

# SPECIAL DISTRICTS APPLICATION

Applicat	ion Stage:	n Stage: Pre-application Application				
Permit A	Activity Number		Case Nu	ımber	Date Accep	ted:
				NT		
ROPERTYL	OCATION AND	PROPOSE	D DEVELOPME	NI		
roject / Deve	lopment Name (i	f applicable	):			
roperty Addr	ess:					
ima County	Tax Parcel Numb	er/s:				
Current Zonin	g:					
pplicable Ov	erlay/	Infill In	centive District		Rio Nuevo Ar	ea
special Distric	sts:	Main (	Gate Overlay Dis	strict	Grant Road C	Overlay District
		Neighl	oorhood Preserv	ation Zone	Historic Prese	ervation Zone
leighborhood	Association (if a	ny):				
ROJECT TY	PE (check all that	t apply):		Change of us	e to existing buildi	ng
New	building on vaca	nt land		New building	on developed land	ł
New	addition to existing	ng building		Other		
escription of	Proposed Use:					
lumber of Bu	ildings and Storie	es/Height of	Proposed Struc	ture(s):		
ite Area (sq	ft):	Area c	f Proposed Build	ding (sq ft):		
	ATUS					
lite is within a	a. Hiet	oric Presen	vation Zone Plea	so List <sup>.</sup>		
ite is/include		ontributing s			-contributing struc	
		•	cent to a contributing structure Vacant			
	15 0	ujacent to a	contributing stre		ant	
PPLICANT	NFORMATION (	The person p	processing the app	plication and design	ated to receive notic	<u>es):</u>
	NAME.					
ROLE:	Property owr	her	Architect	Engineer	Attorney	Developer
	Other:			Linginoon	, alonioy	Developer
MAIL:				PHC	DNE:	
DDRESS:						
	OWNER NAME(S	6) (If ownersh	ip in escrow. plea	se note):		
HONE:		, , , , , , , , , , , , , , , , , , , ,		/		
	that all information	on contained	in this applicatio	n is complete and t	rue to the best of m	iy knowledge.
	OF OWNER/APF					

\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



# SPECIAL DISTRICTS APPLICATION CHECKLIST REQUIREMENTS

### PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

1	1.	Application form (signed by the Property Owner or Authorized Agent, include letter of authorization
×		signed by property owner if needed).
	2.	Project statement outlining project scope which describes how the project meets applicable design
		guidelines and outlines any requested modifications/exemptions
<b>,</b>	3.	Pima County assessor's record parcel detail and record map
$\checkmark$	4.	Zoning review comments issued by PDSD staff on development package or other submittal*
./	5.	Documentation of neighborhood meeting to include invitation, affidavit of mailing, sign-in sheet,
×,		agenda/materials and meeting notes (if applicable)*
<b>V</b>	6.	Color aerial photograph of subject property
./	7.	Color, labeled photographs of project site existing conditions (north, south, east and west
· ·		elevations of all structures on the property)
$\checkmark$	8.	Color, labeled photographs of the surrounding area
./	9.	Color photographs of precedent examples in surrounding area, labeled with property addresses and
•		keyed on the aerial photograph (if applicable)
./	10.	Site plan (landscape plan and floor plans if applicable) drawn to scale at 11"x17", prepared in
•		accordance to Section 2-06.0.0, in the Administrative Manual
./	11.	Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", with dimensions and
<b>`</b> ,		proposed materials noted (if applicable) prepared in accordance to Section 2-06.0.0.
$\checkmark$		Shade study (for projects within the Rio Nuevo Area)
J	13.	<b>Renderings</b> depicting various views from the street level and birds eye view (recommended for major
-	4.4	projects)
	14.	Samples of proposed materials, if applicable, to include cut sheets and/or photographs of the type,
	15	color and texture of the proposed materials.
•	15.	Applicable fees (confirm with PDSD staff)*
		HISTORIC REVIEW REQUIRED
		Aerial photograph depicting the property's <b>Development Zone</b> . All building footprints within the
$\checkmark$	10.	development zone must be shown and labeled to indicate contributing/non-contributing status.
	17	Arizona Historic Property Inventory form (if available)
•	17.	
	IF F	REQUESTING INDIVIDUAL PARKING PLAN
		Parking narrative addressing items listed in UDC 7.4.5.A.4, sealed by a design professional licensed by
		State of Arizona.

\*Required for final application only

Refer to Supplemental Information for additional instructions for these items. Additional application materials may be required based on scope of project.

**Submitting your Application:** Once you have completed the Application Form and compiled the Submittal Requirements, submit a pdf of all materials to specialdistricts@tucsonaz.gov. For the final application, two hard copies of the application are also required. Please note, additional hard copies may be required by review bodies.



Tucson

PLANNING AND

DEVELOPMENT SERVICES DEPARTMENT

### **Planning and Development Services Department**

# \*\*\* NOTICE OF DECISION \*\*\* Effective: June 30, 2021

Activity Numbers: **Review Type:** Project Name: Location:

**Case Numbers:** 

IID-20-04 / HPZ-21-037 T20SA00241, DP20-0125, T18CM05456 Infill Incentive District Major Review Corbett Block 345 North 5th Avenue, 320 & 340 North 6th Avenue, 210 East 7th Street, and 225 East 8<sup>th</sup> Street (Tax Parcel # <u>11705069E</u>), I-1 zoning

### **Proposed Project:**

Mr. Richard Wiehe, architect for FORSarchitecture+interiors, on behalf of the property owner, has requested to redevelop the site under tax parcel # 11705069E in three phases:

- Phase 1: a) Construction of a new single story, 4,000 square-foot building and outdoor serving area on the northeast corner of the property for food service use;
  - b) Installation of a temporary tent and designated outdoor space for special events; and
  - c) Construction of a temporary parking lot on the southern portion of the property.
- Phase 2: Rehabilitation of the existing historic Corbett Building and outdoor serving area for future food service use.
- Phase 3: Replacement of parking lot built during Phase 1 with mixed-use development. A new application will be submitted at that point in the future for compliance with the requirements of the Infill Incentive District and historic preservation.

The current request for design approval covers only Phases 1 and 2 of the proposal.

### Infill Incentive District Modification (IID) Request:

The site is zoned I-1 industrial, and within the Downtown Infill Incentive District, Downtown Links Subdistrict, Warehouse Triangle Subarea. The western portion of the site is located within the Warehouse National Register Historic District, with the existing Corbett building designated as a contributing structure. Per Unified Development Code (UDC) Section 5.12, the following development standard modifications are requested by the applicant:

- a) Reduction of the required number of motor-vehicle parking spaces from 334 to zero. UDC Section 5.12.11, allows for zero parking requirement for commercial uses within the Downtown Links Subdistrict of IID. For Phase 1, applicant is temporarily providing 181 parking spaces;
- b) Reduction of required street perimeter yard setbacks, as shown on the proposed site plan; and
- Modification of required landscaping and screening, as shown on the proposed landscape c) plan.

### **Historic and Design Review:**

Pursuant to UDC Section 5.12, the project was reviewed following the Major IID review process. The Design Professional, the Plans Review Subcommittee (PRS) of the Tucson-Pima County Historical Commission, and the IID-Design Review Committee (IID-DRC) have recommended approval of the proposal to the Planning and Development Services Department Director, with conditions.

> City of Tucson Planning and Development Services Department 201 North Stone Avenue + P.O. Box 27210, Tucson, AZ 85726-7210 Telephone: (520) 791-5550 • Fax: (520) 791-4340 Website: www.tucsonaz.gov + E-mail: PDSDInquiries@tucsonaz.gov

The Design Professional reviewed this proposal on January 7, 2021 and April 30, 2021, recommending approval. The project was reviewed by the PRS on May 27, 2021 and recommended approval, with the condition that the setback of the new patio for outdoor serving area match the setback of the historic Corbett Building.

The IID-DRC reviewed the project on June 23, 2021, and recommended approval with the following conditions: 1) Increase screening of parking lot to 42 inches in height, except as required within site visibility triangles; 2) The roundabout design to continue to be coordinated with the Department of Transportation and Mobility; and 3) Any future changes to the historic Corbett building to go through the Tucson-Pima Country Historic Commission's Plans Review Subcommittee (PRS) for review.

### Planning and Development Services (PDSD) Director's Decision:

Pursuant to UDC Section 5.12.6.L, the applicant's request is approved only for Phases 1 and 2 of the proposal, with the following conditions:

- 1. Phase 1 parking lot to be screened on all sides with a 42" high opaque screen, as shown on the landscape plan of the design packet, except within sight-visibility triangles, where it will be reduced to 30" in height;
- 2. Phase 1 parking lot to be replaced in Phase 3 with mixed-use development, which will be reviewed through the IID major review process;
- 3. Setbacks of Phase 1 outdoor patio to match the zero-foot setback of the existing historic Corbett building;
- 4. Any future modifications to the historic Corbett building to be reviewed by the PRS; and
- 5. Proposed design of new right-of-ways and roundabout subject to the approval of the City of Tucson Department of Transportation and Mobility.

