

To Whom This May Concern:

I am writing to you regarding the proposed exterior stair and balcony work at 414 South 3rd Avenue.

This property is low income housing under an old FDIC program. When we purchased it in 2016, it was in terrible shape and full of tenants who were not law-abiding citizens.

There were literally several fatal drug overdoses there in the years before we took over the property and since 2016 it has been well-maintained and well-managed by me and my company, Bright Properties and is now an asset to the neighborhood, as are all of our properties.

We have done what we can to stabilize the three exterior staircases over the past six years but have concluded that the only way to permanently stabilize the staircases is to tear them off and replace them with a steel frame which will last decades rather than a few years which is the fate of wood in a south-facing structure in Tucson.

We could just leave the existing stairs and do half-measures to keep them stable, but we intend to keep this building forever and are convinced that a steel frame with trex decking and treads will look authentic and last for a long time. Despite the fact that this improvement will cost over \$100,000, we are eager to do it to improve the property structurally as well as cosmetically for the long term.

This property, according to SHPO, has no historic significance and was cobbled together in a way that disqualified it from historic status or tax credits.

We are proposing eliminating the awkward (and decidedly not "historic" in any meaningful way) front staircase which is not necessary and is essentially a bad feng shui eyesore.

I am, more than most Tucsonans, a historic preservationist, having done three historic tax credit projects including one (Don Martin Apartments) which won an award from the Historic board- and if there was anything significant to preserve I would be the first one to do it. That isn't the case here.

We will be happy to do what is necessary to design (with the help of our excellent architects, Cade Hayes and Jerrick Tsosie) steel railings and structural pieces that look like it could be wood if that is a priority.

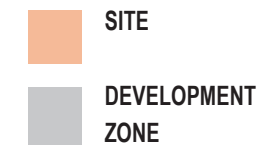
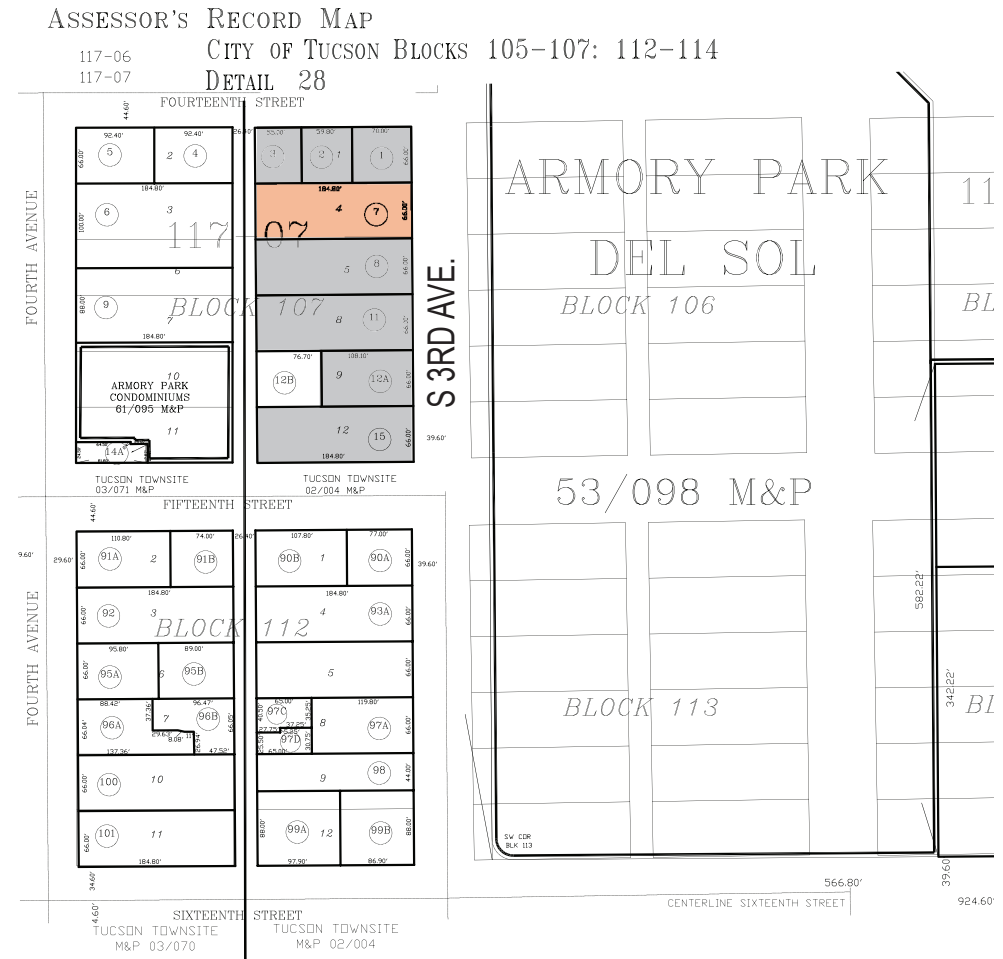
We look forward to working with you on this to appropriately stabilize this property and improve its appearance for the betterment of our tenants and the neighborhood.

Thank you for your consideration.

Sincerely,

Philip A Lipman





Originally constructed in 1903, the building's primary use was residential. The building at the time was a Queen Anne Type structure and later remodeled to have a second story in 1939. In 1949 it was converted into an apartment building with 15 units. Renovations were again made later in 1980 altering the look of the building. The National Register of Historic Places labeled it as Non-contributing due to age of drastic modifications.

The owner would like to make improvements to the exterior circulation provided for tenants. The owner is requesting to demolish existing staircase and decking and add a new configured staircase and decking.

These alterations will follow UDC and TSM standards and related building code standards. Included in this document is our preliminary site plan and elevations to ensure our interpretations are acceptable through Zoning and Historic Preservation Review Boards.

