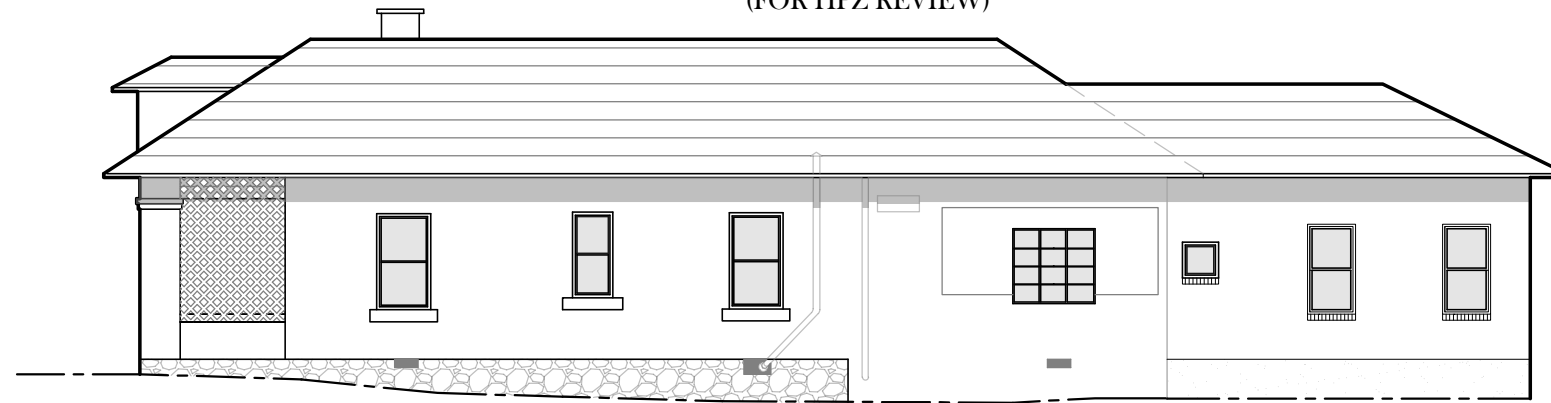


# LOPEZ RESIDENCE PROPOSED ADDITION

WEST UNIVERSITY HISTORIC DISTRICT TUCSON, AZ

(FOR HPZ REVIEW)



## PIMA COUNTY'S INCLUSIVE HOME DESIGN

### ACCESSIBLE FLOOR

This is any occupiable floor which is less than one story above or below grade, with direct access to grade.

### EXTERIOR ACCESSIBLE ROUTE

There shall be at least one exterior accessible route to the accessible entrance. This route may originate from the carport, driveway, or public street or sidewalk. The slope of this accessible route to the accessible entrance shall not exceed one foot vertical rise per twenty feet horizontal distance (1:20), unless a ramp is constructed complying with the 2000 International Residential Code; (ramps may have a grade of 1:12).

### ACCESSIBLE ENTRANCE

There shall be at least one no-step, accessible entrance to the home. This entrance may be at the front, back, side, garage or carport of the home, but may not be through a bedroom. The door of this entrance shall be 32" wide minimum and shall meet the door hardware requirements described in this pamphlet.

### INTERIOR ACCESSIBLE ROUTE

At least one accessible route shall connect all spaces and elements which are a part of the accessible floor of the home. Exceptions to the interior accessible route provision include a raised or sunken portion of a living, dining or sleeping room. This route shall not pass through bathrooms, closets, or similar spaces. As per existing code, this route is required to be 36" wide minimum.

### THRESHOLDS

Thresholds at the accessible entrance and along accessible routes may be 1/2 inch high maximum. Changes in level which exceed 1/4 inch high, shall be beveled, with a slope not steeper than one inch rise to 2 inch run (1:2).

### INTERIOR DOORS

Doorways on the accessible route shall have a clear opening of 30 inches wide minimum. A 32" (2' 8") wide door satisfies these requirements. This door must contain hardware meeting the door hardware requirements.

### DOOR HARDWARE

Handles, pulls, latches, locks, and other operable parts on accessible doors shall have a shape that is easy to grasp with one hand and that does not require tight grasping, pinching, or twisting of the wrist to operate. Lever hardware satisfies the requirements of this provision.