This approval for Phases 1 and 2 of the proposal applies only to the project's compliance with the IID and historic preservation requirements and does not constitute approval of a building permit or an approvable development plan package. Compliance with all other applicable zoning and building code regulations is required. Changes made to the plan in order to achieve compliance with these other code requirements may require another review for compliance with historic preservation and the IID.

For additional information regarding this decision or the appeal process, please contact María Gayosso, specialdistricts@tucsonaz.gov, 520-837-4029, or for Historic Preservation questions, Jodie Brown, jodie.brown@tucsonaz.gov, 520-837-6968.

E-SIGNED by Lynne Birkinbine on 2021-07-01 21:03:08 GMT Lynne Birkinbine, Deputy Director Planning and Development Services Department

SC:MG:JB:JR:S\Special Districts\IID - Infill Incentive District\IID Projects\2020\IID-20-04 Corbett Block\Approvals\ IID-20-04 The Corbett Decision Notice 6-30-21.docx

City of Tucson Planning and Development Services Department 201 North Stone Avenue \* P.O. Box 27210, Tucson, AZ 85726-7210 Telephone: (520) 791-5550 \* Fax: (520) 791-4340 Website: www.tucsonaz.gov \* E-mail: PDSDInquiries@tucsonaz.gov CORBETT PARTNERS, LLC 3710 E. Canter Road, Tucson, Arizona 85739 PH: (520) 229-3451 FX: (520) 498-6458

March 23, 2022

RE: Owner Authorization Letter IID Application Activity #T20SA00241 210 E. 7<sup>th</sup> St, 320-340 N. 6<sup>th</sup> Ave, 345 N. 5<sup>th</sup> Ave, and 225 E. 8<sup>th</sup> St., Tucson Assessors #11705069D and 11705069C

To Whom It May Concern:

This letter shall serve as notice that Miguel Fuentevilla and Richard Wiehe of FORS Architecture + Interiors are my agents and representatives in any and all matters in reference to the filing and achieving an IID for the above referenced property. They have full decision-making authority and binding power to execute any and all documents.

Best Regards,

Corbett Partners, LLC

Chris Hodgson LLC Manager

# **FORS** a

### 03.18.2022

То:	City of Tucson Development Services
Re:	T20SA00241 – Revision to Corbett Block IID-20-04 219 East 7th Street, 340 North 6th Avenue Tucson, Arizona
Parcel:	11705069D & 11705069C

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### **REVISION to PREVIOUSLY APPROVED IID**

There are (5) primary scope changes to IID-20-04

- 1. Event tent replaced with exterior Pickleball Courts.
- 2. Corbett Shell will temporarily house indoor Pickleball Courts Restaurant use to remain for future fit out.
- 3. Take out parking canopy in the R.O.W revised to accommodate underground utilities columns had to be changed from wood to steel thus resulting in changed aesthetic.
- 4. Metal building color change to restaurant on northeast corner of site.
- 5. Slight modification to on-site parking lot.

### Affected IID pages are:

- 1. Revised application
- 2. Revisions to Project Statement
- 3. Revised DP review comments
- 4. New neighborhood meeting; invite, mailing labels, attendees, synopsis
- 5. Revised Development + Landscape Sheets
- 6. Revised Corbett building floor plan
- 7. Revised renderings
- 8. Revised material samples

### Regards,

RICHARD wiehe architect FORSarchitecture+interiors www.richard@forsarchitecture.com r s

nterlo

# FORS architecture + interiors

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### **REVISED** 03.23.2022

- To: City of Tucson Development Services
- From: Richard Wiehe FORS architecture
- Re: Corbett Block Parcel: 11705069D & 11705069C 210 E. 7<sup>th</sup> St, 320, 340 N. 6<sup>th</sup> Ave, 345 N. 5<sup>th</sup> Ave, 225 E. 8<sup>th</sup> St, Tucson, AZ 85705

### Project Statement:

1. Use: Food Service and Commercial Recreation.

### 2. Intent:

This project is currently home to two existing buildings on two parcels – previous uses were Commercial Services and Retail Trade. This project seeks to implement a restaurant tenant improvement within the Corbett structure and add a 2<sup>nd</sup> new Food Service building at the northwest corner of the site. Surface parking, and street amenities per DP and master plan site concept exhibit below will be developed as well. **Note: Parking lot to be replaced in Phase 3 with mixed-use development.** 



The existing Corbett building (corner of 6<sup>th</sup> & 7<sup>th</sup>) was previously approved for a shell renovation – including full HPZ approval. That work is currently in progress. The restaurant tenant improvement indicated in this submittal will be a part of the new work scope. Note: the covered patio structure indicated in red per the diagram above is also included in the previously approved permit, but the seating fit out will occur during the tenant improvement.

The remainder of structures on site will be removed and replaced by the 2<sup>nd</sup> restaurant (corner of 7<sup>th</sup> & 5<sup>th</sup>)

### *REVISED* 03.23.2022

Proposed surface parking would be temporary to improve economic viability of the project. Future development will replace this portion of the site with increased building density and a parking garage – thus bringing the project more into alignment with Infill Incentive District intent.

The 181 spaces depicted will still require IID parking relief to be code compliant. The restaurant use does not require loading so on-site loading relief will not be required at this point. Buildings and parking are designed to align with the zero lot lines, hence IID setbacks and landscape buffer yard relief will be required. Refuse is not depicted but will be onsite – no relief required. See development plan for location.

In addition to the Development Package for on-site improvements, a P.I.A package is proposed to improve the entire area around the site. PIA items include; Traffic circle at 5<sup>th</sup> and 5<sup>Th</sup> ave. link roads, Corbett Lane access drive and bike path to the south, Pickup / drop-off for Corbett Restaurant, improved sidewalk and landscape along 7<sup>th</sup> Street, and improved parking and landscape along 5<sup>th</sup> avenue.

### 2. Revised IID Intent:

Restaurant concept for historic Corbett building no. 2 temporarily delayed for economic reasons. Exterior shell renovation to be completed per separate permit, and interior restaurant fit out to be incorporated in the future. Per revised axonometric diagram below – The Assembly use event tent and Restaurant use covered patio are to be replaced with Commercial Recreation use; Pickleball courts. Bldg 1 use to be amended to include both Restaurant and Commercial Recreation Pickleball courts. Exterior use defined with red dashed outline and interior use defined by blue. All remaining areas of the previous IID scope remain the same.



### 3. IID fulfillment:

This project, buy its nature, is in alignment with the Overall IID Purpose, IID General Zoning Standards, and the Warehouse Triangle Area requirements.

<u>IID Purpose</u>: Both restaurants will have street adjacent patio seating filled with entertained people to create a more *Urban Neighborhood*. Loveburger restaurant (bldg. no. 2) will have street adjacent patio seating filled with entertained people. The new pickleball court addition will add a community active lifestyle vibe – both uses

# FORS a r c h l t e

**REVISED** 03.23.2022

contributing to create a more *Urban Neighborhood*. The project will enjoy *pedestrian* and *transit oriented* benefits due to a 2 block proximity to the Tucson streetcar and 4<sup>th</sup> avenue pedestrian corridor. Additional transit options include a Tu-Go bike rental at the northwest corner of the property, and direct location on the number 3 bus route.

### General Zoning Standards:

The entire 7<sup>th</sup> street block from 5<sup>th</sup> to 6<sup>th</sup> ave. is an exercise in "*Streetscape Design*". *Pedestrian-orientation* is achieved due to the restaurant and patio areas being located directly off the sidewalks. The general street experience will be improved by planters and more aesthetic *architecturally detailed* fencing. *Shade* will be significantly increased via the addition of trees – where currently none exist. Revised street concept view following – depicts entry to the Pickleball Courts. Image intent to illustrate how previous street concept is preserved.





**REVISED** 03.23.2022

### Warehouse Triangle Area requirements:

The *higher-density* component of the WTA will be achieved through planned future development. Proposed multifamily housing and / or potential hotel will qualify the *mixed use* component. Exterior Pickleball Courts to be preserved and incorporated multifamily housing and hotel amenity when phase II is implemented.

### 4. Benefits:

As illustrated by adjacent precedents like the Royal Room, Anello Pizza, Crooked Tooth Brewery, Tap and Bottle, and XO Coffee, the 6<sup>th</sup> Street Sub area is currently in a demographic shift. A shift away from commercial services and moving more toward Food Service & retail. New attractions like the two Restaurants at the Corbett Block that support this trend, will add to pedestrian traffic and potential revenue within the area. Proposed Commercial Recreation Pickleball Courts are aligned with and enhance the stated "food service / retail" shift.

