

# SOMBRA Residential

11125 North La Canada Drive, Suite 201  
Oro Valley, AZ 85737  
(520) 575-8976

# The Subramanian Residence

Parcel 110-09-007n  
5310 East Placita del Mesquite  
Tucson, Arizona 85712

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## SCHEDULE OF DRAWINGS

1.0	Cover Sheet	6.0	Framing Plan
S1.1	PT Tendon Layout	6.1	Roof Plan
S1.2	PT Foundation Plan	6.2	Framing Details
S2	PT Foundation Details	7.0	Electrical Plan
3.0	Floor Plan	7.1	Electrical Notes, Specs & Schedule
4.0	Elevations	8.0	Mechanical Plan
5.0	Building Sections	9.0	Plumbing Plan

## INCLUSIVE HOME DESIGN NOTES

- THIS ORDINANCE APPLIES TO ALL DWELLING UNITS (SITE BUILT HOMES) PERMITTED FOR CONSTRUCTION IN CITY OF TUCSON OR PIMA COUNTY.
- PROVIDE AT LEAST ONE EXTERIOR ACCESSIBLE ROUTE AND ENTRANCE. THE ROUTE MAY ORIGINATE FROM THE CARPORT, DRIVEWAY, PUBLIC STREET OR SIDEWALK. THE SLOPE OF THIS ROUTE SHALL NOT EXCEED ONE-FOOT VERTICAL RISE PER TWENTY FEET HORIZONTAL DISTANCE (1:20), UNLESS A RAMP PER IRC IS CONSTRUCTED.
 

NOTE: INDICATE THE "EXTERIOR ACCESSIBLE ROUTE" AND "ACCESSIBLE ENTRANCE" ON SINGLE FAMILY RESIDENCE SITE PLAN. (NOT A REQUIREMENT ON MODEL PLANS).

IF THE ACCESSIBLE ENTRANCE IS TO BE ON AN EXTERIOR OR UNDER PORCH SLAB, THAT ALL WEEP SCREED CLEARANCES FOR STUD WALL CONSTRUCTION NEED TO BE RESPECTED. COMPLIANCE SHALL REQUIRE EITHER: A RECESSED CHANNEL IN THE EXTERIOR SLAB A MIN OF 2 INCHES DEEP UNDER THE WEEP SCREED. AT THE MOST SHALL JOINT POINT, SLOPED TO DRAIN, AND WITHIN A HORIZONTAL WIDTH PROJECTING A MIN. OF ONE INCH BEYOND THE EDGE OF THE FINISHED WALL, RAISING THE STUD WALL ON A MIN. 2" CONC. OR MASONRY STEM WALL, ANY OTHER LISTED OR DESIGNED METHOD.
- ACCESSIBLE ENTRANCE: PROVIDE MINIMUM ONE NO-STEP LEVEL ENTRANCE THAT IS A MINIMUM 32" WIDE AND MEETS THE DOOR HARDWARE REQUIREMENTS PER THIS ORDINANCE. (NOTE: EXIT DOORS ARE REQUIRED TO BE 36" MINIMUM AND THE GARAGE CAN BE USED AS AN ENTRANCE). THE ACCESS FLOOR SHALL HAVE A MINIMUM 36" WIDE HALLWAYS AND ACCESSIBLE DOORS TO ALL SPACES AND ELEMENTS TO BE MINIMUM 28" DOOR.
 