<b>Narrative:</b>	Proposed reconfiguring of exterior staircase and deck, demolish existing exterior staircase and decking
<b>Address:</b>	414 S 3rd Ave. Tucson, Arizona
<b>Parcel #:</b>	117-07-0070
<b>Parcel Area:</b>	12196.8 square feet
<b>Zoning:</b>	HR-3
<b>Owner(s):</b>	Bright Properties
<b>National Register of Historic Places:</b>	Noncontributing

**Items for Consideration:**

<b>Removal of Existing Staircase:</b>	The owner would like to demolish existing deck and railing
<b>Change of Material:</b>	We are proposing to design with painted steel and trex deck for the longevity and safety of the structure.
<b>Change of configuration of stairs from 3 to 2:</b>	The owner would like to construct and improve the exterior circulation and outdoor living space provided for tenants. The new structure will have changes that will conflict with HPZ design standards as well as the Armory Park HPZ standards that will need to be reviewed.
<b>Addition of shaded devices to second story windows:</b>	The owner would like to add shading devices over windows to reduce heat loads, and create shade at openings for the tenant's wellbeing and living experience.

Design Review Required

**UDC 5.8.8.A-1** Review and approval, of all properties, building, signs, and structures within an HPZ, is required for all development and improvements, including new construction or improvements that do not require building permits. Proposals are reviewed for compliance with Section 5.8.9, Design Standards.

HDZ Design Standards

**UDC 5.8.9** The HPZ Advisory Boards, Tucson-Pima County Historical Commission, staff, PDSO Director, and Mayor and Council shall be guided by the design standards in this section and the Technical Standards Manual when evaluating proposed development applications within the HPZ. Proposed development within the HPZ shall be in compliance with the following standards and the standards of the applicable HPZ as provided in Section 9-02.7.0, Specific Historic Preservation Zone Guidelines, the Technical Standards Manual.

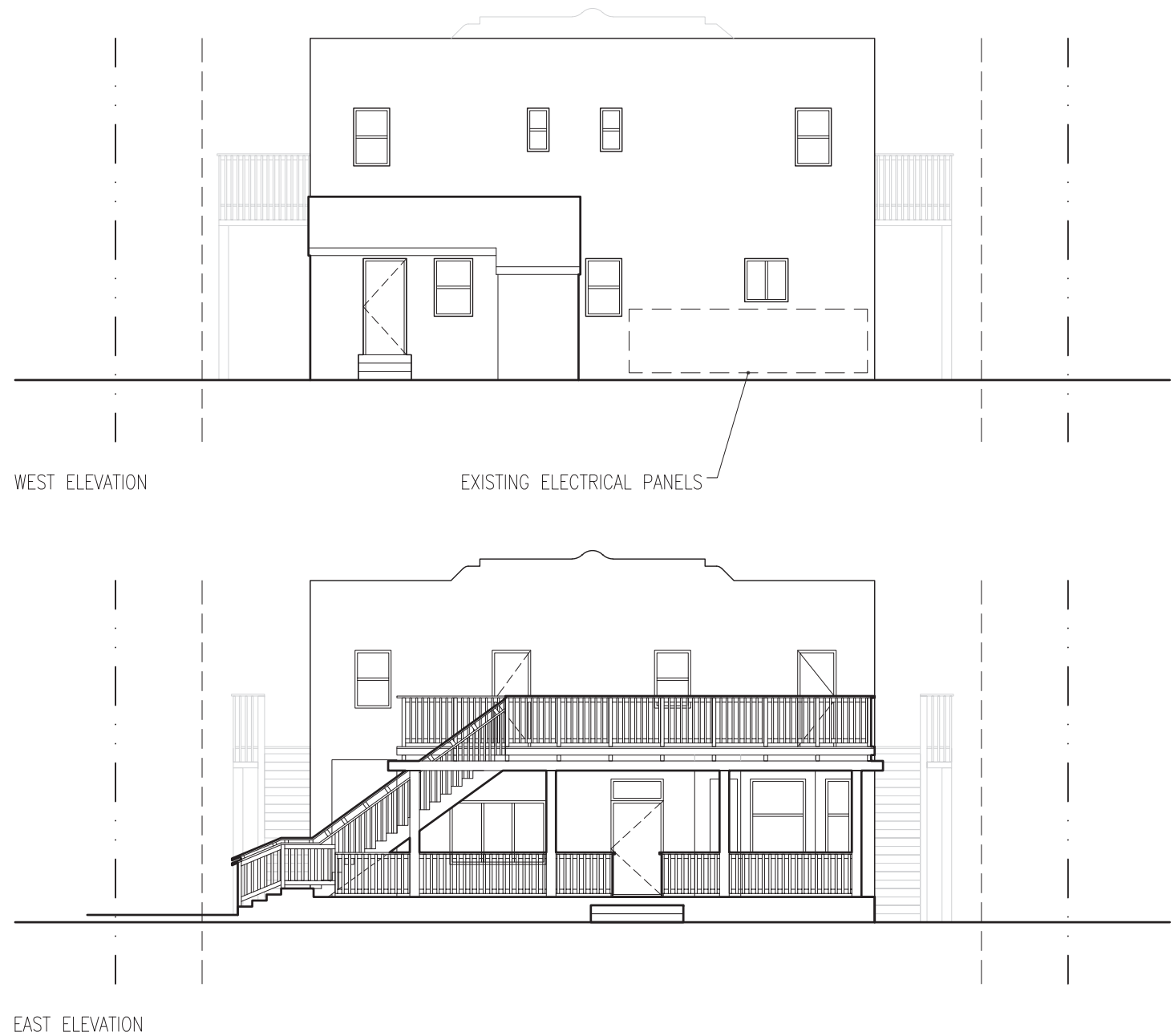
**UDC 5.8.9.A-3** New construction or alterations or additions to a Noncontributing Property within an HPZ shall reflect the architectural style of, and be compatible with, the Contributing Properties located within its development zone.

**UDC 11.4.5** **Development Zone:** Where the subject lot is an interior lot, the development zone includes that lot, all lots on either side of that lot and fronting on the same street in the same block, and all those lots on the opposite side of that street, except such portions of the development zone that fall outside the boundary of the HPZ, NPZ, or the RNA.

**UDC 5.8.9.H-3** New construction or alterations or additions to a Noncontributing Property shall have projections and recessions, such as porches, steps, awnings, overhangs, entrances, and windows, that are compatible with the existing historic styles within the development zone and reflect the historic periods of the HPZ.