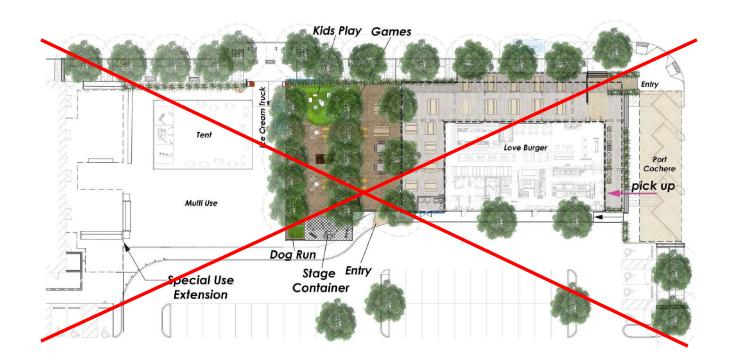
### 5. Potential adverse Effects:

The Food Service use is more intense than the previous commercial services and retail trade uses. The more intense use will create higher demands for Parking, Loading, and Refuse. As discussed, parking will be mitigated by the temporary surface lot, and later via the parking garage. Overall, we feel the positive change to increased pedestrian neighborhood demographic, which the Warehouse Triangle Area seeks to encourage, will outweighs the negative components. Due to slight revision to the parking lot – previous 181 parking spaces are increased to 184. The proposed revision to IID actually provides more parking.

### 6. UDC streetscape compliance:

UDC 5.12.8.A

- a. New construction shall have architectural elements/details at the first two floor levels; This scope is only single story construction. See site concept below for architectural elements like Street facing restaurant, community courtyard space, and exterior lifestyle activity; Pickleball.
- Buildings shall provide windows, window displays, or visible activity on the ground floor for at least 50 percent of frontage; Reference site diagram following for > 50% visible activity in the developed area.
- c. A single plane of façade shall be no longer than fifty feet without architectural detail; Reference revised building elevations and renderings herein.
- d. Front doors shall be visible or identifiable from the street and visually highlighted by graphics, lighting, or similar features; Reference revised streetscape sketch above and building renderings herein.
- e. Uses, such as Commercial Services or Retail Trade uses that encourage street level pedestrian activity are preferred on the first floor of a structure of a multistory building; Multi-story will not be introduced until future development and street activity functions will be determined at that time.
- f. Existing sidewalk widths shall be maintained so as to provide effective, accessible, connectivity to adjoining properties; Sidewalks connectivity maintained and expanded per site revised diagram below. Additional reference per revised DP for detail and specificity.
- g. *Pull-outs*: there are no city bus pull-outs near the site, but new pick-up and drop off will be created for private ride share transportation at the corner of 6<sup>th</sup> street and 7<sup>th</sup> avenue.
- h. *Drive-through*: there will be <u>no</u> drive-thru, however curbside pick-up is proposed at the Porte Cochere area per the site diagram below.





### 7. Safety:

A safer environment will be provided through the increased foot traffic the project inherently creates. Pickleball use will be daily – not intermittent like the previous event space, hence safety potential increased by more intensive use.

### 8. Residence privacy:

N/A – There are no residential properties adjacent to the proposed project.

### 9. Solar Energy:

N/A; Historic structure is existing and the single new structure will not be taler than a single story / 20' and will not impede solar energy options to adjacent properties. Future developed high rise multi-story buildings could have significant shadow impact, and will be investigated at a later date.

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### 10. Landscaping:

Drought tolerant native landscaping will be used throughout the development. Reference landscape plan portion of the development plan herein.

### 11. Intended Modifications to the UDC:

 Req'd Motor Vehicle Parking = 272
 proposed = 184

 Req'd short term bike parking = 14;
 proposed = 16

 Req'd long term bike parking = 3;
 proposed = 4

 Req'd and Proposed loading = 0
 proposed loading = 0

 Required landscape buffer = 10'; requested buffer = 0.
 Screening via fencing and planters as illustrated in elevations herein per UDC.

 Refuse – is onsite per Development Plan and site plan herein.
 There currently exists no ADA spaces and no bike parking to reduce. All parking indicated is new.

### 12. HPZ Consideration:

The Corbett façades will need some restoration but there will be no changes to window location, door location, or façade detailing. Reference Historic Inventory forms included herein. Interior Pickleball will utilize existing open warehouse floor plan. No changes to existing historic renovation currently under construction per separate permit.

### Parking Reduction

1. The Corbet Block currently has no onsite parking so there is no reduction to existing circumstances. All parking is proposed so on-site parking will be improved.

## Parcel Number: 117-05-069D

Property Address					
Street Number	Street Direction	Street Name	Location		
210	E	7TH ST	Tucson		
320	Ν	6TH AV	Tucson		
340	Ν	6TH AV	Tucson		
345	Ν	5TH AV	Tucson		

Contact Information					
Property Owner Information:	Property Description:				
CORBETT PARTNERS 3040 SKY CT PLACERVILLE CA	TUCSON NLY PTN & PTN ABAND ALLEY BLK 73				
95667-6227					

Va	luation	Data

Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	MIXED (M)	М	\$527,715	\$379,548	\$64,339
2019	MIXED (M)	М	\$544,484	\$398,525	\$67,685

Property Information					
Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	073	Tract:	
Rule B District:	1	Land Measure:	90,006.00F	Lot:	
Census Tract:	400	File Id:	1	Group Code:	000
Use Code:	3710 (WA	REHOUSING)		Date of Last Change:	10/31/2011

Valuation Area						
District Supervisor: RIC	District Supervisor: RICHARD ELIAS District No: 5					
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District		
60	6	UN_WEST_UNIVERSITY	01020201	30		

Recording Information (4)					
Sequence No.	Docket	Page	Date Recorded	Туре	
20160570279	0	0	2/26/2016	WTDEED	
20112200015	0	0	8/8/2011	OR	
0	11223	3460	1/28/2000		
0	8272	852	4/25/1988		

### **Commercial Characteristics**

### Property Appraiser: Renee Ayala Phone: (520) 724-8010

Commercial Summary							
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override			
Υ	11,727	\$144,431	\$0	\$0			

### **Commercial Detail**

SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1972	381/3	\$96,165	\$36,158	UTILITY/STORAGE
002-001	1930	111/3	\$697,416	\$64,860	RETAIL STORE
002-002	1930	111/3	\$203,588	\$18,934	RETAIL STORE
003-001	1972	101/3	\$45,533	\$24,479	COMMERCIAL YARD IMPROVEMENTS

# Petition Information (3)

Tax Year	Owner's Estimate	Petition	Work Up
2016	\$150,000	pdf	
2015	\$150,000		
2014	\$205,000		

# Permits (4)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T180T00800	COTH ~ FINAL	10/25/2018	07/26/2018	TUC	\$0	0	3/*				
	Description: FUF	P FOR T18CM0	5456								
T18CM05456	CALT ~ ISSUED	10/24/2018		TUC	\$110,000	13,654	3/*				
	Description: TI:	SHELL									
T10EL00015	COTH ~ FINAL	01/05/2010	01/06/2010	TUC	\$0	0					
	Description: REC	CONNECT:ELEC	TRIC:VACANT	SPACE							
T02OT00392	COTH ~ FINAL	04/01/2002	04/10/2003	TUC	\$0	672					
	Description: C O	escription: C OF 0:RECORD STORE									

Notes (9)	
Created: 4/13/2017 Modified: 5/24/2017	2019N No change use code 3710. No change to Land class 2/1. No change to IMP class 1/0. Update CCS IMP 001, components. Updated CCS IMP 002, fire damage. Updated APEX/Photos in Book-Map
Created: 5/5/2016 Modified: 5/5/2016	sq20160570279 deed is from Corbett Partners, LLC to City of Tucson for property that was already deeded to the City and split from parcels 117-05-069C & 069D by sq20112200015. Trav saved under w:\travcad\sq20160570279.dwg
Created: 7/24/2015 Modified: 7/24/2015	PETITION 2016 A LEVEL RULE A
Created: 7/23/2013 Modified: 7/23/2013	PETITION 2014 A LEVEL RULE B
Created: 1/2/2013 Modified: 1/2/2013	14N - CHG LAND CLS / RATIO FROM 1 4 @ 17.1% TO 1 0 @ 19.0% - NC USE 3710, IMP CLS 1 0 @ 19.0% - RULE B.
Created: 12/19/2011 Modified: 12/19/2011	SPLIT 2012 BACK FROM SECTIONS BATCH # 18516 . 2012 NOE REMOVE PORTION OF IMPS THAT WERE DEMOD.
Created: 11/15/2011 Modified: 11/15/2011	PCL 117-05-069A becomes 069C, PCL 117-05-069B becomes 069D, PCL 117-05-080B becomes 080D and 117-10-0390 becomes PCLs 039A & 039B. Transfer Imps(001,003,004-001&003-Sect002) to PCL 069D. Delete Imp(002-001)demoed. No change to use code or Land/Imp class.
Created: 10/31/2011 Modified: 10/31/2011	SPLIT 2012 RELEASED BATCH # 18516
Created: 10/19/2011 Modified: 10/19/2011	2012-SPLIT OF 11705069B AFTER SQ20112200015 (RD DEED), BATCH 18516, AREA CALC PER 91121 SF (PER DEED) MINUS 1115 SF (PER DEED) = 90006 SF, 2011 TRC SUBMITTED