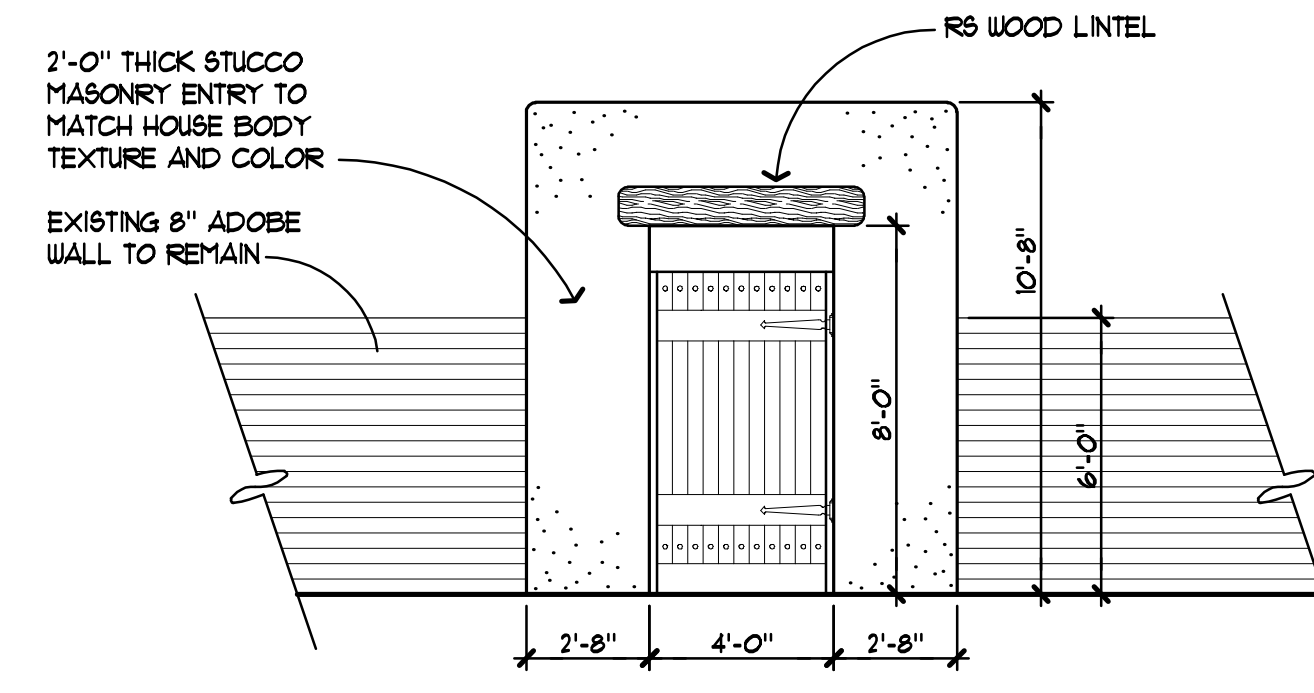
NOTE: ALL DOORS, HALLWAY AND OPENING TO BE CLEARLY DIMENSIONED AND INDICATED ON FLOOR PLAN.
- CHANGE IN FLOOR LEVELS AND THRESHOLDS: AT THE ACCESSIBLE ENTRANCE AND ALONG ACCESSIBLE ROUTES MAY BE 1/2" HIGH MAXIMUM. THIS MUST BE BEVELED FROM 1/4" TO 1/2" MAXIMUM WITH A SLOPE NOT STEEPER THAN 1 INCH RISE IN 2 INCH RUN (1:2).
- DOOR HARDWARE: HANDLES, FULL LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER HARDWARE SATISFIES THE REQUIREMENTS OF THIS PROVISION.
- BATHROOM WALL REINFORCEMENT: IN ALL BATHROOMS ON THE ACCESSIBLE ROUTE, REINFORCEMENT SHALL BE INSTALLED TO ALLOW THE FUTURE INSTALLATION OF GRAB BARS ON WALLS ADJACENT TO THE TUB AND TOILET. IN ADDITION, REINFORCEMENT SHALL BE INSTALLED IN SHOWER COMPARTMENTS FOR FUTURE INSTALLATION OF GRAB BARS. THIS REINFORCEMENT SHALL BE INSTALLED FLUSH WITH THE STUDS AND AT THE FOLLOWING LOCATIONS:
 

NOTE: ALL BATHROOMS, IF MORE THAN 1, ON ACCESSIBLE FLOOR SHALL BE ACCESSIBLE. AT LEAST ONE BATHROOM IS REQUIRED ON ACCESSIBLE FLOOR (WATER CLOSET, LAVATORY, AND BATH/TUB OR SHOWER.)