Demolition Review

**UDC 5.8.10.B** For structures designated as intrusions or noncontributing, non-historic properties in HPZs, the PDSO Director shall consult with the appropriate HPZ Advisory Board and the Tucson-Pima County Historic Commission Plans Review Subcommittee to ensure that the structure is properly classified at the time of the request for demolition. If the structure is an intrusion or noncontributing, non-historic, no further review shall be required. If the PDSO Director determines that the structure has not been properly designated, the PDSO Director may delay the issuance of the permit until the proper designation is determined by the Zoning Administrator or may proceed with the appropriate review process as if the designation had been changed.

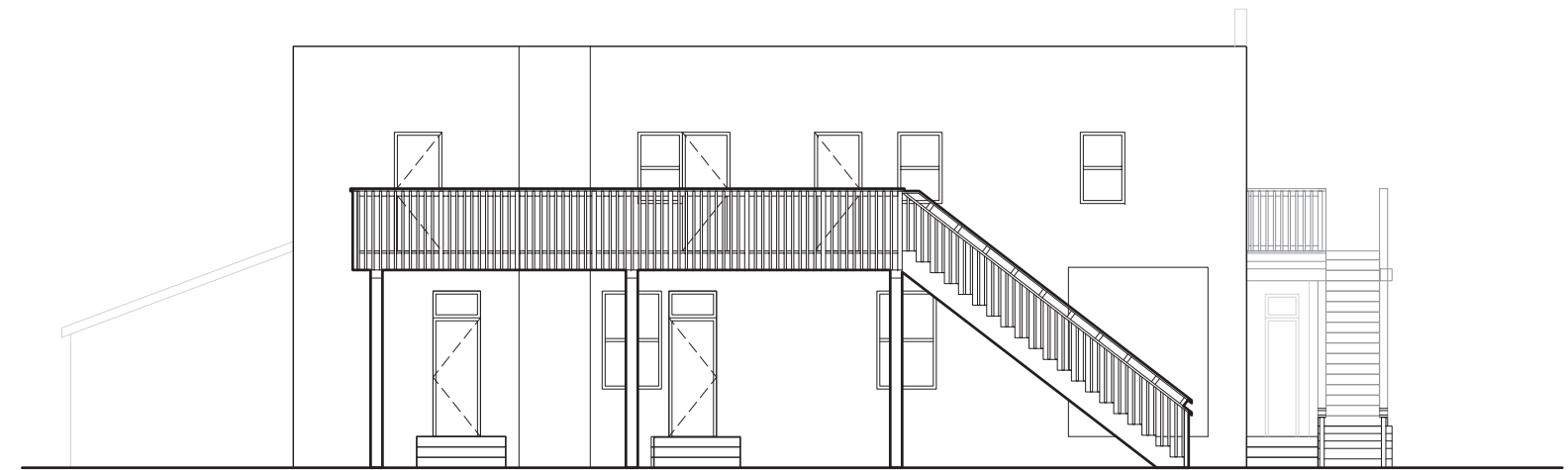


Armory Park

TSM 9-02.7.2.D-1 **Additions.** Additions to buildings, including rooms, porches, stairs and access ramps, should be constructed at the rear of the property.

TSM 9-02.7.2.D-6 **Porches.** Original porches should be maintained and as much of the original material and ornamentation as possible should be retained if repair is necessary. Front porches should not be enclosed as rooms. If a porch has been enclosed, the enclosure should be removed and the porch restored. Wrought iron columns or steel pipe columns are not acceptable building materials for new or restored porches.

TSM 9-02.7.2.D-7 **Architectural Details.** Historical architectural details should be retained; even the simplest details contribute to the overall character of the building. If replacement of architectural details is necessary, original detailing on the structure should be researched and architectural details visible on other houses in the development zone can be duplicated using size, placement, and quantity as a guide.