## Parcel Number: 117-05-069C

Property Address						
Street Number	Street Direction	Street Name	Location			
225	E	8TH ST	Tucson			

Contact Information				
Property Owner Information:	Property Description:			
CORBETT PARTNERS 3040 SKY CT PLACERVILLE CA	TUCSON SLY PTN & PTN ABAND ALLEY LYG W & ADJ 5TH AVE BLK 73			
95667-6227				

## Valuation Data

Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	VACANT/AG/GOLF (2)	15.0	\$82,879	\$82,879	\$12,432
2019	VACANT/AG/GOLF (2)	15.0	\$62,004	\$62,004	\$9,301

# **Property Information**

Township:	14.0	Section:	12	Range:	13.0E
Map & Plat:	3/71	Block:	073	Tract:	
Rule B District:	1	Land Measure:	20,668.00F	Lot:	
Census Tract:	400	File Id:	1	Group Code:	
Use Code:	0031 (VACAN	IT INDUSTRIAL URBAN SUBDIVIDED	Date of Last Change:	12/6/2011	

Valuation Area						
District Supervisor: RICHARD ELIAS District No: 5						
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District		
60	6	UN_WEST_UNIVERSITY	01020201	30		

# **Recording Information (5)**

Sequence No.	Docket	Page	Date Recorded	Туре			
20160570279	0	0	2/26/2016	WTDEED			
20112200015	0	0	8/8/2011	OR			
0	11707	3180	1/2/2002				
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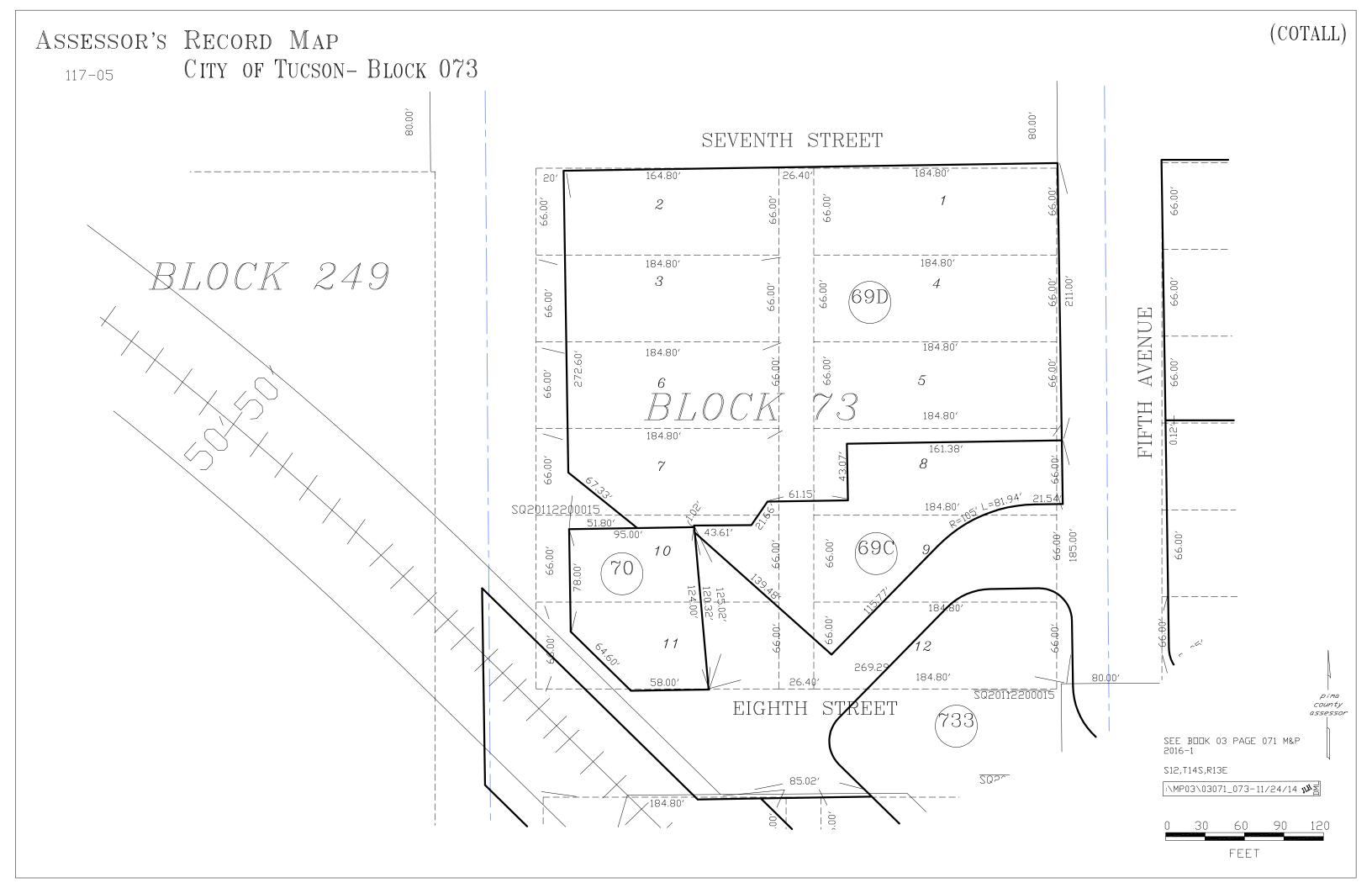
### Petition Information (2)

Tax Year	Owner's Estimate	Petition	Work Up				
2015	\$500						
2013	\$500						

## Permits (1)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T110T01850	COTH ~ FINAL	09/27/2011	09/27/2011	TUC	\$0	0					
	Description:										

Notes (7)	
Created: 5/5/2016 Modified: 5/5/2016	sq20160570279 deed is from Corbett Partners, LLC to City of Tucson for property that was already deeded to the City and split from parcels 117-05-069C & 069D by sq20112200015. Trav saved under w:\travcad\sq20160570279.dwg
Created: 10/20/2014 Modified: 10/20/2014	Per random phone call conversation with Adam @ DMC Management, this parcel is under contract and they might be building student housing. When asked, he said he could not tell me what it was under contract for.
Created: 12/28/2011 Modified: 12/28/2011	SPLIT 2012 BACK FROM SECTIONS BATCH # 18515. 2012 NOE TO CORRECT LTD VALUE
Created: 12/2/2011 Modified: 12/2/2011	NOE 2012 IMPROVEMENTS REMOVED CLASS CHG TO 4(16%) RULE B
Created: 11/15/2011 Modified: 11/15/2011	PCL 117-05-069A becomes 069C, PCL 117-05-069B becomes 069D, PCL 117-05-080B becomes 080D and 117-10-0390 becomes PCLs 039A & 039B. Deleted Imps(Seq001,002-Sect001) from 069C. Imps demoed Oct. 2011. Change use code from 3710 to 0031. See photos in bookmap
Created: 10/31/2011 Modified: 10/31/2011	SPLIT 2012 RELEASED BATCH # 18515
Created: 10/19/2011 Modified: 10/19/2011	2012-SPLIT OF 11705069A AFTER SQ20112200015 (RD DEED), BATCH 18515, AREA CALC PER 45457 SF (PER DEED) MINUS 24789 SF (PER DEED) = 20668 SF, 2011 TRC SUBMITTED



# FORS architecture+interiors

### 02.24.2022

To:	City of Tucson Development Services
From:	Richard Wiehe FORS architecture 520.795.9888
Re:	Corbett Block 210 E. 7 <sup>th</sup> St, 225 E. 8 <sup>th</sup> St. Tucson, Arizona 85705

Parcel: 11705069D & 11705069C

## PDSD Development Plan Comments for DP20-0125 REVISION:

1/27/2022	AWARNER1	LANDSCAPE	None
1/26/2022	STEVE SHIELDS	ZONING	CDRC TRANSMITTAL
	SHIELDS		TO: Development Services Department Plans Coordination Office
			FROM: PDSD Zoning Review
			PDSD Zoning Review Section
			PROJECT: Corbett Block Development Package (Revision #1) DP20-0125
			TRANSMITTAL DATE: January 26, 2022
			DUE DATE: January 28, 2022
			COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.
			SECTION 2-06.0.0: DEVELOPMENT PACKAGE (TENTATIVE PLATS AND SITE PLANS) Section
			2-06.4.9 - Information on Proposed Development The following information on the proposed project shall be shown on the drawing or added as notes.