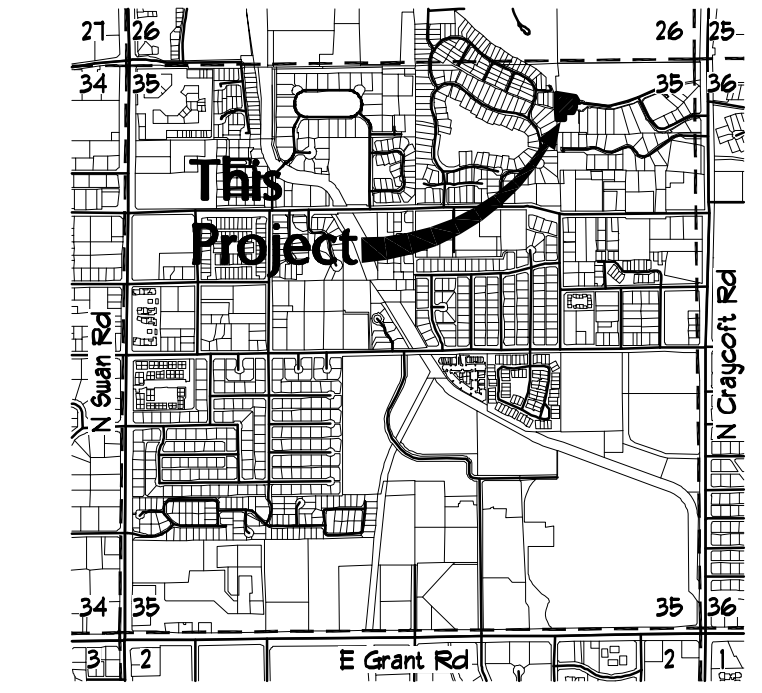
- ## CITY OF TUCSON
- TOILET: 33" - 36" ABOVE THE FLOOR ON ALL ADJACENT WALLS. HORIZONTAL LENGTH OF REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW A 42" GRAB BAR AND 24" REAR GRAB BAR. NOTE: NOTHING IN THE ORDINANCE REQUIRES THAT TOILET BE FLANGED BY A SIDEWALL.
- TUB:
- BACK WALL: TWO BACKING REINFORCEMENTS, ONE BACKING REINFORCEMENT HORIZONTAL POSITION 33" MINIMUM AND 36" MAXIMUM ABOVE THE FLOOR, AND ONE BACKING REINFORCEMENT 9" ABOVE THE RIM OF THE BATHTUB. EACH BACKING REINFORCEMENT SHALL BE 24" LONG MINIMUM AND SHALL BE 24" MAXIMUM FROM THE HEAD END WALL AND 12" MAXIMUM FROM THE FOOT END WALL.
  - FOOT END WALL: ONE BACKING REINFORCEMENT 24" LONG MINIMUM ON THE FOOT END WALL AT THE FRONT EDGE OF THE BATHTUB.
  - HEAD END WALL: ONE BACKING REINFORCEMENT 12" LONG MINIMUM ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.
  - SHOWER COMPARTMENTS SHALL HAVE BACKING ON A MINIMUM OF TWO WALLS NOT TO INCLUDE CONTROL VALVE WALL MOUNTED AT 33" - 36" ABOVE SHOWER FLOOR.
- ALL WALL REINFORCEMENT SHALL BE CAPABLE OF RESISTING SHEAR AND BENDING FORCES OF A MINIMUM OF 250 POUNDS. REINFORCEMENT IS NOT REQUIRED AT THE LOCATION OF VANITIES, LINE CLOSETS, AND PRE-MOLDED SHOWER/TUB SURROUNDS OR IN A ROOM CONTAINING ONLY A SINK AND A TOILET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY SINK OR TOILET ON THE ACCESSIBLE FLOOR OF THE HOME.
1. ELECTRICAL:
- ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48", ON CENTER, ABOVE THE FLOOR. WHERE PRACTICAL, ALL ELECTRICAL RECEPTACLES SHALL BE PLACED NO LOWER THAN 15", ON CENTER ABOVE THE FLOOR.
  - THERMOSTATS SHALL BE PLACED NO HIGHER THAN 48", ON CENTER, ABOVE THE FLOOR. THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:
    - ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.
    - APPLIANCE MOUNTED CONTROLS OR SWITCHES.
    - A SINGLE OUTLET WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
      - THE OUTLET IS ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, AND
      - AT LEAST ONE RECEPTACLE IS PROVIDED FOR THAT LENGTH OF COUNTER TOP, AND
      - ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTER TOP SET NO HIGHER THAN 48".
  - FLOOR ELECTRICAL RECEPTACLES.
  - PLUMBING FIXTURE CONTROLS.
  - HVAC DIFFUSERS.
  - CEILING FAN MOUNTED CONTROLS.

## GENERAL NOTES

- ALL DRAWINGS, DETAILS, SPECIFICATIONS, CONTRACT, GENERAL AND SUPPLEMENTAL CONDITIONS AND RELATED DOCUMENTS ISSUED AS THE CONTRACT DOCUMENTS SHALL BE INTENDED, TAKEN AND INTERPRETED AS A SINGLE WHOLE BODY OF WORK. ALL CONTRACTORS, REGARDLESS OF TIER, SHALL BE RESPONSIBLE FOR STRICT COMPLIANCE WITH THE FULL BODY OF THE CONTRACT DOCUMENTS.
- ALL CONTRACTORS, REGARDLESS OF TIER SHALL BE LICENSED, BONDED AND INSURED BY THE STATE OF ARIZONA, TO PERFORM THE SCOPE OF WORK FOR WHICH THEY WERE CONTRACTED. THE CONTRACTOR'S LICENSE SHALL BE CONSISTENT WITH THE TYPE OF WORK THEY ARE PERFORMING, EITHER RESIDENTIAL OR COMMERCIAL.
- ALL CONTRACTORS, REGARDLESS OF TIER SHALL FULLY COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:
  - 2018 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE GOVERNING GOVERNMENTAL BODY.
  - ARIZONA STATE PLUMBING CODE AS ADOPTED BY THE GOVERNING GOVERNMENTAL BODY.
  - ALL APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION REGULATIONS AND GUIDELINES.
  - ALL APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REGULATIONS AND GUIDELINES.
  - ALL CURRENT ZONING CODES AND RESTRICTIONS AS ADOPTED BY THE GOVERNING GOVERNMENTAL BODY.
  - ALL FEDERAL, STATE AND LOCAL GUIDELINES FOR ACCOMMODATING THE PHYSICALLY IMPAIRED AND HANDICAPPED.
  - ALL FEDERAL, STATE AND LOCAL GUIDELINES FOR THE NON-DISCRIMINATION OF EMPLOYEES.
  - ALL FEDERAL, STATE AND LOCAL GUIDELINES FOR THE PROPER DISPOSAL OF WASTES, HAZARDOUS OR OTHERWISE.
- DO NOT SCALE DIMENSIONS. IF CLARIFICATION IS REQUIRED, CONSULT THE OWNER.
- ALL CONTRACTORS, REGARDLESS OF TIER, AGREE TO PERFORM THE WORK IN A SAFE AND PROPER MANNER SO AS TO COMPLY WITH ALL LAWS AND ORDINANCES REFERRING TO SUCH WORK AND WILL INDEMNIFY AND SAVE THE OWNER HARMLESS AGAINST ALL CLAIMS, PENALTIES, DAMAGES OR LEGAL ACTIONS FOR BREACH OF THIS PROVISION.
- ALL CONTRACTORS, REGARDLESS OF TIER DURING THE CONSTRUCTION OF ITS WORK AND WHILE IT IS WORKING ON THE PREMISES IN ANY CAPACITY, WHATEVER, AND UNTIL COMPLETION OF THE PROJECT SHALL PROTECT ALL UNFINISHED WORK AND ALL MATERIALS ON THE SITE, ALL ADJACENT PROPERTY AND ALL TOOLS, PLANT, EQUIPMENT AND OTHER APPLIANCES FOR THE CONTRACTOR'S USE FROM RAIN, WATER, FROST, FIRE, THEFT, VANDALISM, LOSS OR DAMAGE.
- ALL CONTRACTORS, REGARDLESS OF TIER, SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND/OR RUBBISH CAUSED BY ITS EMPLOYEES OR WORK. AT THE COMPLETION OF EACH DAY OF WORK, THE CONTRACTOR SHALL REMOVE ALL ITS RUBBISH AND DEBRIS FROM THE JOBSITE AND ABOUT THE PREMISES AND DISPOSE OF IN A PROPER MANNER.