### BATHROOM WALL REINFORCEMENT

In bathrooms on the accessible route, reinforcement shall be installed to allow the future installation of grab bars on walls adjacent to the tub and toilet. In addition, reinforcement shall be installed in shower compartments for future installation of grab bars. This reinforcement shall be installed flush with the studs and at the following locations:

Toilet: 33"-36" above the floor on all adjacent walls. Horizontal length of reinforcement shall be sufficient to allow a 42" grab bar and 24" rear grab bar. Note: Nothing in the ordinance requires that the toilet be placed by a side wall.

Tub: Horizontal length reinforcement shall be sufficient to allow for Back Wall: Two backing reinforcements, one backing reinforcement horizontal position 33" minimum and 36" maximum above the floor, and one backing reinforcement 9" above the rim of the bathtub. Each backing reinforcement shall be 24" long minimum and shall be 24" maximum from the head end wall and 12" maximum from the foot end wall.

- Foot End Wall: One backing reinforcement 24" long minimum on the foot end wall at the front edge of the bathtub.
- Head End Wall: One backing reinforcement 12" long minimum on the head end wall at the front edge of the bathtub.
- Shower walls to have backing on a min. of two walls not to include control valve wall mounted at 33" - 36" above shower floor

All wall reinforcement shall be capable of resisting shear and bending forces of a minimum of 250 pounds. Reinforcement is not required at the location of vanities, linen closets, and pre-molded shower/tub surrounds, or in a room containing only a sink and a toilet, provided that the room does not contain the only sink or toilet on the accessible floor of the home.

### ELECTRICAL

- All light controls shall be placed no higher than 48", on center, above the floor.
- Where practical, all electrical receptacles shall be placed no lower than 15", on center, above the floor.
- All thermostats shall be placed no higher than 54", on center, above the floor.

The exceptions to these provisions are as follows:

- Electrical receptacles serving a dedicated use.
- Appliance mounted controls or switches.
- A single outlet where all of the following conditions are met:
  - The outlet is above a length of countertop that is uninterrupted by a sink or appliance; and
  - At least one receptacle is provided for that length of countertop; and
  - All other receptacles provided for that length of countertop set no higher than 48".
- Floor electrical receptacles.
- Plumbing fixture controls.
- HVAC diffusers.
- Ceiling fan mounted controls.

## PROJECT TEAM

### OWNER

DALE D LOPEZ  
616 E. 5TH STREET  
TUCSON, AZ 85705

### ARCHITECT

VINT & ASSOCIATES ARCHITECTS, INC.  
ROBERT W. VINT, ARCHITECT  
312 E 6TH STREET  
TUCSON, AZ 85705  
(520) 882-5232

## AREAS

NET CONDITIONED INTERIOR: 1098 SQ.FT.  
PROPOSED ADDITION: 490 SQ.FT.

## CODE REVIEW PER IRC 2018

ADDRESS: 616 E 5th STREET, TUCSON AZ 85705  
PARCEL #: 117043260  
ZONING: HR-2  
REVIEWING AGENCY: PIMA COUNTY

## ZONING REVIEW PER IRC 2018

LOT AREA: 8817 SQ.FT.

SETBACKS:	REQUIRED	PROPOSED
FRONT(NORTH)	30	-
REAR (SOUTH)	40	48'
SIDE( EAST)	10	22'
SIDE( WEST)	10	11' 6"

### CURRENT EFFECTIVE EDITIONS OF:

International Residential Code + Pima County  
Amendments  
National Electrical Code  
International Energy Conservation Code  
International Mechanical Code  
Pima County Inclusive Home Design Ordinance  
Outdoor Lighting Code  
International Fuel Gas Code Without amendments  
Arizona state Plumbing Code