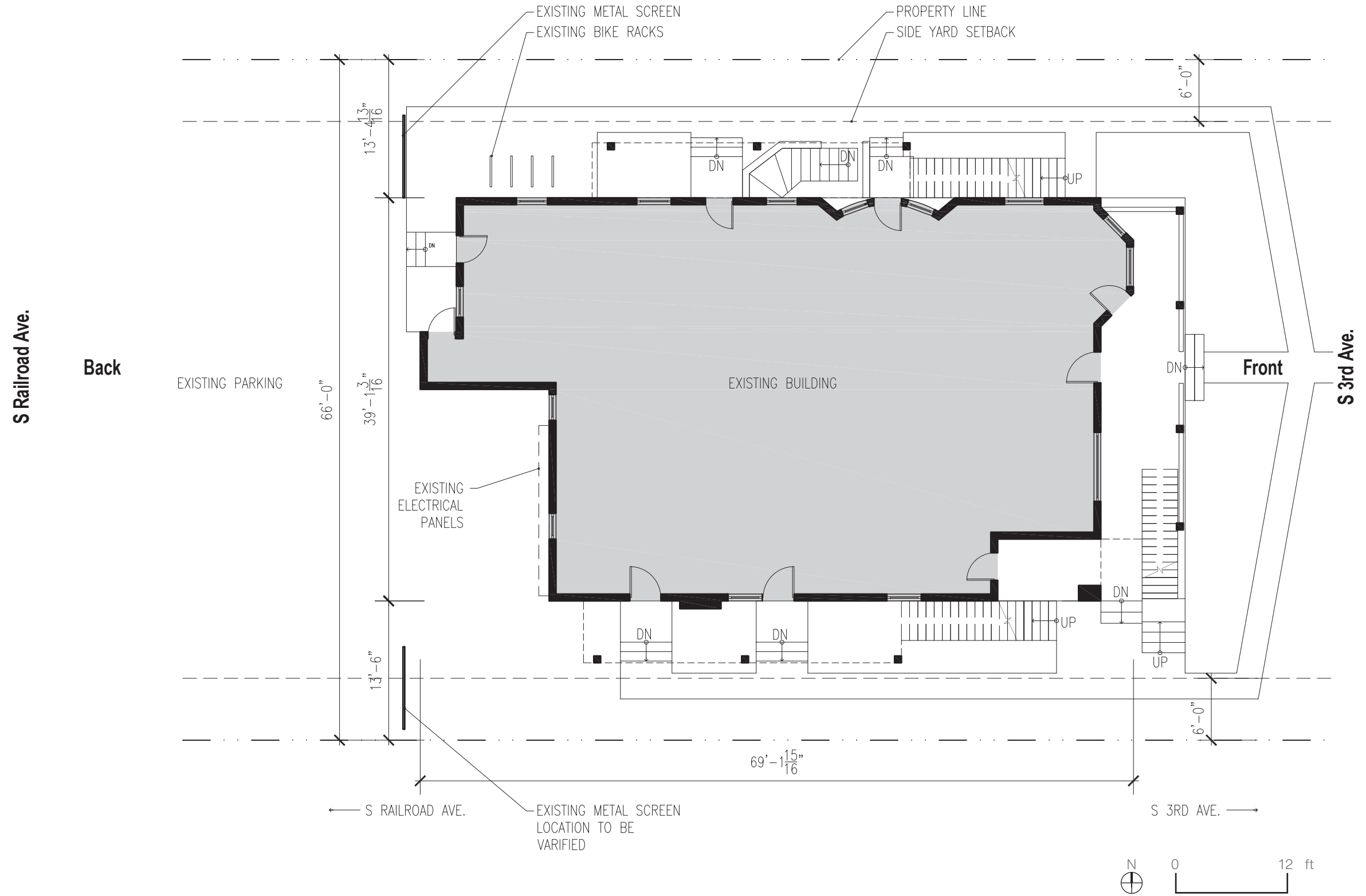
SOUTH ELEVATION

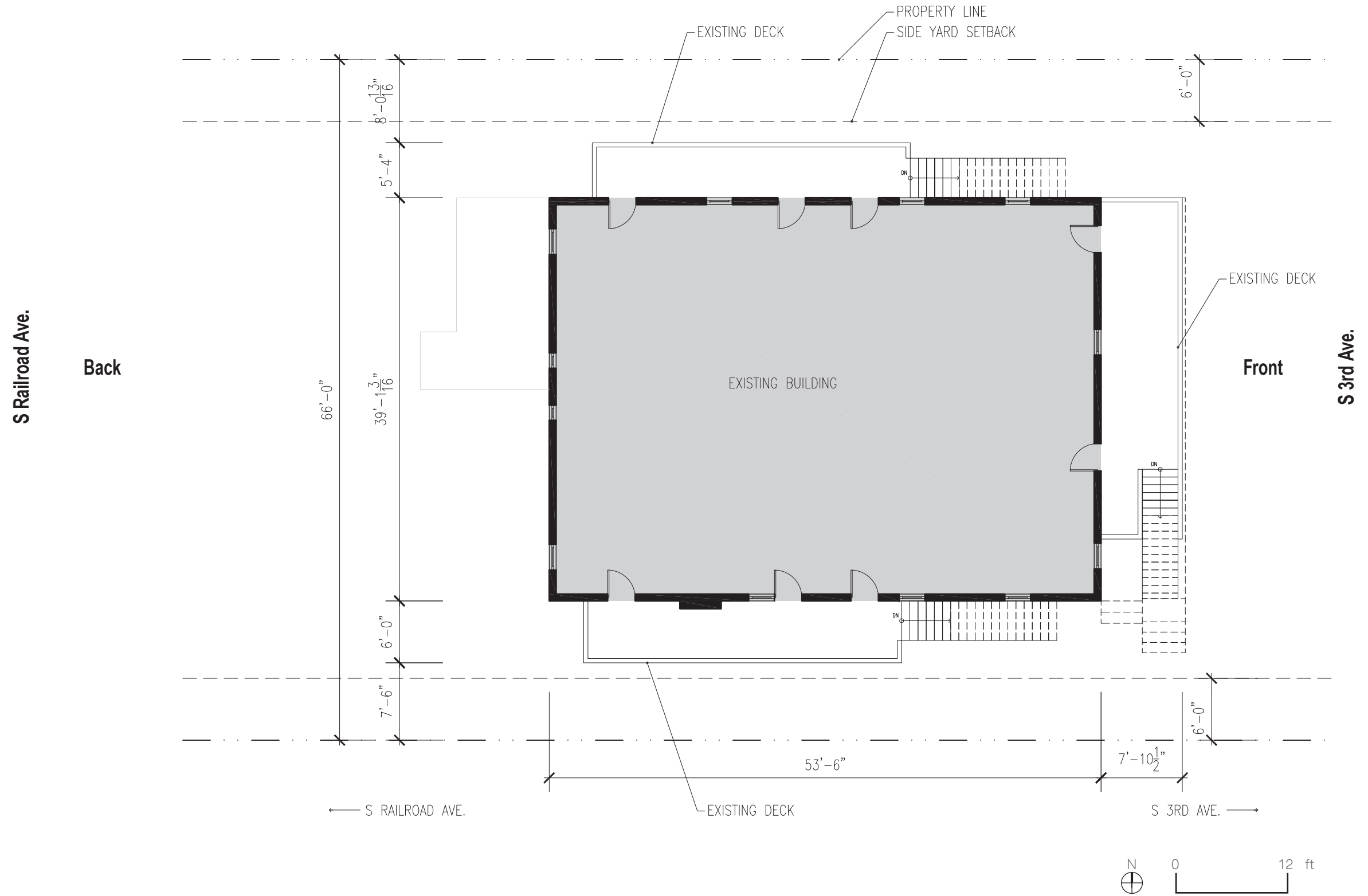


NORTH ELEVATION

EXISTING BIKE RACKS







This is a preliminary study for the location and the overall look of the new staircase and deck. These drawings do not show the detailing of guard rails or accurate structural representations. The configuration may change throughout the design process. The material of the staircase will depend upon the review of the HPZ Review Boards. The structure will also be reviewed by a structural engineer to ensure if design is possible.