Front Entry Feature



## LOCATION PLAN

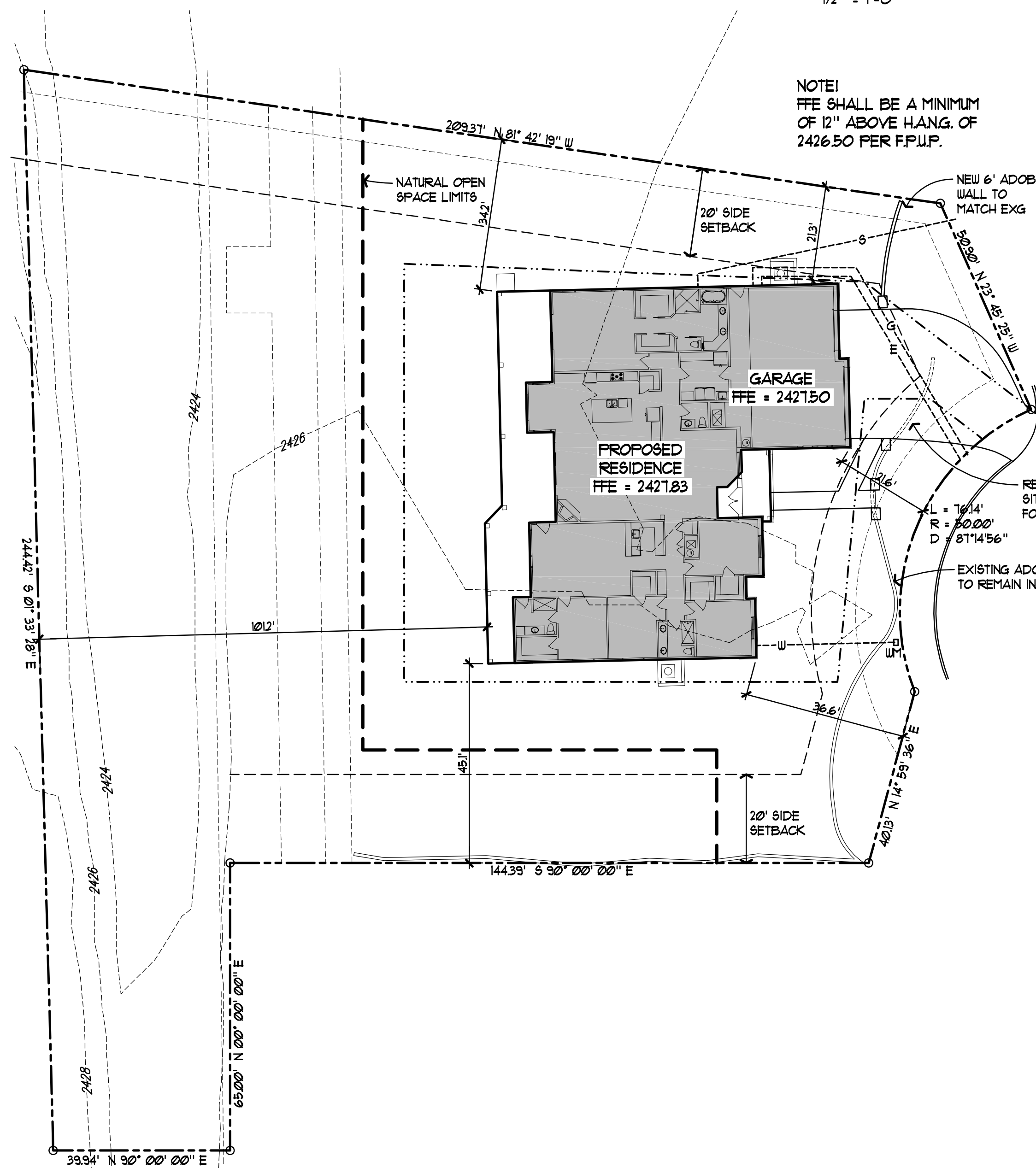
A PORTION OF LAND LOCATED IN THE NE 1/4 OF THE NE 1/4 OF SECTION 35, T13S, R14E, G1S, PIMA COUNTY, ARIZONA