## DRAWING INDEX

### ARCHITECTURAL

- A0.1 COVER SHEET
- A0.2 DEVELOPMENT ZONE
- A0.3 STREET ELEVATIONS
- A1 SITE PLAN
- A 2 EXTERIOR ELEVATIONS

21.28 | LOPEZ RESIDENCE | 616 EAST 5TH STREET, TUCSON AZ 85705

VINT & ASSOCIATES ARCHITECTS

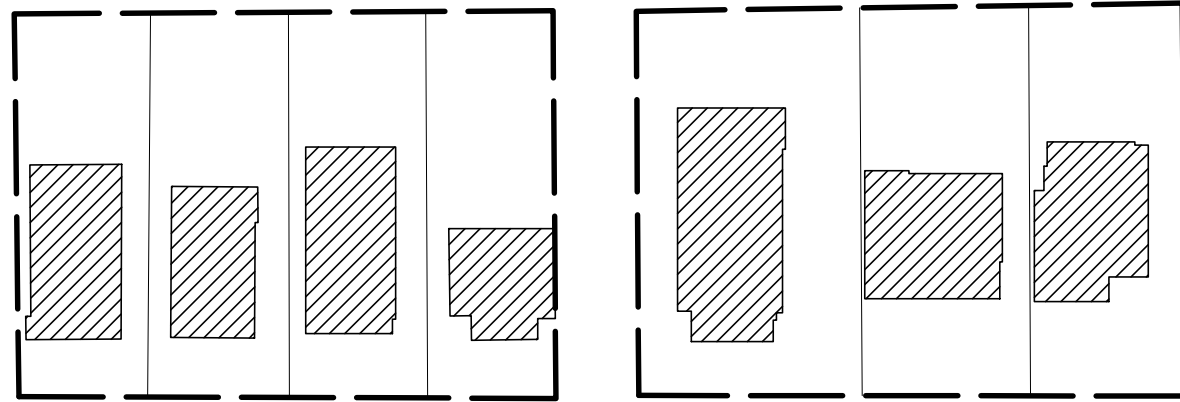
312 E. 6th St. Tucson AZ 85705 P.O. Box 648 Tucson, AZ 85702

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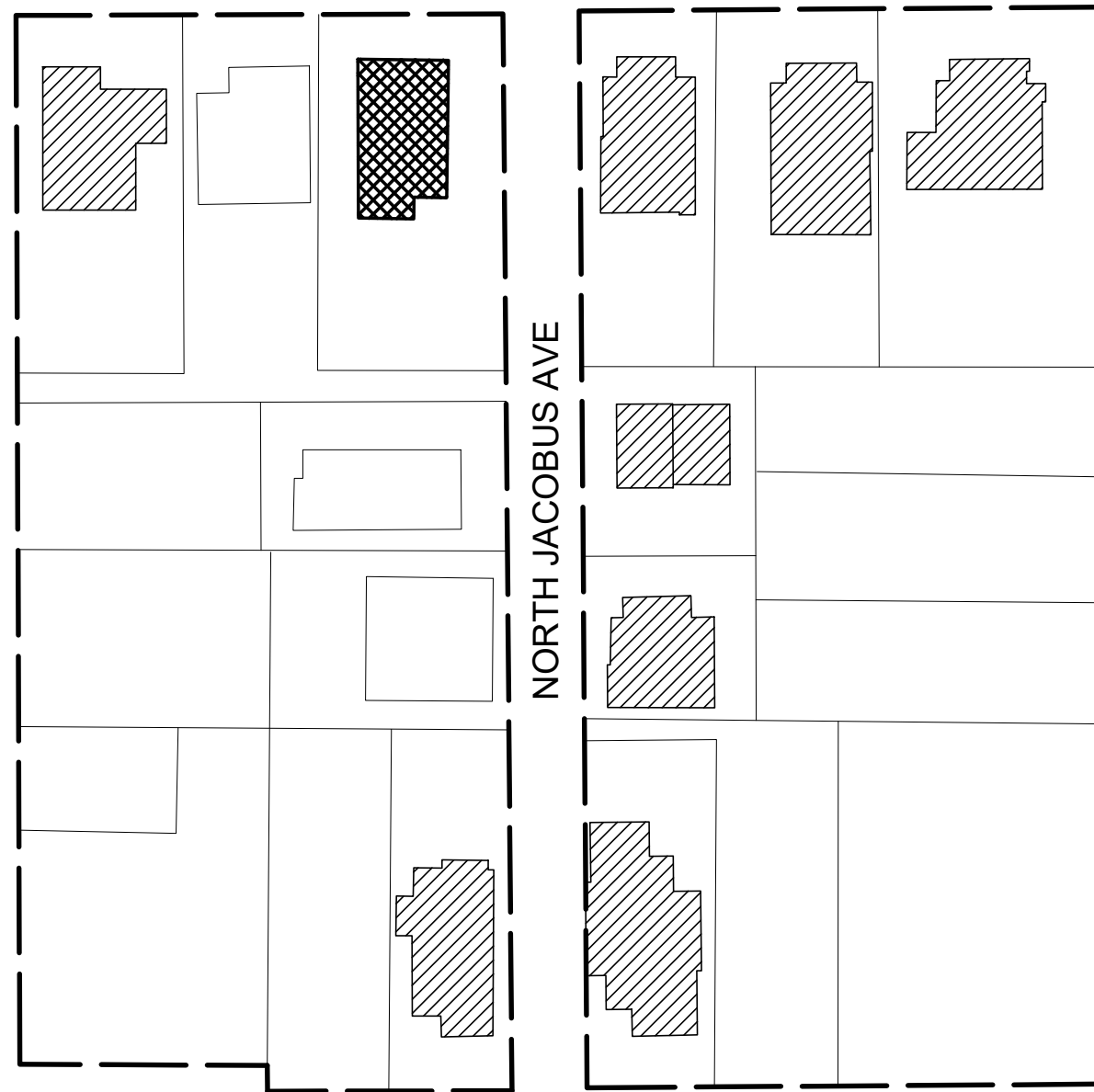
Revisions:

By Date:


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EAST 5TH STREET



EAST 6TH STREET

DRAWING LEGEND:

-  DEVELOPMENT ZONE
-  CONTRIBUTING PROPERTY
-  NON-CONTRIBUTING PROPERTY
-  616 E. 5TH STREET (CONTRIBUTING PROPERTY)

DEVELOPMENT ZONE MAP

N.T.S





N. JACOBUS AVE.

E 6TH ST.



E 6TH ST.

N. JACOBUS AVE.



E 5TH ST.

N. 2ND AVE.



AREAL VIEW



Date: 02/22/2022  
 Scale:  
 Drawn by: NM.BHB

Revisions:  
 By Date:

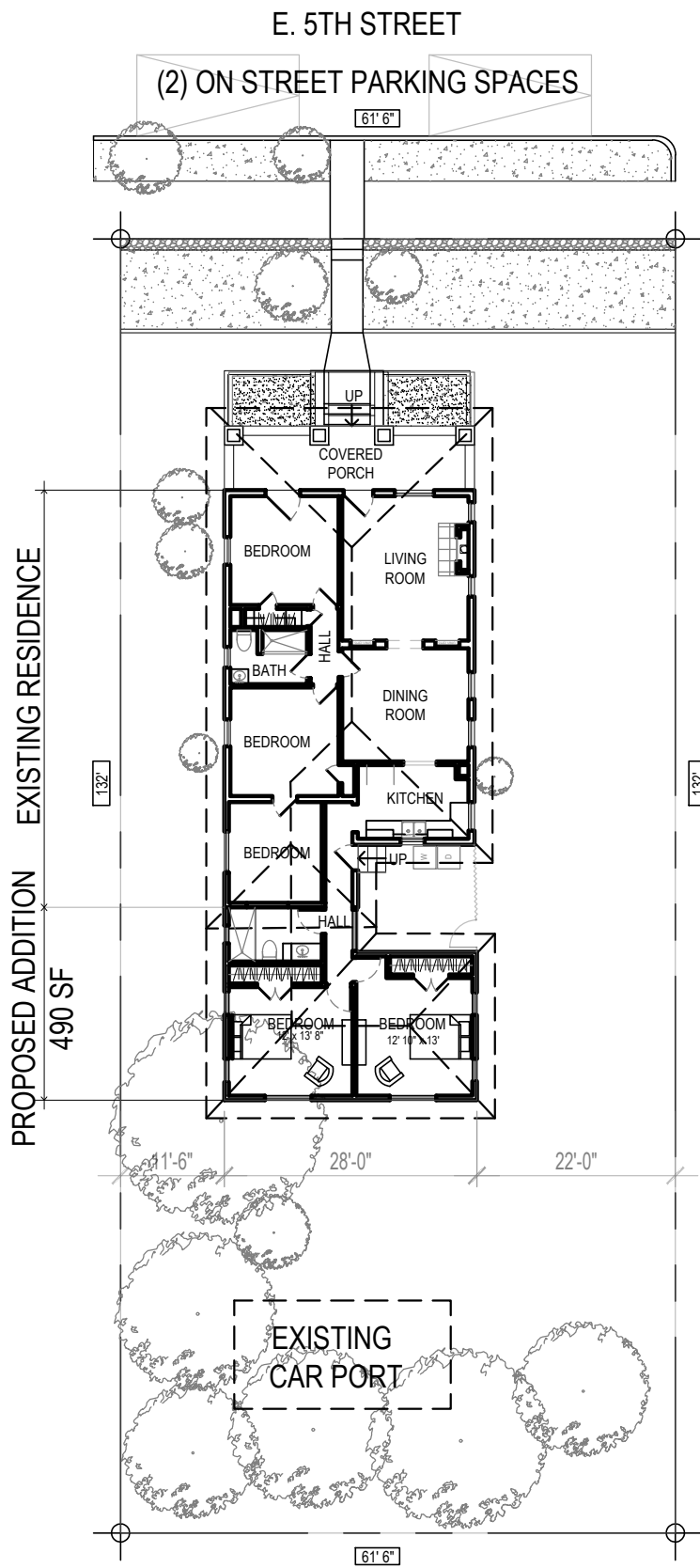
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21.28 | LOPEZ RESIDENCE | 616 EAST 5TH STREET, TUCSON AZ 85705