02.24.2022

			<ol> <li>COMMENT: 2-06.4.9.H.5.a &amp; 2-06.4.9.H.5.d – Clarify why the total square footage, 31,360, listed in the vehicle &amp; bicycle parking calculation is different than the square footage, 31410, listed above.</li> <li>If you have any questions about this transmittal, please contact Elisa Hamblin at Elisa.Hamblin@tucsonaz.gov.</li> <li>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</li> </ol>
2/01/2022	MGAYOSS1	DESIGN PROFFESSIONAL	On 9/23/21: The Design Professional determined the pickle ball courts and juice bar constitute a change to the design package, originally approved under Activity # T20SA00241, that will require a major review process. On 10/8/2021, an IID/HPZ presub meeting was held between the applicant, staff, and the Design Professional, where it was confirmed a major review process will be required, including a new neighborhood meeting. On 10/15/2021: Provided applicant with instructions to request and pay the \$220 fee for labels for neighborhood meeting. I also requested the applicant to pay the pending \$901.50 IID/HPZ review fees for the original design packet. Please email me (maria.gayosso@tucsonaz.gov) requesting the neighborhood meeting mailing labels. Once a complete revised IID/HPZ application packet is ready to be filed, please send it to me directly via email. Thanks.
2/07/2022	COT NON-DSD	ENVIROMENTAL SERVICES	Email from: Andy Vera To: CDRC Thu 2/3/2022 9:07 AM ES has no objections to the proposed revision of the waste stream calculations as presented. Thanks. Andy Vera City of Tucson -Environmental Services Accounts Representative Supervisor (520) 837-3798



02.25. 2022

# **Invitation to Neighborhood Meeting**

### Re: Parcels 11705069D & 11705069C Activity # T20SA00241

Date:Thursday, March 17, 2022Time:5:30 - 6:30pmMeeting Location:MEETING IS VIRTUAL / ON-LINE VIA Go-To-Meeting (instructions at bottom of page)Proposal:Infill Incentive District - Revision to previously approved IID-20-04

Meeting regards a proposed revision to a previous Infill Incentive District application approved 08.18.2020. The prior IID established a change in use to accommodate (2) buildings for Food Service Use and an exterior Event Tent Area Use - with land use code reductions in parking, on-site loading, setbacks, and landscaping / screening requirements. The proposed revision to the previous IID seeks to replace one of the Food Service buildings and the exterior Event Tent area with a Commercial Recreation use. Proposed are (3) exterior Pickleball courts and (2) interior Pickleball courts.

### Meeting Agenda

- I. Introductions
- II. Discussion Points
  - [a] Project Overview
  - [b] Site plan; Exterior revisions
  - [c] Building plan; Interior revisions
- III. Questions and Answers
- IV. Comments via e-mail
- V. Adjournment



For questions regarding this announcement or the neighborhood meeting contact Richard Wiehe at FORS Architecture + Interiors (520) 795-9888 or richard@forsarchitecture.com

### **VIRTUAL MEETING INSTRUCTIONS:**

Please join the meeting from your computer, tablet or smartphone.

### https://meet.goto.com/856811525

choose the "Join on the web" button to avoid downloading the APP.

You can also dial in using your phone - if your device doesn't have a microphone or sound.

United States: +1 (872) 240-3311 Access Code: 856-811-525

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### Virtual Meeting Via Go-To-Meeting Digital Sign-in Sheet

Date:March 17, 2022Time of Meeting:40 minutes

Attendees = 6 total

Miguel Fuentavilla Richard Wiehe FORS architecture FORS architecture

Daniel Matlick Steve Kozachik Diana Amado John Burr (neighborhood association) (council person Ward 6) (Ward 6) (City of Tucson)



## Virtual Meeting Via Go-to-Meeting Summary

IID package slides presented; aerial site photograph, aerial axonometric, site floor plan, revised development plan, revised landscape plan, and concept rendered views. Descriptive narrative by FORS (FORS architecture) reflective of IID submittal.

**Summary:** There were no objections to the proposed revisions. All participants agreed the proposed use was in keeping with the previous design intent. Majority of comments regarded neighborhood associations support for having a previous somewhat derelict part of town rehabilitated.

Only adverse comments regarded several participants desire for the historic Corbett building to contain a more glamorous use such as high end restaurant. Response from FORS team conveyed the temporary nature of the indoor Pickleball courts to provide activity in a building which would otherwise remain vacant.

## Virtual Meeting Via Go-to-Meeting Actual Transcript

FORS Richard

00:23 - 00:23 Hi, everybody.

FORS Richard

00:23 - 00:24 Can people hear me?

• FORS Richard 00:26 - 00:27 You can't hear me?

#### • FORS Richard

00:30 - 00:31 You seriously can't hear me?

• FORS Richard

00:31 - 00:31

• miguel

00:31 - 00:32 Can't hear you.

#### • FORS Richard

00:32 - 00:34 Now, I can.

### Diana Amado

00:34 - 00:34 Hear you.

### • miguel

00:34 - 00:35 Great, Diana.

#### • miguel

00:35 - 00:37 Can you hear me? FORS Richard

00:37 - 00:37 Ok?

Diana Amado

00:37 - 00:38 So it's just a.

• FORS Richard

00:38 - 00:39 Thank you, OK.

Steve Kozachik

00:42 - 00:42 You're audible.

### • FORS Richard

00:44 - 00:47 But why can't, but I can't hear anybody else though.

• FORS Richard

00:47 - 00:49 So maybe that maybe she's not talking OK.

#### Diana Amado

00:52 - 00:52 Can you hear me now?

#### • Diana Amado

00:55 - 00:56 Richard.

#### Steve Kozachik

00:57 - 00:58 I couldn't hear you doing.

#### Diana Amado

00:58 - 00:59 Yeah, Rich, I can't hear me.

## FORS a

#### • Diana Amado

01:00 - 01:01 Ok.

#### • FORS Richard

01:05 - 01:06 Now, Richard?

#### FORS Richard

01:08 - 01:09 I can't hear you.

#### • FORS Richard

01:11 - 01:12 I can hear you.

#### FORS Richard

01:12 - 01:19 Ok, well, I guess that's all that matters, but, you can check your speakers, and, like I said, I've got it.

r c

h

### FORS Richard

01:19 - 01:20 It's all, it's all set up properly.

### FORS Richard

01:29 - 01:31 Actually, a year, I didn't have the right one.

#### FORS Richard

01:31 - 01:32 Who knows that Fatigue been working.

### FORS Richard

01:32 - 01:37

But I'm gonna go ahead, say something else, I can see if I can hear you.

## • FORS Richard

01:39 - 01:39 Ok?

### FORS Richard

01:41 - 01:42 I think it's recording.

#### FORS Richard

01:42 - 01:49

Ok, I'm gonna go ahead and start the meeting, and everybody, I don't know if I think there's something wrong I didn't check my speakers, Miguel.

### FORS Richard

01:49 - 01:51 I think I might not be able to.

FORS Richard

01:53 - 01:54 One second.

ltecture+Interlor

#### FORS Richard

02:00 - 02:06

Ok, I'm gonna, I'm gonna Go ahead, If people can hear me and then, Miguel, you might just have to answer questions and things Like, I'm not sure, maybe nobody's talking about.

s

### FORS Richard

#### 02:07 - 02:09

We're gonna Go ahead and start this thing everybody.

#### • FORS Richard

02:09 - 02:11 It's 5, 32.

### FORS Richard

02:11 - 02:14 We only have 4, 4 of us.

### FORS Richard

02:14 - 02:23

So, maybe everybody's watching basketball or maybe, maybe this is just the second time around this isn't as interesting.

#### FORS Richard

02:25 - 02:26 This is a follow up.

### • FORS Richard

02:26 - 02:32 This is a revision to an ID that we presented sometime ago.

#### • FORS Richard

02:33 - 02:36 Everybody's looking at the meeting invite right now, and.

miguel

02:37 - 02:38 Primarily.

### • FORS Richard

02:38 - 02:45

The project stays very similar to this stuff we presented previously, and we are.

• miguel

02:45 - 02:45 Heading.

#### FORS Richard

02:48 - 02:51 I think I can, I can hear you guys working there.

#### FORS Richard

02:58 - 03:00

Ok, so, that was the previous meeting invite, OK?

#### FORS Richard

03:00 - 03:06

So that's what I wanted, so that we previously had this neighborhood meeting on September third, 2020.

#### • FORS Richard

03:07 - 03:14

This is the invite for today that everybody should have received it for March 17th, and, again, Let me take you guys through it.

#### • FORS Richard

03:14 - 03:16 You'll see it's very, very similar.

#### FORS Richard

#### 03:16 - 03:24

What we're doing is, we're trying to add, we are adding commercial recreation use to the project that frequently previously presented.