## LEGAL DESCRIPTION

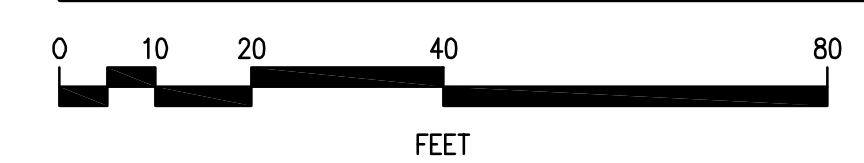
PTN 5244.42' N53°06.4' W209.31' N2 NE4 NE4 83 AC Township 13S, Range 14E, Section 35, G1S, P1M, Parcel 110-09-007n AKA: 5310 E PLACITA DEL MESQUITE

## LOT INFO

ZONING	HRX-1 (62%) RX-1 (38%)
FRONT S/B	20'
SIDE S/B	20'
REAR S/B	20'
BUILDING HT.	30'-0" MAX
LOT AREA	36,105 SQ FT
BLDG AREA	5,781 SQ FT
VEHICULAR USE AREA (DRIVEWAY)	1,100 SQ FT
TOTAL DEVELOPED AREA	6,881 SQ FT
PERCENT DEV. AREA	19.1 %
MAX. HT. OF NEW STRUCTURE	15'-0" AFG
HT. OF EXT. BLDG. WALL	
NORTH	14'-0" AFG
SOUTH	13'-8" AFG
EAST	13'-8" AFG
WEST	12'-8" AFG



## SITE PLAN



## LEGEND

- PROPERTY LINE
- PROPERTY SETBACKS
- EASEMENT
- NATURAL OPEN SPACE PER LOT SPLIT
- G --- NATURAL GAS LINE
- W --- WATER LINE
- E --- ELECTRICAL SERVICE
- S --- SEWER/SEPTIC LINE
- D --- DRAINAGE FLOW LINE
- BUILDING ENVELOPE (PER LOT SPLIT)

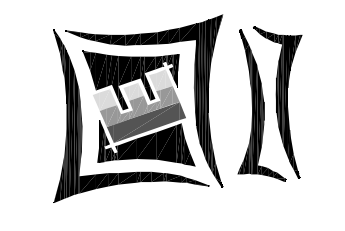
## AREA CALC'S

MAIN LIVING AREA	3,873 SF
GARAGE/MECH	970 SF
ENTRY PORCH	99 SF
REAR COVERED PORCH	825 SF
<b>TOTAL BUILDING AREA</b>	<b>5,767 SF</b>