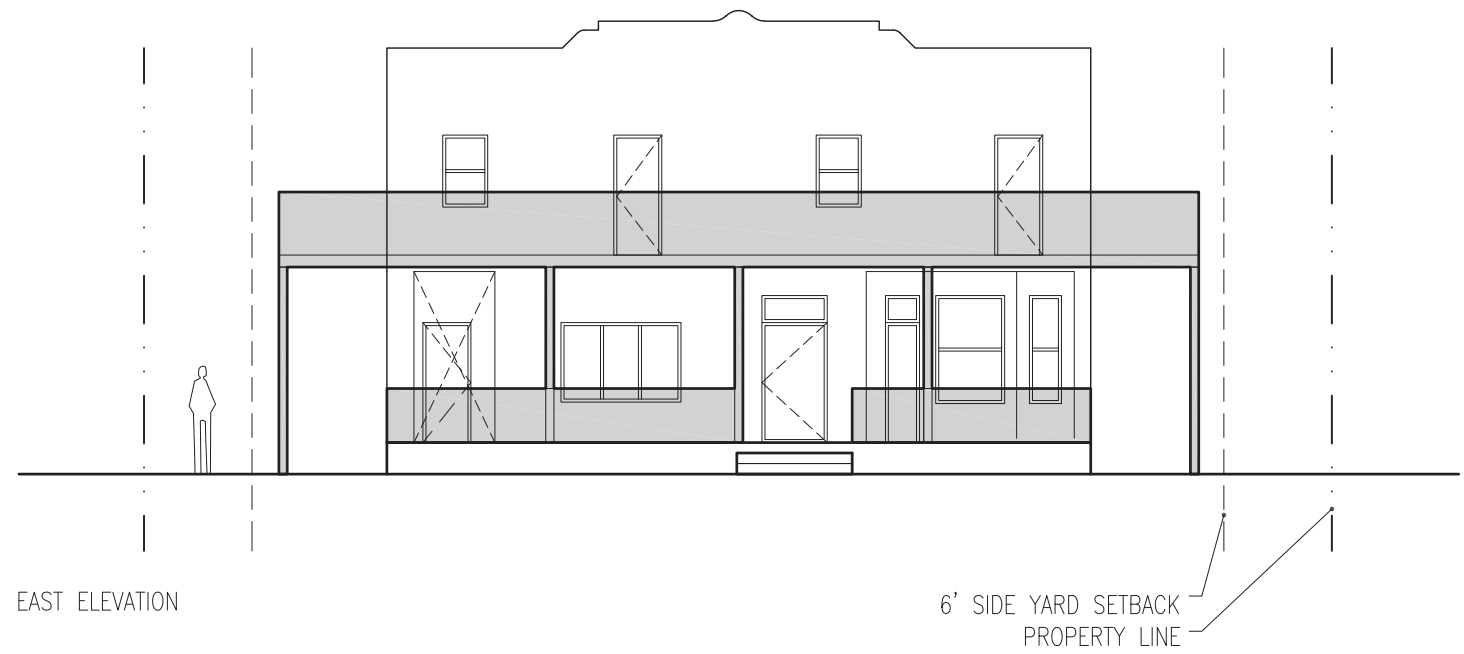
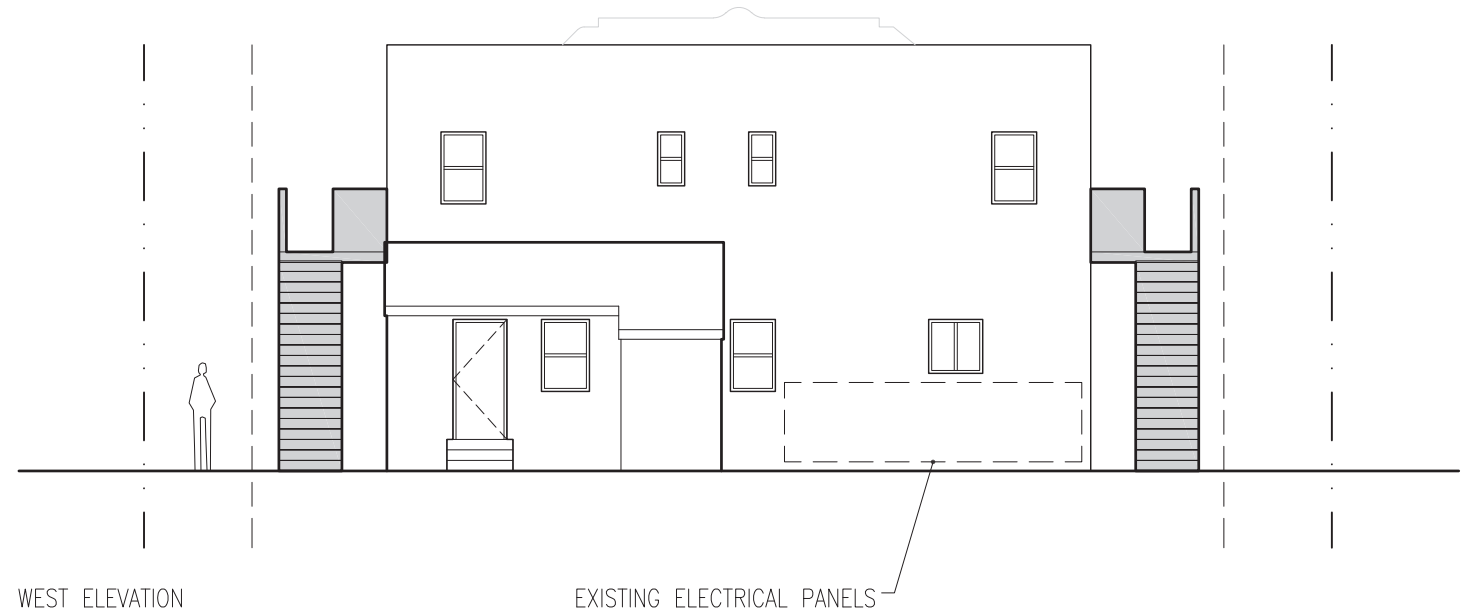
We are proposing to design with **steel** and **trex deck** for the longevity and safety of the structure. Wooden materials may be used in part of the design to keep the aesthetic but we ask for the structure to be steel.

The removal of the east staircase will beautify the building and expose more of the historic aspect of the home which are on the ground floor and obscured by the front stair.