#### FORS Richard

03:25 - 03:33

So, what I'm going to do is I'm going to flip back to the presentation from last time and just going to just do a quick recap.

#### FORS Richard

#### 03:33 - 03:36

So everybody can understand where we are at.

#### FORS Richard

03:37 - 03:47

This is a parcel of land ordering fifth sixth seventh street in, in yellow are the buildings that are on the site.

#### • FORS Richard

03:47 - 03:49

This is the historic core Caribbean building over here.

#### • FORS Richard

03:50 - 03:53

These, this building was torn down.

#### FORS Richard

03:53 - 03:54

This is under construction right now.

#### FORS Richard

03:55 - 03:58

For the previously approved ID, these structures were torn down.

FORS Richard

#### 03:58 - 04:00

This little piece on the back remains.

#### FORS Richard

#### 04:01 - 04:07

This again was the just general Tucson location.

#### FORS Richard

#### 04:07 - 04:09

This is our project superimposed on this era photograph.

#### FORS Richard

04:11 - 04:15

This is kinda the blow up, again, this is what we presented and was approved at the last i.i.d..

#### FORS Richard

04:16 - 04:18 This piece done here is the historic core of a building.

#### FORS Richard

04:18 - 04:21 This was a patio that we were adding.

#### FORS Richard

04:22 - 04:22

To the east.

### FORS Richard

#### 04:23 - 04:27

This wasn't an event tent that we were building that would have things like weddings.

#### • FORS Richard

#### 04:27 - 04:44

And or low key concerts, This was a sorta courtyard gathering space and this is a new restaurant called Love Burger which is a covered exterior covered space into your restaurant and it has a covered sort of pick up.

#### FORS Richard

04:46 - 04:48 Sort of uber eats.

#### • FORS Richard

04:48 - 04:51 Pick up area out of Fifth Street.

#### • FORS Richard

04:54 - 04:57 Take you along this Friday straight, some views of what we were previously presenting.

• FORS Richard

04:58 - 05:03 Looking in it at the patio of what was what was previously going to be the restaurant.

#### FORS Richard

05:03 - 05:04 They seem to be changing.

#### FORS Richard

05:04 - 05:05 We'll get into that in a minute.

#### • FORS Richard

05:07 - 05:11 I'm standing out here on the street looking into the courtyard from the street.

#### FORS Richard

05:11 - 05:14

This is what is the entry to the project from Seventh Street.

#### FORS Richard

#### 05:15 - 05:24

Standing in this little courtyard, looking back at the love burger restaurant, kind of had this type of a feel it was in open courtyard trees that we're bringing in.

#### FORS Richard

05:24 - 05:26

This is, in the background is the, it's the restaurant.

#### FORS Richard

#### 05:27 - 05:36

I'm standing back over here looking at the project from, from the corner, this was the love burger restaurant metal building with wood canopy.

### FORS Richard

05:37 - 05:42

This is the kinda take away parking area that we were proposing previously.

#### FORS Richard

#### 05:42 - 05:50

You'll see that this is modified, in the, we had to make a modification of this, we'll get into that and we get into that presentation again.

### FORS Richard

05:51 - 05:54

Overall, just kind of what we presented last time.

### FORS Richard

#### 05:54 - 06:01

Restaurant use, we were changing the use of this, of this site to be able to allow restaurants.

• FORS Richard

06:01 - 06:05

So, we have restaurant year, patio dining here, restaurant over here.

#### • FORS Richard

06:05 - 06:11

We have parking in the back and landscaping all the way around.

#### FORS Richard

06:11 - 06:15

So, the things that we were going for the IIT was the restaurant use.

#### FORS Richard

#### 06:15 - 06:28

We have a reduced parking, though, this looks like a lot of parking was not quite enough for all of this, So, so, the idea would have allowed us reduced parking and, and smaller landscape buffers, you know, in this urban zone, we wanted to build right up to the edges of the property.

#### FORS Richard

#### 06:29 - 06:33

So I'm going to jump into the new presentation for the invite that everybody has.

#### • FORS Richard

#### 06:33 - 06:42

An, since we've just done that site recap, we're going to jump right into what the commercial recreation use that we want to propose and, and it's pickle ball.

### • FORS Richard

06:43 - 06:43 Basically.

### • FORS Richard

#### 06:43 - 06:49

So the idea would be, we're looking at that kind of, um, sort of site aerial view from before.

#### FORS Richard

06:50 - 06:54 This is the, the love burger restaurant that that we just kinda covered.

#### • FORS Richard

06:54 - 06:57

And it's actually under construction right now.

#### FORS Richard

06:58 - 07:02

The historic core of a building is here, and it's being renovated right now.

#### FORS Richard

07:02 - 07:07

And it will ultimately be this kind of pinkish color so that we're kind of showing that how it will actually look.

#### • FORS Richard

#### 07:08 - 07:15

And this is the area that that we would be changing that would be amending to the previous i.i.d..

#### FORS Richard

#### 07:15 - 07:30

And this was to remove that tent and event space and remove the patio and to put in these three pickle ball courts, and also, the inside of the corporate building would no longer be a restaurant.

#### • FORS Richard

#### 07:30 - 07:32

This will be to pickle ball courts on the inside.

#### FORS Richard

#### 07:32 - 07:39

Going to jump to the floor plan, and just kinda show everybody, again, looking at this from above, This is all the existing love burger stuff.

#### FORS Richard

07:39 - 07:40 No changes over here.

#### • FORS Richard

07:40 - 07:42 This courtyard changes over here.

#### • FORS Richard

07:42 - 07:51

This would be adding 1 to 3 outdoor pickle balls, pickle ball courts, and to courts inside of the love of the existing corporate building.

#### FORS Richard

#### 07:51 - 07:54

It's a historic building, and it's basically just an open warehouse.

#### FORS Richard

#### 07:54 - 08:03

So we wanted to put two pickle ball courts in here, jumping back again, to this kind of overall plan, we're going to count it.

#### • FORS Richard

08:03 - 08:07

Look along the Front Street like we did in the previous presentation.

#### • FORS Richard

08:07 - 08:17

This is the story of a building remodeled And then you would just sort of, You can sort of pick in the windows you can see the, the beginnings of the pickle ball courts on the inside.

#### • FORS Richard

#### 08:22 - 08:24

Sorry, I'm going the wrong direction, or but apologize for that.

#### FORS Richard

#### 08:30 - 08:40

Jumping back along the curb: I'm sorry, outside now, kind of looking in at our previous entry, again, very similar to the entry we're looking at before.

#### FORS Richard

#### 08:40 - 08:46

Only this kind of structure backs up against here that we'll go over in a minute, but against similar entry.

#### FORS Richard

08:47 - 08:51

Moving down, again, the sidewalk, looking back at the at the love burger.

#### • FORS Richard

#### 08:52 - 09:01

All of this is similar, some of the colors ended up being a little bit different, but all very similar, the covered canopy it is, is proposed to be metal now.

#### • FORS Richard

#### 09:01 - 09:07

And, or steel, I should say, I supposed to wood, and this was because we had trouble with the with utilities.

#### • FORS Richard

#### 09:07 - 09:18

Along here, we had to go to a single support structure, we couldn't do those individual posts, it was conflicting with, with, with utilities in this area, particularly wastewater.

#### • FORS Richard

#### 09:18 - 09:27

So we're changing the structure to, to, to be steel, but it's the same use in the same locations, or everything that was previously discussed.

• FORS Richard

#### 09:27 - 09:38

Jumping back to this kind of overall view, we're gonna kinda look in at at the pickle ball, propose Pickle ball use, and kind of get into a little bit more, so here's the, kind of a zoom in here.

### FORS Richard

#### **FORS** с h l t е С t ure+ 1 n terl 0 r

#### 09:38 - 09:39

The three other pickle ball courts.

#### FORS Richard

#### 09:39 - 09:44

And you can kind of see the indoor pickle ball in any inside.

#### FORS Richard

#### 09:44 - 09:55

These are shade structures that we would, you know, people can, for people who are watching and or just, you know, eating food from the adjacent space.

#### FORS Richard

09:56 - 10:03

Going to jump back to the aerial view a little bit this little piece right here, is, um, make a little box around it.

#### FORS Richard

#### 10:03 - 10:18

This little guy right here is a, is a, is a cantina, that we're going to serve drinks and juices and, and just waterson things for everybody else, so it's a little outdoor, no kind of bar area.

#### FORS Richard .

10:20 - 10:25

Hmm, Richard, can I add a couple of things to share, but I think you're muted.

• miguel

10:27 - 10:27 Go.

#### FORS Richard

10:27 - 10:28 Here.

### miguel

10:29 - 10:29 Overall.

#### miguel •

10:31 - 10:37 So real quick, yeah, yeah, that one you might want to mute yourself.

### FORS Richard

10:37 - 10:38 So.