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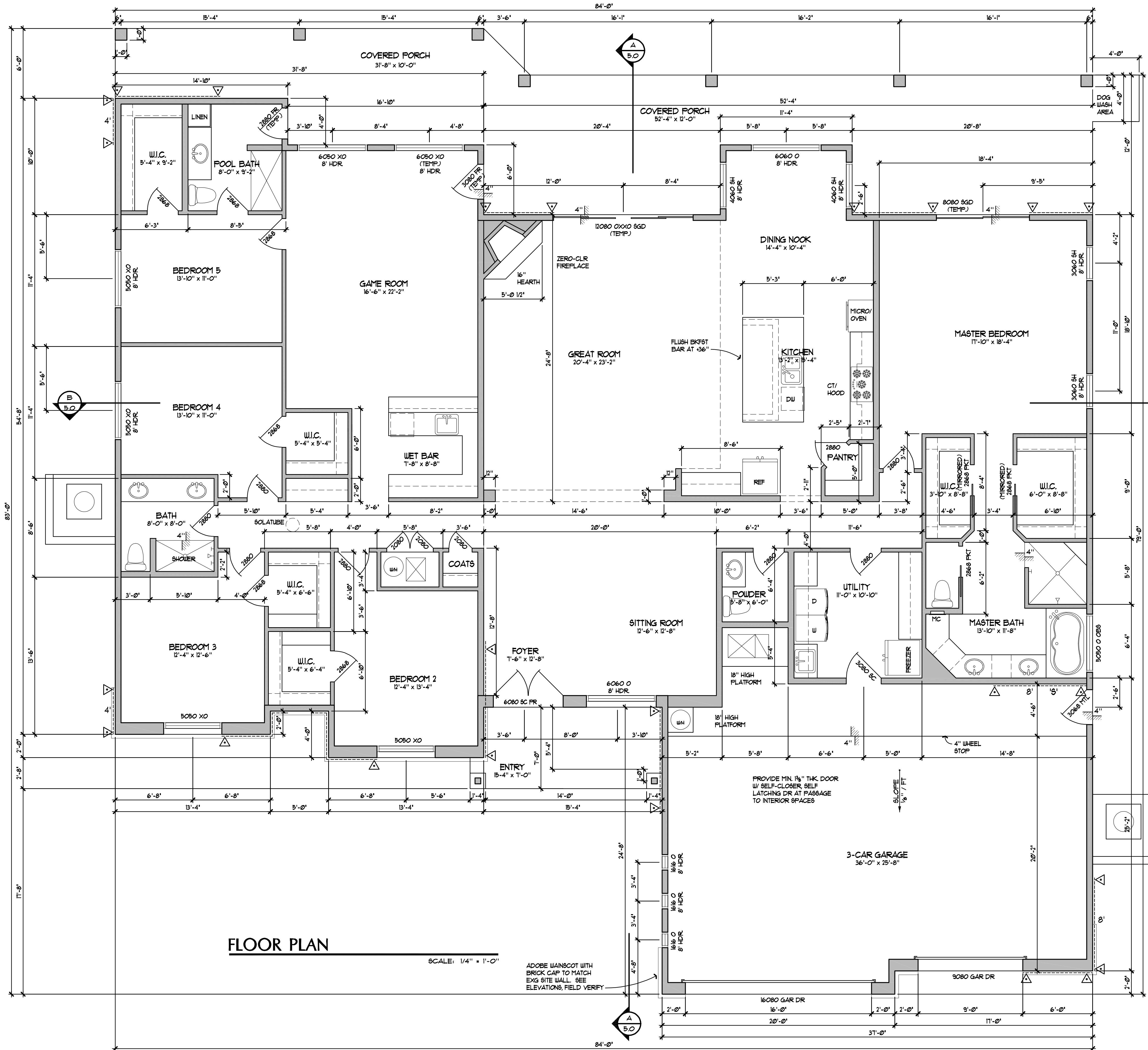
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**SITE/GRADING PLAN**  
A Custom Residence for  
Mohan Subramanian

DRAWN	TCK/GDF
CHECKED	TCK
DATE	11 OCT 2021
SCALE	AS NOTED
JOB NO.	21041
SHEET	1.0

1 of 16 SHEETS

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**SHEAR WALL DESIGN**

**SHEAR WALL FRAMING & NAILING CRITERIA**  
SEE DRAWINGS FOR DETAIL LOCATIONS

WALLS (SEE DRAWINGS)	SHEATHING	FASTENERS	PATTERN
ALL EXTERIOR WALLS	3/8" STRUCTURAL OSB - OK	2d	6" EDGE 12" FIELD
PARTIAL SEGMENTED SHEATHING	3/8" STRUCTURAL OSB - OK	2d	6" EDGE 12" FIELD
INTERIOR WALLS - MARKED 'S' SHEATH ONE SIDE ONLY	3/8" STRUCTURAL OSB SHEATH ONE SIDE ONLY	2d	6" EDGE 12" FIELD
ALL INTERIORS	1/2" GYPSUM WALL BOARD	#6 SCREW	12" EDGE 12" FIELD

INDICATES 3/8" OSB LOCATION (SEE PLAN)

**HOLDDOWNS**  
SEE FLOOR PLAN FOR HOLD-DOWN LOCATIONS NOTED BY THESE SYMBOLS.  
STANDARD HOLD DOWN:  
5TD10 OR HT14 (5MPSON OR EQ) HOLDDOWN LOCATION