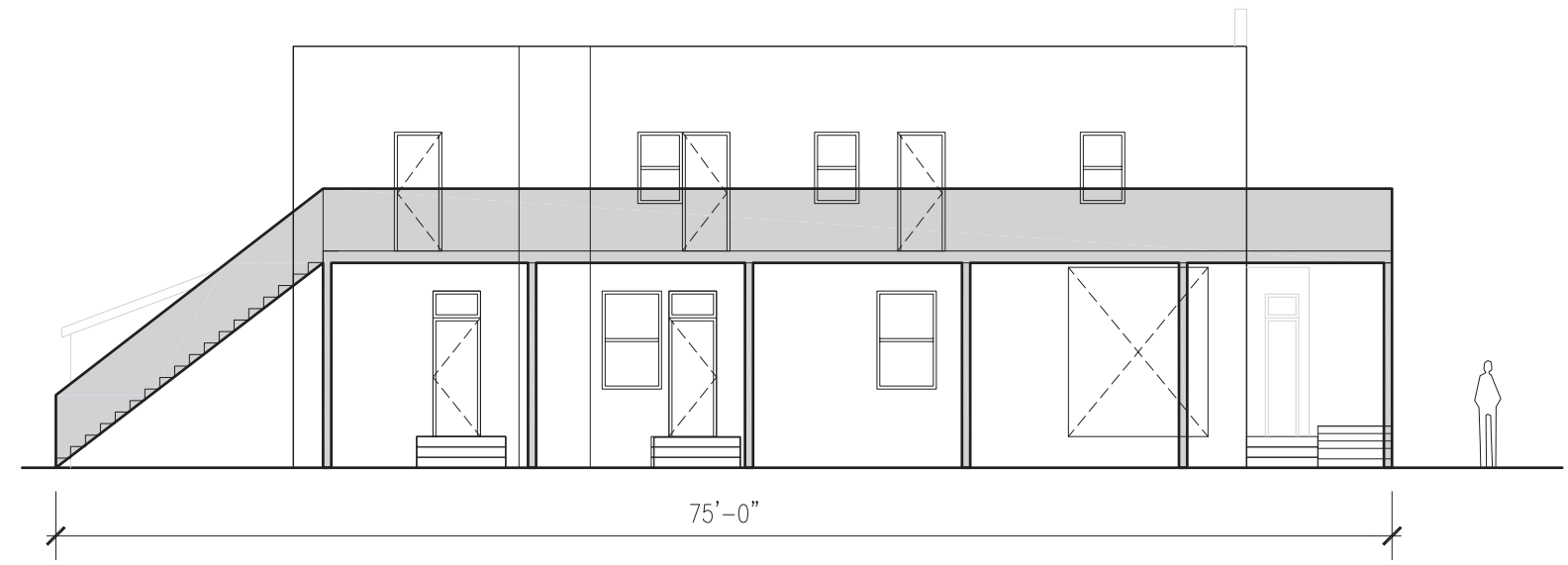
Studying the historic photo (below) we noticed shade structures above each doorway and window which we think could be part of the design. We can propose a design for that as well if that is something that would be considered.



Owner would like to re-introduce shading for the tenants on the second floor. We can follow this example or re-think it if allowable.



The post locations were studied in order to not block any doorways or windows. These locations may require removal of existing concrete work.