### miguel

10:38 - 10:39 Just want to add two things.

#### miguel

10:40 - 10:48

This also shows the landscaping that we're doing along the southern edge now, on the opposite side.

S

#### miguel

#### 10:48 - 10:58

The trees and landscaping, and lighting that we're showing that is gonna actually ring the whole road, not just our side of the road, which is an enhancement.

miguel •

#### 10:59 - 11:09

Number two, also to point out that the pickle ball inside Corbett, and I think mister Sajak Steve is aware of this, is that probably more of a temporary use.

• miguel

#### 11:09 - 11:25

That is only, that is plan for a larger phase, where they would have to do another ID to do restaurant and hotel FLASHE retail inside the existing corbet, So we're well aware that this might only be a no.

#### miguel •

11:27 - 11:30 35 to seven year plan for the inside of orbit.

miguel •

11:30 - 11:30 Sorry, Richard.

### FORS Richard

11:34 - 11:34 Good job.

### FORS Richard

11:37 - 11:41

So moving forward, this is our I do a more technical document.

#### FORS Richard •

#### 11:42 - 11:50

This is a revised development plan that that was at first the middle that we had to submit to receive zoning comments for this ID.

### FORS Richard

11:50 - 11:59

You can see the, the clouded area here is, again, the area that we're revising, removing that event tent and putting these pickle ball courts in.

#### FORS Richard •

11:59 - 12:02 We revised the parking a little bit here.

FORS Richard

12:02 - 12:05 You can see we previously had 181. 245 east congress street.#135.tucson.az.85701 520.795.9888.www.FORSarchitecture.com

#### FORS Richard

12:05 - 12:06 We have 184.

#### FORS Richard

#### 12:06 - 12:10

So we actually gained three parking spaces in this process.

#### FORS Richard

#### 12:10 - 12:19

The landscape plan that goes with it all very, very similar to what we had before, This is the area that Miguel was talking about that is, is, is an enhancement.

#### FORS Richard

#### 12:20 - 12:30

We, It, in, after, this, this area was not really a part of, this is actually, in the right away, this is not, was not a part of the last AD.

#### FORS Richard

#### 12:30 - 12:35

It was something we were working with the city and downtown links to.

#### FORS Richard

12:35 - 12:36 We have this road.

#### FORS Richard

#### 12:36 - 12:43

We're bringing around here and we were enhancing it by adding trees and more landscaping and lighting along this area here.

#### FORS Richard

#### 12:43 - 12:49

And just again more more landscaping in and around this site.

#### FORS Richard

12:50 - 12:52

So jumping back to this area, just to kind of recap.

#### FORS Richard

#### 12:52 - 13:08

Again, You know, most of this is, um, is, is what we were presenting before, but the change of use from this corporate building from restaurant to the, the record, the commercial, recreational use of pickle ball, and then these pickle ball courts.

#### FORS Richard

13:09 - 13:17

And then the idea that, you know, this is kind of like a gaming amenity to the restaurant over here, is kind of it's kind of how we're seeing it.

#### FORS Richard

#### 13:18 - 13:19

And I think that's it right now.

#### FORS Richard

#### 13:19 - 13:24

So I'm going to go ahead and stop the presentation and open it up for questions, if anybody has any.

#### Steve Kozachik

#### 13:27 - 13:39

Richard, how are you going to phase this and where do you anticipate the lay down areas and where will, how will that impact the availability of the, the large parking area?

#### FORS Richard

#### 13:41 - 13:55

Right now, the, you know, the will say that the this this, this, this portion of the project right here kind of make a little outline in in Read, this is actually being is under construction right now.

#### • FORS Richard

#### 13:55 - 14:02

People may have driven passed an Act actually seen it as well as is the restoration of the corporate building.

#### FORS Richard

#### 14:03 - 14:12

Everybody knows this overpasses is, is mostly here, now, and the construction is happening all the way around, We are building our parking lot.

#### • FORS Richard

#### 14:12 - 14:18

Next to the phasing would be this corporate building or the the lover and the corporate building it's happening right now.

#### • FORS Richard

#### 14:19 - 14:25

Then the parking would follow afterwards, and then the pickle ball area.

#### • FORS Richard

#### 14:25 - 14:40

You know, if I, if I jump all, the way back to the very beginning when I kinda had highlighted this, would then be the last phase then Steve, this, this area here, we're holding off on this while this is under construction because this we need to ultimately have a revised development plan.

#### FORS Richard

14:40 - 14:42

We have the revised ID, all this has to be approved.

#### FORS Richard

#### 14:42 - 14:49

So we're carving this section out and this would be the final phase and as well as the build out.

#### FORS Richard

14:49 - 14:55

So we have a permit to do the shell renovation of the corporate building, but not the interior.

#### FORS Richard

14:55 - 14:59

So we will, that would be this, This area would be the final phase, these two phases.

#### • miguel

15:00 - 15:02 We are fast tracking its speed.

• miguel

15:02 - 15:03 So.

#### • FORS Richard

15:03 - 15:04 The.

#### • miguel

15:04 - 15:08 Idea is that they do want to open the parking and love burger at the same time.

#### • miguel

15:08 - 15:11 They're actually hoping hoping to open the pickle ball.

#### miguel

#### 15:11 - 15:20

Also if they can get fast track after going through the process, quick enough to catch up to the other buildings Because it's fairly simple construction.

#### • miguel

15:21 - 15:27 As far as what, you know, the insides of the corporate building and even the core area.

#### • miguel

15:28 - 15:29 I hope that answers your question.

### Steve Kozachik

15:30 - 15:43

Yeah, and time, from a timeframe standpoint, when you expect that and also just park point of curiosity, what's the surface on the purple bars that are hard surfaces, Acrylic or what?

#### • miguel

15:46 - 15:48 Yeah, it's a combination surface.

#### • miguel

15:48 - 15:53 A special company that does courts comes and does it semi porous.

#### • miguel

15:53 - 15:57 But it is a special surface of, like, concrete with a, with a, with a top layer.

#### Steve Kozachik

15:58 - 15:59 Kind of like a scorecard.

#### Steve Kozachik

15:59 - 15:59 Almost.

#### • miguel

15:59 - 16:00 Yeah.

#### • miguel

16:02 - 16:03 And on the inside alpha.

### FORS Richard

16:04 - 16:06 What was your other question?

#### FORS Richard

16:06 - 16:06 Sorry.

### Steve Kozachik

16:07 - 16:08 Times.

### Steve Kozachik

16:08 - 16:08 Timing.

#### FORS Richard

16:10 - 16:12 So the timing is no.

• FORS Richard

Well, what was the opening date that we were discussing another day, Miguel, as far as the love, I don't know.

#### • miguel

16:21 - 16:22 We've been summer.

#### FORS Richard

16:23 - 16:23 Yeah.

#### • FORS Richard

16:23 - 16:24 So.

#### • miguel

16:24 - 16:26

We're not in charge of that, but definitely been told.

#### FORS Richard

16:32 - 16:34 So as in, like, kind of fall.

#### Daniel Matlick

16:40 - 16:46

Gentlemen, sorry, for arriving late to your presentation, I missed the first six minutes yourself.

#### Daniel Matlick

#### 16:48 - 17:06

As far as the phasing goes, my my Understanding arisen from the original presentation was three phases which was going to be the food restaurant and the event tent and then second was going to be the high-end restaurant.

#### Daniel Matlick

17:08 - 17:12

Then third phase will become the tower somewhere down the line.

## Daniel Matlick

17:14 - 17:23

At that point, my understanding was that the tower was going to cover the entire, you know, everything else would go made except for the corporate building.

## Daniel Matlick

## 17:24 - 17:28

So, you know, I've just heard the rumors throughout the community, what's going on?

### Daniel Matlick

## 17:28 - 17:39

But my understanding now would be that in in the that third phase, the love burger would remain that would no longer be taken down, or what what?

### Daniel Matlick

17:39 - 17:41 What's the story about that?

• miguel

17:42 - 17:43 I'll answer that.

• miguel

17:44 - 17:51 So our understanding, Daniel, is that the courts would stay outdoor courts would stay.

• miguel

17:52 - 17:53 And, yeah, love berger would stay.

• miguel

17:55 - 17:57 That's how, you know, it's been explained to us.

### Daniel Matlick

#### 17:59 - 18:07

And then the, and so again, my understanding is, from what you were saying as far as the build out of the.

#### Daniel Matlick

18:10 - 18:13

Corporate building, that is to pick the work of courts in there.

#### Daniel Matlick

18:13 - 18:17 That, that it would be temporary, in a sense.

#### Daniel Matlick

18:17 - 18:20

And eventually it would get developed.

miguel

18:20 - 18:21 Yes.

• miguel

18:21 - 18:25 It would eventually, because it's too good a space to be indoor pickle ball courts.