**DRAG STRUT FORCES:**  
EAST TO WEST (SIDE TO SIDE) 2250 LB  
NORTH TO SOUTH (TOP TO BOTTOM) 2100 LB

**GENERAL PLAN NOTES: I.R.C. 2018**

- EXTERIOR WALLS TO BE 2X6 WOOD STUDS AT 16" O.C. ON TREATED 8/11 W/ R-19 BATT INSULATION AND INTERIOR AIR BARRIER CONTINUOUS BELOW 1/2" GYP BD. ONE-KOTE' STUCCO SYSTEM (CC-ES 'ESR-1411) OR EQ STUCCO W/ SAND FINISH ON METAL LATH ON 1" FOAM WITH (2) LAYERS GRADE 'D' PAPER VAPOR BARRIER. PAINT PER OWNER SELECTION.
- INTERIOR WALLS TO BE 2X4'S AT 16" O.C. (BRG) OR 2X4'S AT 24" O.C. (NON-BRG). PROVIDE 2X6'S AT ALL PLUMBING WALLS.
- PROVIDE FIRE BLOCKING AT ALL SOFFITS AND FURR DOWNS.
- WINDOWS AND SLIDING GLASS DOORS TO BE MARVIN INTEGRITY OR BETTER.
- ALL GLAZING PER 2018 IRC, CHAPTER 3, SEC. R308.
- PROVIDE 1/2" DUROCK CEMENT BD. OR EQUAL AT ALL WET AREAS. PROVIDE CERAMIC TILE OR EQUAL NONABSORBENT MATERIAL AT SHOWER ENCLOSURES & BATHUBS W/ SHOWER HEADS TO MIN. 12" ABOVE FINISHED FLOOR PER 2018 IRC SEC. R301.2
- PROVIDE MIN. 2X8 BLOCKING AT ALL TOWEL BARS AND WALL FIXTURES.
- PROVIDE TEMPERED GLASS AT ALL GLAZED SHOWER ENCLOSURES AND AT ALL WET AREAS WITHIN 60" OF FINISH FLOOR, HAZARDOUS AREAS, AND ALL WINDOWS WITHIN 18" OF FINISH FLOOR PER 2018 IRC, SEC. R308.4
- LIGHTING, VENTILATION, AND EGRESS REQUIREMENTS SHALL CONFORM TO 2018 IRC, CHAPTER 3, SECTIONS R303 & R301. ONE BEDROOM WINDOW WILL MEET THE EGRESS SILL HEIGHT OF 44" MAXIMUM ABOVE THE FLOOR PER IRC SEC. R301.
- PROVIDE ATTIC ACCESS IN LOCATIONS WHERE ATTIC HEIGHT EXCEEDS 30".
- PROVIDE ROUND CORNERS AT ALL INTERIOR GYP. BD. WALLS.
- PROVIDE SOUND BATT INSULATION AROUND ALL BEDROOMS AND BATHROOMS INTERIOR WALLS, TYPICAL.
- SHOWER ENCLOSURES SHALL BE A MIN. 30" BY 30" OR NOT LESS THAN 25" WIDE AND A MIN. INSIDE AREA OF 1300 SQUARE INCHES PER R301.1, F2105.1 & F2108.1
- PROVIDE 1/2" S&G RESISTANT DRYWALL AT CEILINGS SUPPORTED 24" O.C.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS AS REQ'D BY THIS CODE SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION PER IRC SEC. R106.12

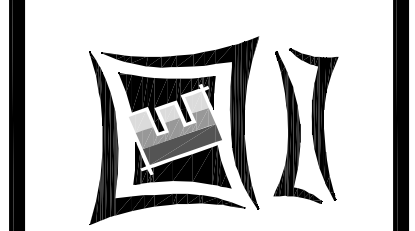
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A Custom Residence for  
**Mohan Subramanian**