SOUTH ELEVATION



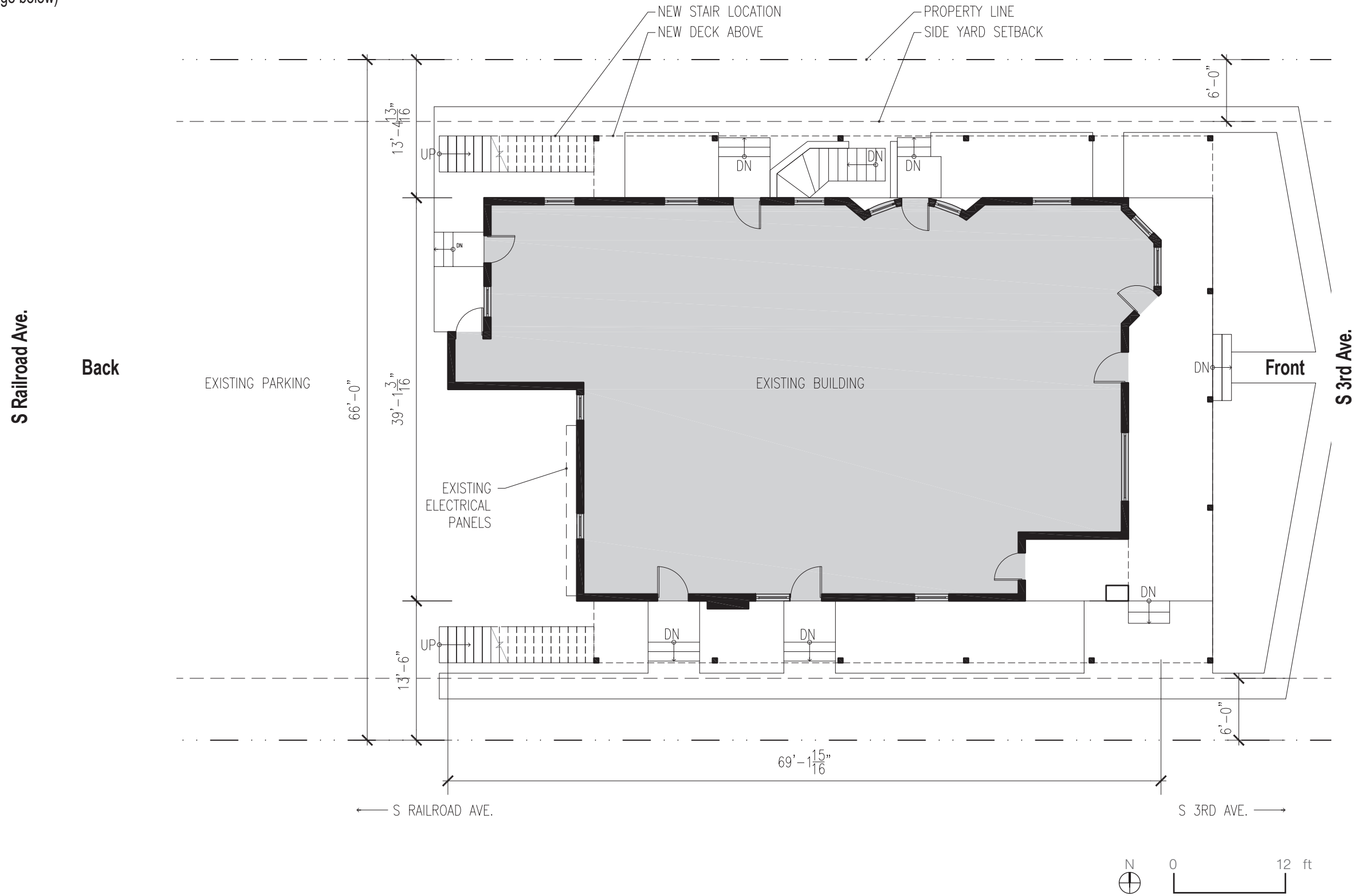
NORTH ELEVATION





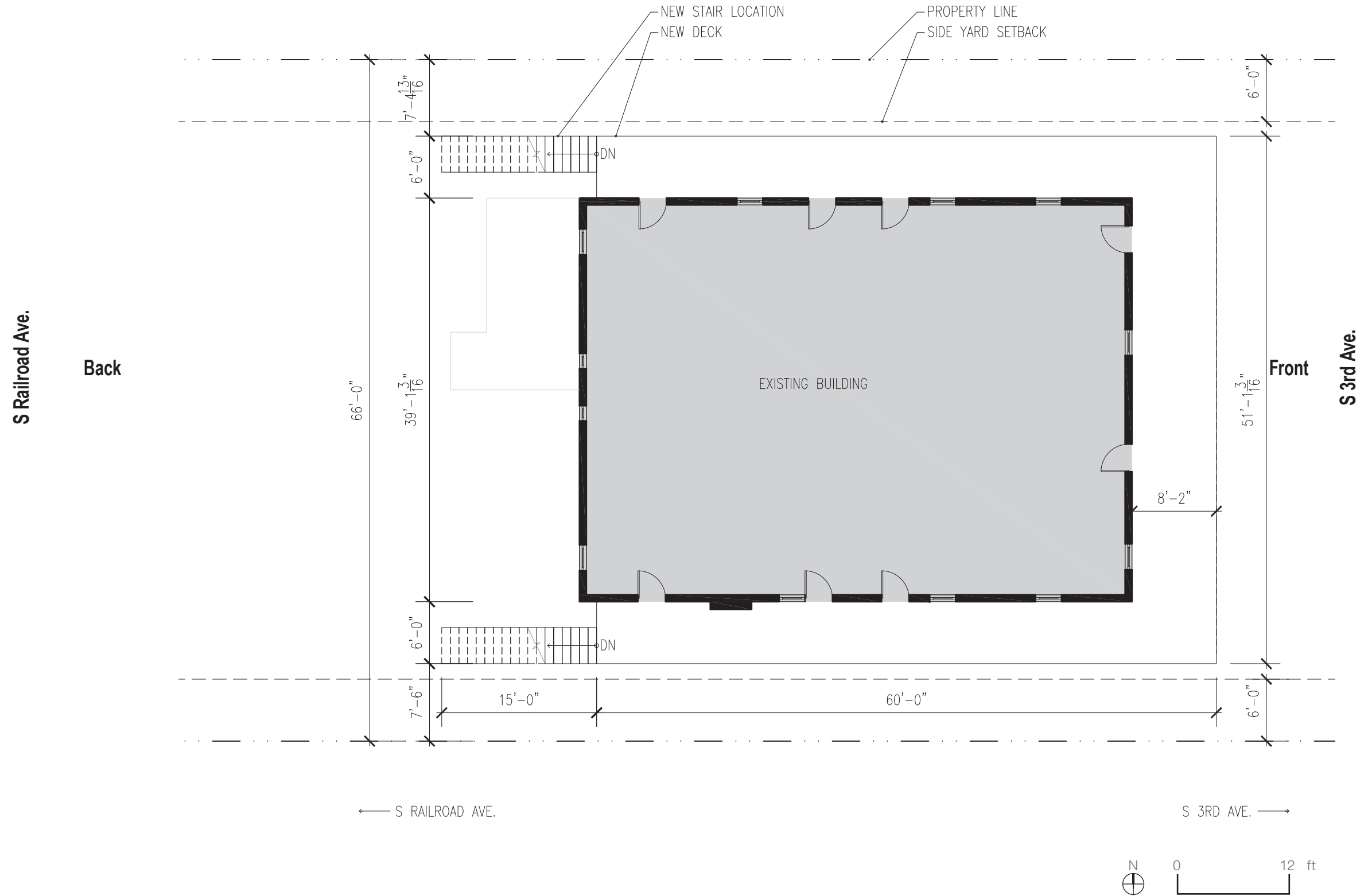
The new design may require removal of existing concrete work for new structural post locations. As we get further into the design, we can confirm the locations.

The new design will require removal of existing bike racks on the north side of the building as well as the metal screens that exist on the west side of the building. (See image below)



Width dimensions of the existing deck were kept in consideration of the new design. The new decking now wraps around the building with two staircases to the west.

The design will also follow the International Building Codes and International Fire Codes.