VINT & ASSOCIATES ARCHITECTS

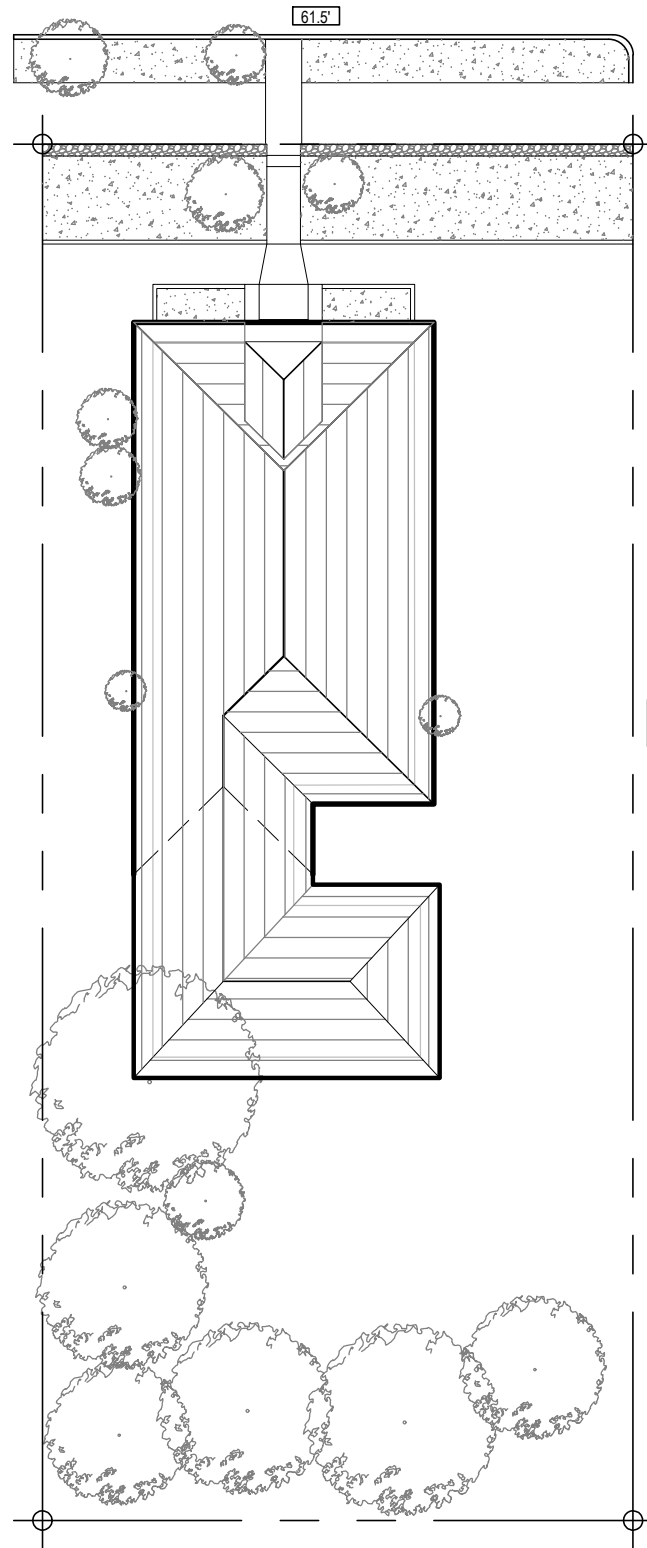
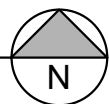
512 E. 6th St. Tucson AZ 85705 P.O. Box 648 Tucson, AZ 85702