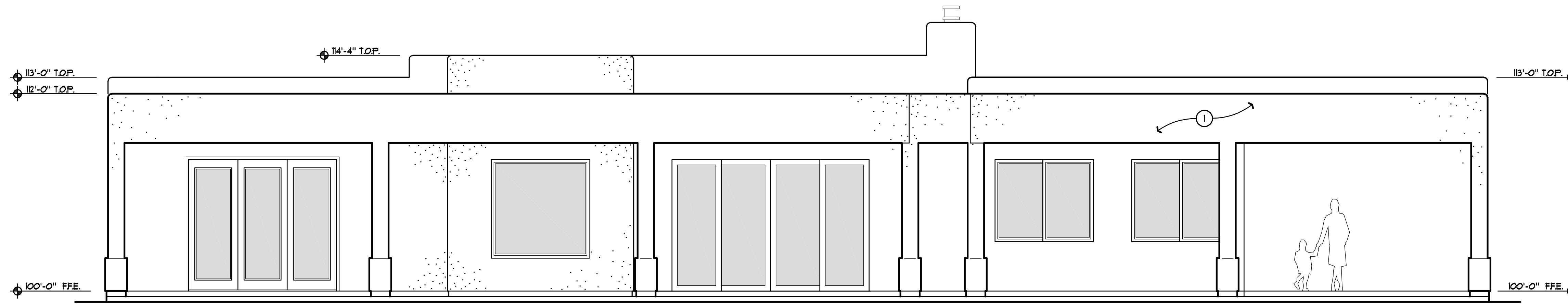
**FLOOR PLAN**

DRAWN	TCK/GDF
CHECKED	TCK
DATE	OCT 2021
SCALE	AS NOTED
JOB NO.	21041
SHEET	

**3.0**  
6 of 16 SHEETS

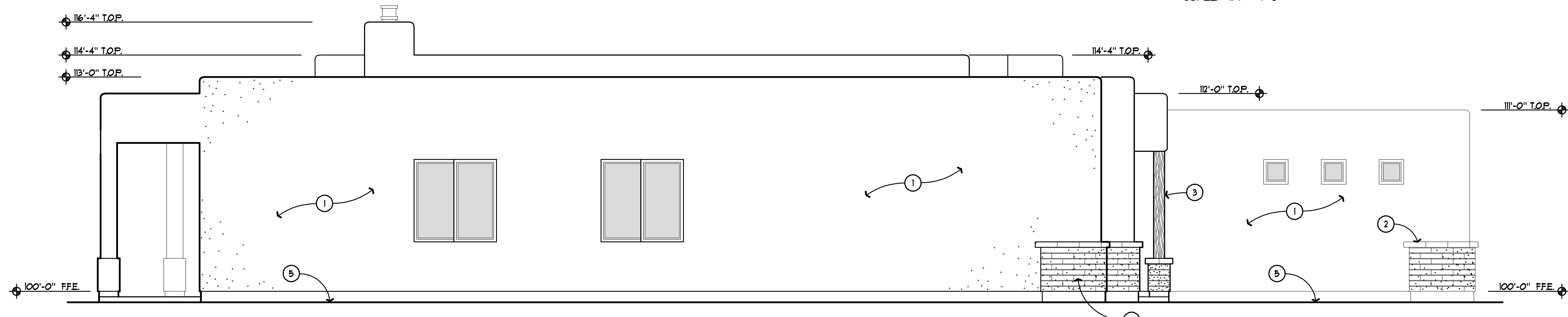


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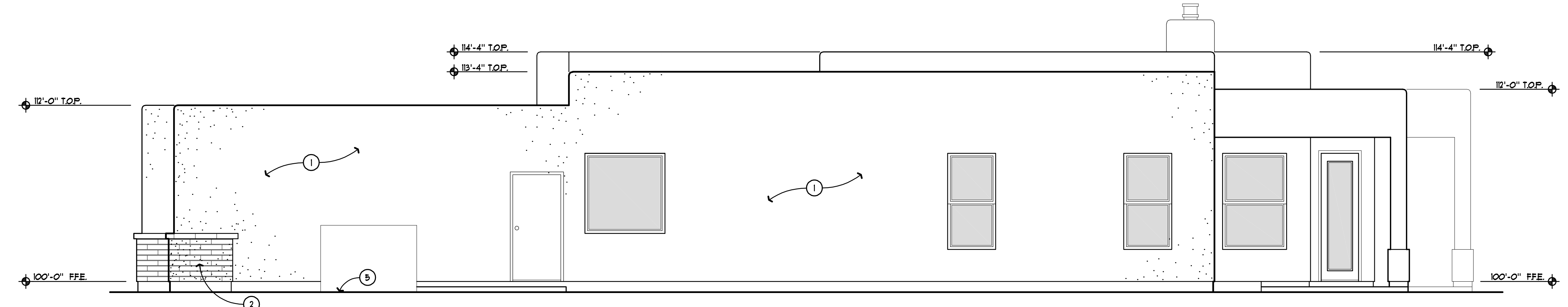
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**

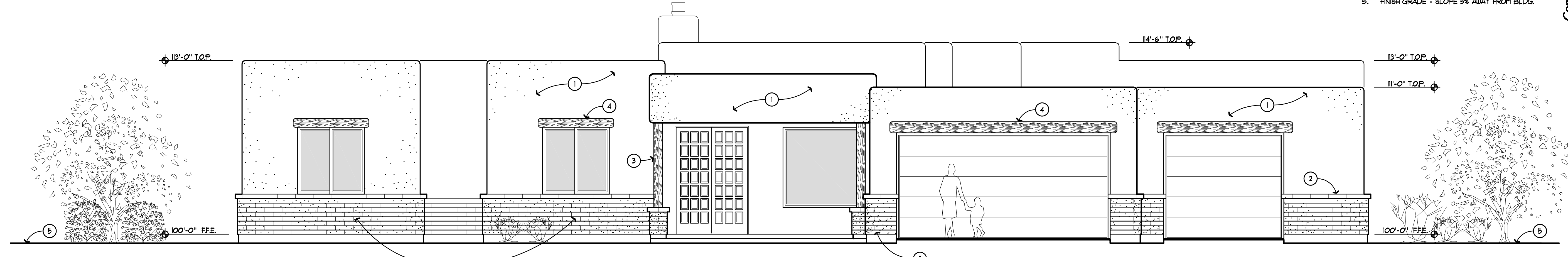
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

**ELEVATION KEYNOTES:**

1. STUCCO FINISH - WESTERN ONE-KOTE (ICC-ES \* ESR-1601) OR EQ.
2. ADOBE VENEER WANSBOT WITH BRICK CAP - MATCH EXISTING ADOBE SITE WALL. FIELD VERIFY, TYPICAL.
3. R5 TIMBER POST - SEE PLANS
4. R5 TIMBER HEADER - SEE PLANS
5. FINISH GRADE - SLOPE 2% AWAY FROM BLDG.



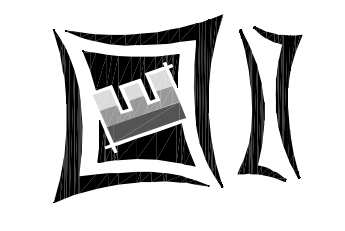
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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**ELEVATIONS**

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