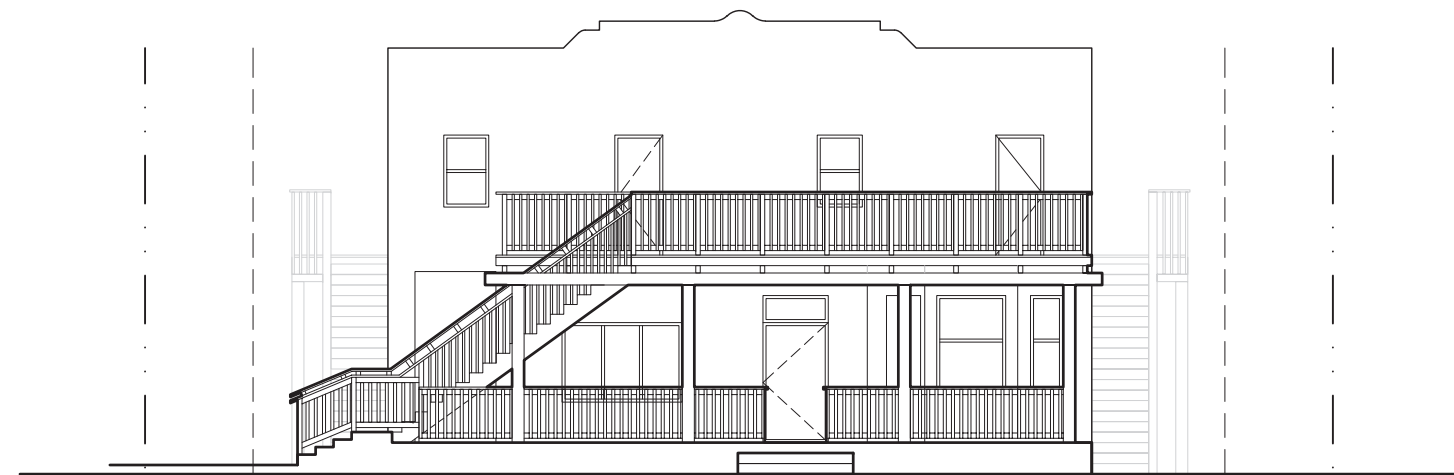
WEST ELEVATION

EXISTING ELECTRICAL PANELS



WEST ELEVATION

EXISTING ELECTRICAL PANELS



EAST ELEVATION



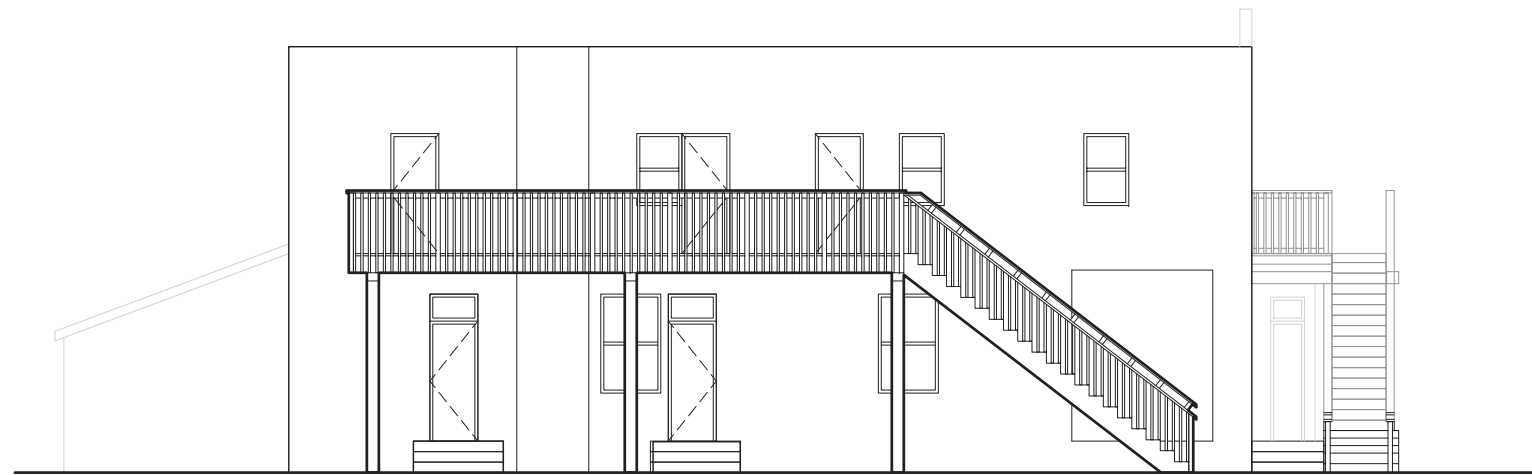
EAST ELEVATION

6' SIDE YARD SETBACK  
PROPERTY LINE

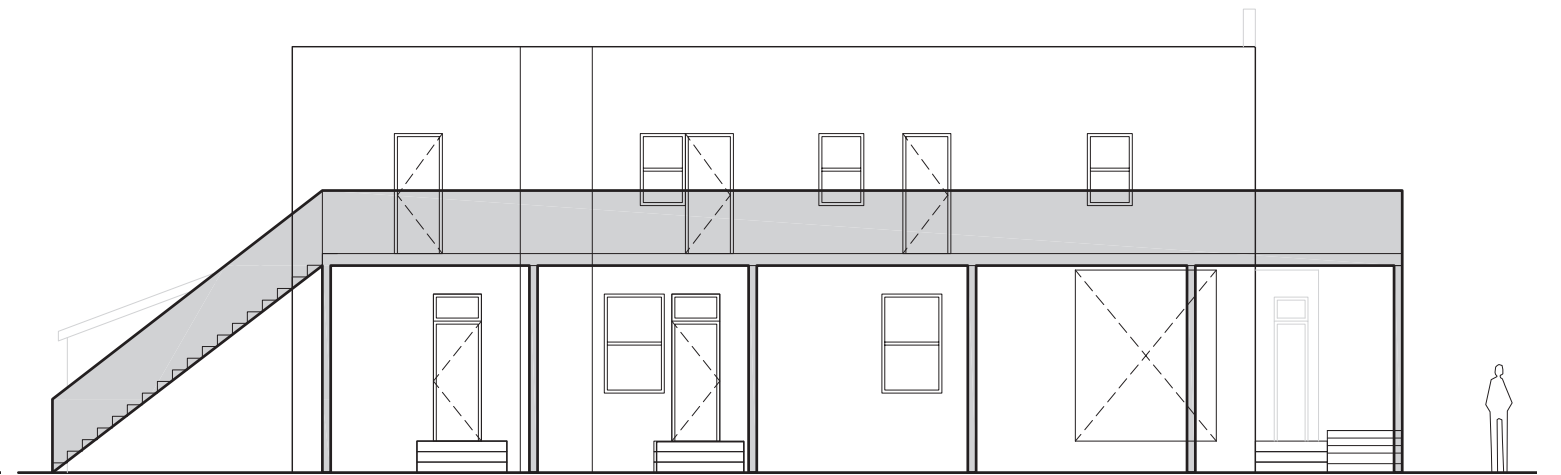
**Existing**

**Proposed**





SOUTH ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

EXISTING BIKE RACKS



NORTH ELEVATION

**Existing**

**Proposed**



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