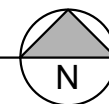
**SITE PLAN**

SCALE: 1" = 20'



**ROOF PLAN**

SCALE: 1" = 20'



SITE LOCATION  
NTS

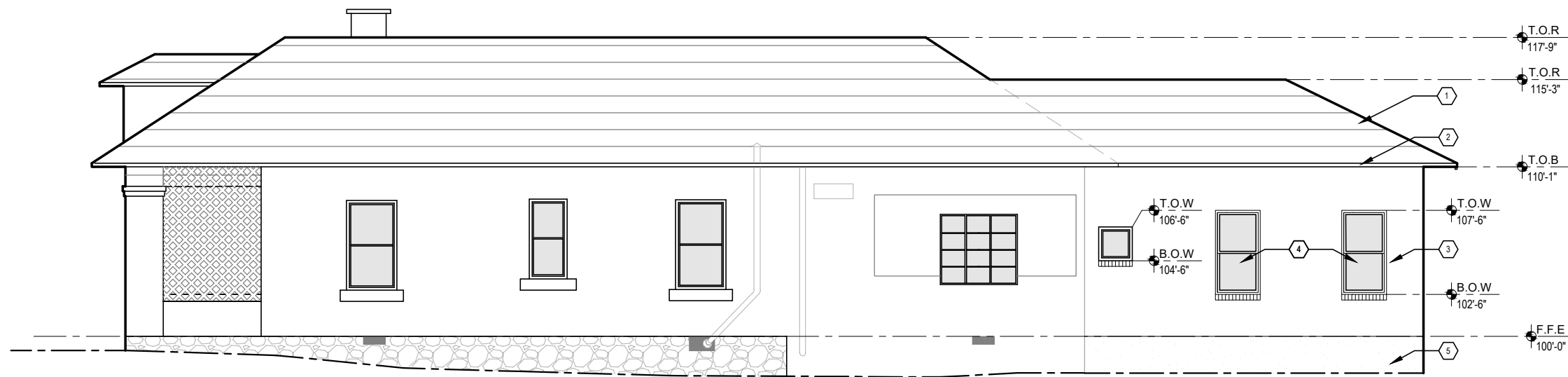
**ZONING: CITY OF TUCSON HR-2**  
 WEST UNIVERSITY HISTORIC DISTRICT  
 LOT AREA: 8818 SF  
 DWELLINGS ALLOWED: 1:5000 SF  
 - 1 PERMITTED

Date: 02/22/2022  
 Scale:  
 Drawn by: NM,BHB

Revisions:

By	Date:

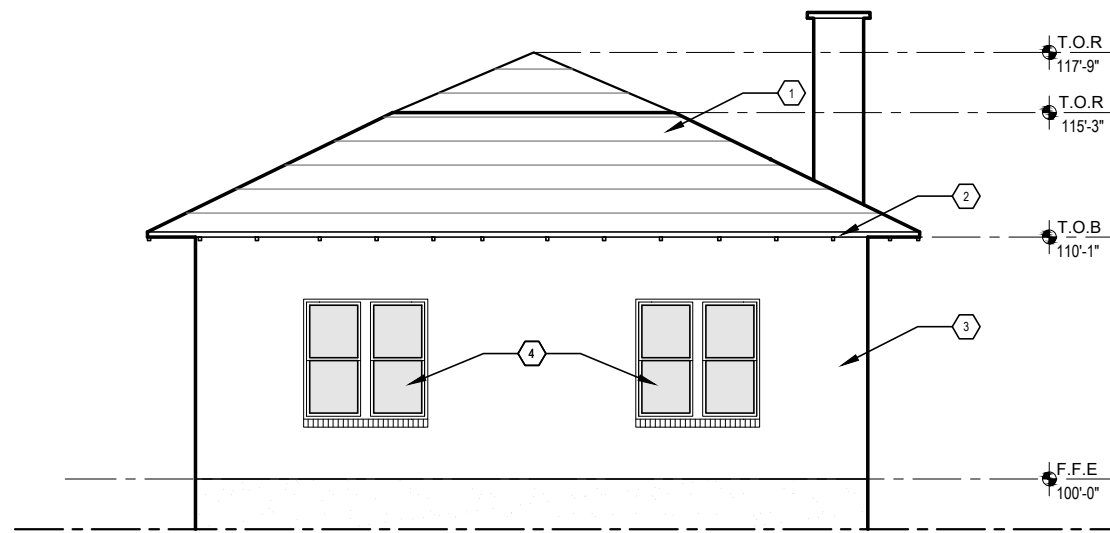
SITE PLAN  
 ROOF PLAN  
 SITE LOCATION



**WEST ELEVATION**  
SCALE: 1'-0" = 1/8"



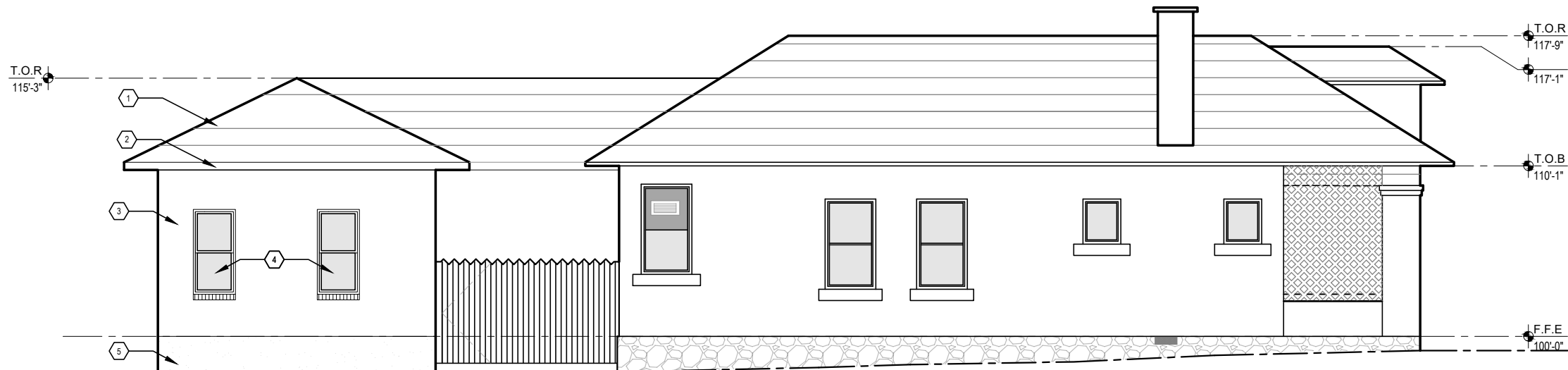
**NORTH ELEVATION**  
SCALE: 1'-0" = 1/8"



**SOUTH ELEVATION**  
SCALE: 1'-0" = 1/8"

**KEYNOTES:**

- ① RE-ROOF EXISTING HOUSE WHEN ADDN. IS BUILT  
OPTION 1: ROLL ROOFING TO MATCH  
OPTION 2: ASPHALT SHINGLES
- ② 2X FASCIA TO MATCH EXISTING
- ③ STUCCO FINISH TO MATCH EXISTING
- ④ WOOD DOUBLE HUNG WINDOWS
- ⑤ CONCRETE STEM WALL



**EAST ELEVATION**  
SCALE: 1'-0" = 1/8"