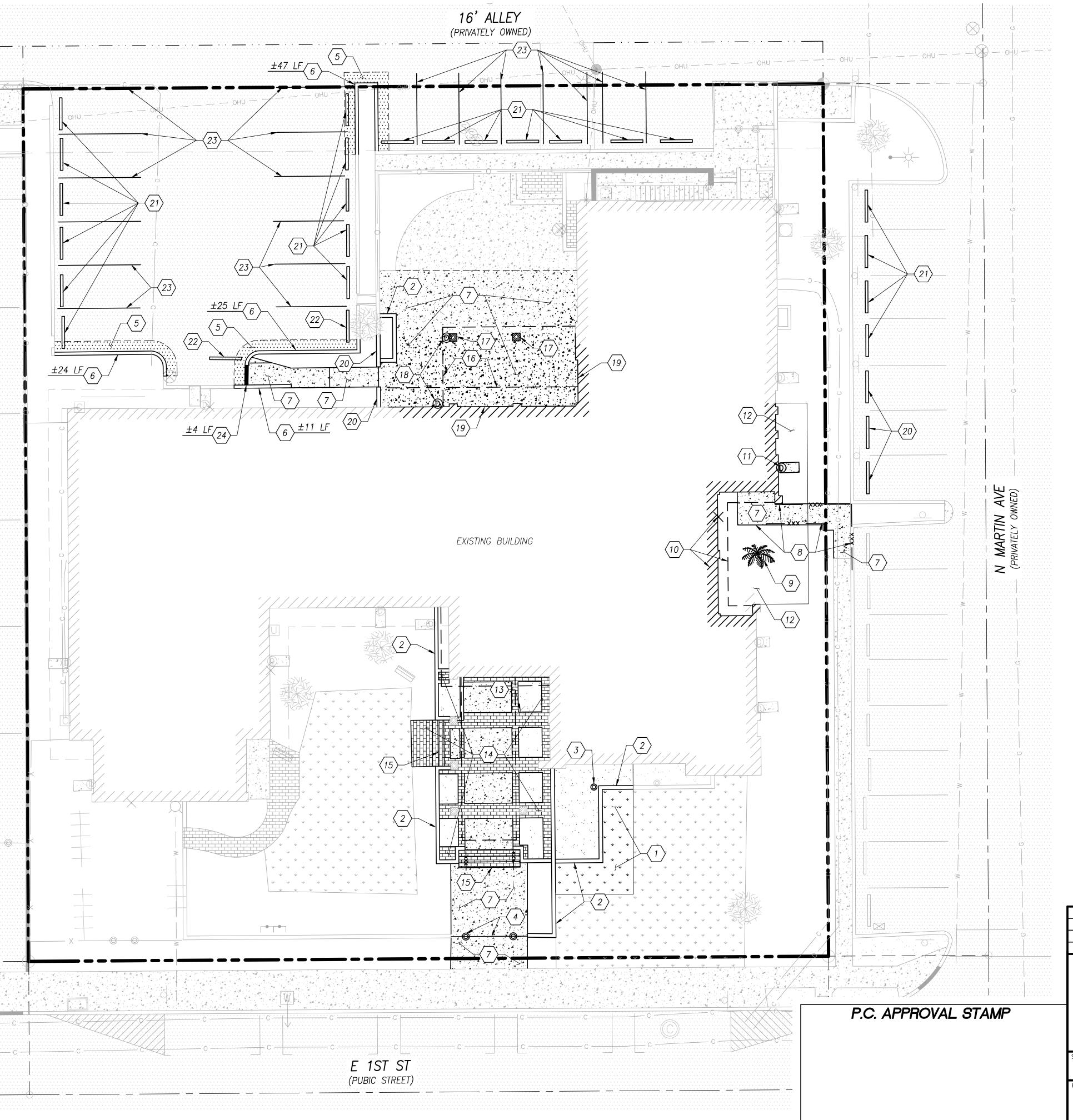
PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

19. PRIOR TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE

MATERIALS TO BE SALVAGED FOR REUSE OR STORAGE.

16. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT FOR EXISTING

15. REGARDING DEMOLITION OF EXISTING LANDSCAPE IMPROVEMENT, THE





KEYNOTES

 \langle 1 angle EXISTING GRASS AREA TO BE REMOVED.

(2) EXISTING PLANTER WALL TO BE REMOVED.

 $\langle 3 \rangle$ EXISTING FLAG POLE TO BE REMOVED AND SALVAGED PER DIRECTION OF OWNER.

4 EXISTING ENTRY GATE TO BE REMOVED AND SALVAGED IF POSSIBLE. IF DAMAGED, A NEW GATE CAN BE INSTALLED AT DIRECTION OF OWNER.

 $\langle 5 \rangle$ EXISTING PAVEMENT TO BE REMOVED.

 \langle 6 angle EXISTING VERTICAL CURB TO BE REMOVED.

(7) EXISTING CONCRETE SIDEWALK/PAD TO BE REMOVED, SEE HORIZONTAL CONTROL PLAN FOR LIMITS OF DEMO.

 \langle 8 angle EXISTING RAMP AND HANDRAILS TO BE REMOVED.

 \langle 9 angle EXISTING VEGETATION TO BE REMOVED.

 $\langle 10 \rangle$ EXISTING HOSE BIB TO BE REMOVED WITH PORTION OF BUILDING WALL/OVERHANG FOR NEW EXPANSION, SEE BUILDING PLANS FOR LOCATION OF NEW OF HOSE BIB.

(11) EXISTING DOWNSPOUT TO BE RELOCATED TO NEW BUILDING EDGE, SEE BUILDING PLANS. RELOCATE SPLASH BLOCK TO NEW DOWNSPOUT LOCATION.

(12) AREA TO BE EXCAVATED AND TREATED FOR NEW BUILDING EXPANSION.

(13) PROTECT EXISTING HOSEBIB IN-PLACE, TO BE ADJUSTED TO

FINAL GRADE. (14) EXISTING PATIO SURFACE TO BE REMOVED AND REPLACED,

 $\langle 15 \rangle$ EXISTING STEPS TO BE DEMOLISHED.

 $\langle 16 \rangle$ EXISTING OVERHANG TO BE REMOVED, SEE BUILDING PLANS.

 $\langle 17 \rangle$ EXISTING BUILDING COLUMNS TO REMAIN, SEE BUILDING PLANS.

COORDINATE NEW HARDSCAPE WITH ARCHITECT AND OWNER.

 $\langle 18
angle$ EXISTING UTILITY TO ADJUSTED, SEE BUILDING PLAN.

(19) PORTION OF BUILDING WALL TO BE REMOVED FOR NEW

BUILDING EXPANSION.

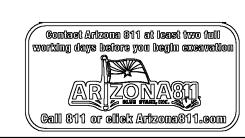
 $\langle 20 \rangle$ EXISTING PATIO WALL TO BE REMOVED.

 $\langle 21 \rangle$ EXISTING PARKING BUMPERS TO BE RELOCATED. SEE SITE PLAN FOR NEW PLACEMENT.

 $\langle 22 \rangle$ EXISTING PARKING BUMPER TO BE REMOVED.

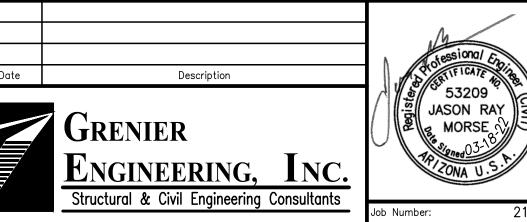
(23) EXISTING STRIPING TO BE OBLITERATED.

(24) EXISTING HEADER TO BE REMOVED.



DP21-0351 1779 E 1st STREET **TUCSON, AZ 85719** REF NO'S.: T20FO00174

ecked By



6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508

DEMO PLAN

DEVELOPEMENT PACKAGE FOR

ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719

A PORTION OF SECTION 7. T14S. R14E. G&SRM.

Sheet Number: Sheet 3 of 8

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03/18/202

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