• miguel

18:25 - 18:31 So the idea is that that would turn it obviously we wouldn't we're not altering the corporate building.

• miguel

18:31 - 18:34 Where were the as far as the historical value of it.

• miguel

#### 18:34 - 18:41

But yeah, the interiors are basically go back to lobby restaurant at retail, those three users.

#### Daniel Matlick

18:42 - 18:43 That's good.

#### Daniel Matlick

#### 18:44 - 18:53

And then, I don't know if you know, what is the love burger associated with the love burger downtown or is it a national or.

#### • miguel

18:54 - 18:58

It is, it says, you know, it's local, it's, it's all local owners ownership?

#### • miguel

#### 18:58 - 19:07

Well, you know, a couple of owners live outside of Tucson, but they're actually only develop in Tucson, so it's all locally owned.

#### • miguel

19:08 - 19:11 It's a, it's a local brand, local.

#### Daniel Matlick

19:11 - 19:11 Brands.

#### Daniel Matlick

19:14 - 19:14 That's good.

#### Daniel Matlick

#### 19:15 - 19:29

In the, on the surface parking It's, it's, I take it, my understanding is it's a combination of property use, same public parking, paid parking.

#### Daniel Matlick

19:31 - 19:32 How's the pay?

#### Daniel Matlick

19:32 - 19:33 Is that going?

#### Daniel Matlick

19:33 - 19:47

Is that gotta be managed by the city, and he decided that yet, and is it, you know, will it be pay kiosks or meters, or do you know how, what that structure is going to be at this point?

#### • miguel

19:49 - 19:50 We haven't presently.

miguel

19:51 - 19:55 Danyelle, we haven't, we're not aware of any presently.

• miguel

19:56 - 19:58 It's going to be managed by the owners.

#### miguel

19:58 - 20:06 We're pretty sure of that, You know, number two, we haven't been told how they're going to deal with, you know, the paper park.

### • miguel

20:06 - 20:11 We're not putting in, they had us remove any kind of structure.

• miguel

20:11 - 20:12 As far as you know.

• miguel

20:13 - 20:13 Oh, gosh.

• miguel

20:13 - 20:16 I forget the name of those crossing thing, Sorry.

Daniel Matlick

20:16 - 20:17 Yeah.

miguel

20:17 - 20:17 Yeah.

Daniel Matlick

20:17 - 20:18 No.

• miguel

20:18 - 20:18 Gate control.

### Daniel Matlick

20:19 - 20:19 We're not.

• miguel

20:19 - 20:21

We're not putting any control gates in Right now.

#### • miguel

20:21 - 20:22

Those were removed.

#### • miguel

20:22 - 20:23 I don't know.

### • miguel

20:23 - 20:30

I can't promise you, they wouldn't come back, but as far as we know, the owners are going to manage it and haven't really, I think, define how they're going to manage it.

#### Daniel Matlick

20:31 - 20:32 Ok.

#### • miguel

20:33 - 20:36 And Steve, I think that's as far as you know to write.

#### miguel

20:36 - 20:36 And Diana.

#### Steve Kozachik

20:41 - 20:44

Return to anything, anything, contrary to what you just said?

### Diana Amado

20:45 - 20:46 Yeah, same.

### Daniel Matlick

20:47 - 20:47 Yeah.

### Daniel Matlick

20:47 - 20:48 I just know.

#### Daniel Matlick

20:48 - 21:04

It's, there's still the shortage of parking for the of this project, and I know that's one conversation that, that's been had, of them using it within that, and all, because timing no, with with everything.

#### Daniel Matlick

21:06 - 21:16

Yeah, Just just comment wise, I've, I've talked to people about the pickle ball concept, and it's very favorable.

#### Daniel Matlick

21:17 - 21:26

You know, I think people liked the idea of having that type of activity to engage the local residents, and it's in all age sport.

#### Daniel Matlick

21:26 - 21:31 Um, and, I don't know, is that one of the you They Sports.

#### Daniel Matlick

21:31 - 21:32 Steve.

• miguel

21:33 - 21:39 Now, actually, say that it actually had a demographic that crosses morning to late evening.

• miguel

21:39 - 21:40 You're right.

• miguel

21:40 - 21:44 Because it actually gets used in the morning by senior, most mostly senior citizen.

• miguel

21:45 - 21:49 And it has a high usage, as a, you know, for that.

• miguel

21:49 - 21:49 So, you are correct.

• miguel

21:49 - 21:52 It hasn't really broad demographic.

### Daniel Matlick

21:53 - 22:01 Yeah, I had, to be honest, I had to look it up and learn about what it was while other people knew exactly what it was.

### Daniel Matlick

22:02 - 22:12 And, yeah, it's sort of an 18 to, to 250 or so, you know, age, group, which is or higher, right?

### Daniel Matlick

### 22:13 - 22:26

But, when I read this statistic, I was like, You know, that 50% is it that, you know, has a good 49 age group, there's, you know, it's definitely the old bands.

#### Daniel Matlick

22:29 - 22:34

You mix between, you know, Paint Pong and, uh, in tennis for sure.

#### Daniel Matlick

22:34 - 22:34 So.

#### Daniel Matlick

22:37 - 22:38 You know, that's kinda cool.

#### Daniel Matlick

#### 22:38 - 22:48

I think it'll get used more, especially with all the student housing, around in everything than the event would on occasion.

#### Daniel Matlick

22:48 - 22:50 So, it's unique.

#### Daniel Matlick

22:51 - 22:53 And I like that.

#### Daniel Matlick

22:55 - 22:59

Something, adding new character to the, know, the historic district.

#### Steve Kozachik

23:04 - 23:09

For those of us who have ruined our knees running long distance and can't do lateral movement anymore.

#### • miguel

23:11 - 23:12 Yeah, I still see Steve running.

#### Steve Kozachik

23:13 - 23:15 Thank you for calling it that.

#### • miguel

23:15 - 23:16 Ok.

#### • miguel

23:19 - 23:19 Daniel.

#### miguel

## 23:19 - 23:26

To answer your question, too, yeah, it is a very unique use, right, and they're really excited about keeping it.

#### • miguel

23:27 - 23:32 It's not a huge amount of court, but because I think it's location is really good.

s

• miguel

#### 23:32 - 23:34

I think that's why Ownerships really excited about it.

#### • miguel

#### 23:34 - 23:37

Even though, you know, they can't drop in a court that they're excited at that.

• miguel

#### 23:37 - 23:43

We had to Wedging three, to the point where they're willing to delay a little bit to try to get it to open, you know.

#### Daniel Matlick

#### 23:44 - 23:54

Yeah, I mean, that's, I was really curious about the indoor pickle courts, it just seemed like under valuing, know, that historic structure.

#### Daniel Matlick

23:54 - 23:56 So, it's kind of.

#### Daniel Matlick

#### 23:58 - 24:17

Taken, they curia curiosity out of why they were doing that, if it's just temporary, then you know, it's, it's putting it to use and you know, I know as we were tearing down maloney's and in, scattering out all the people that were living inside there.

#### Daniel Matlick

#### 24:17 - 24:26

You know, when we had the fire the Corvair building not too long ago I still suspicious you know who is living in there and how that fire got started?

#### Daniel Matlick

#### 24:28 - 24:42

Yeah, Having the building occupied and being used for a purpose, whether it's for three years, five years, seven years, until the next phase, um, that's, it's better than anything they can know for, for a lot of reasons.

#### Daniel Matlick

#### 24:42 - 25:02

So, You know, that's kinda nice, And I can see when they do build their tower is that, you know, comes to pass and they start working on what the amenities are

#### **FORS** С h 1 t е С t u re+ - T nterlo r s

going to be for that residential structure That, hey, we got you got free pickle ball courts.

#### • **Daniel Matlick**

#### 25:03 - 25:05

You know, as part of it, and that's why I could see them keeping it.

#### • miguel

25:08 - 25:10 That's exactly the thoughts.

#### miguel •

#### 25:10 - 25:21

You've kind of nailed it, and even though the cost is gonna be kinda high to put those two courts in, and obviously, changing our development plan and construction, they think it's worth the long term, and, you know, use for the, for the whole neighborhood.

#### **Daniel Matlick**

25:27 - 25:28 Interesting.

#### **Daniel Matlick**

25:28 - 25:35

Yeah, I watch the construction every day, because I'm adjacent.

#### **Daniel Matlick** •

25:35 - 25:35 lt's.

#### **Daniel Matlick** .

25:37 - 25:39 It's nice to see the progress.

#### miguel •

25:43 - 25:47 Our biggest issue, Danielle, is that we didn't like you.

#### • miguel

25:47 - 25:48 We didn't get pulled out of the federal.

#### miguel

25:49 - 25:50 That was taken longer.

#### miguel

25:50 - 25:55 We didn't get pulled out of the federal floodplain with that kind of little Pho puffing.

#### miguel •

25:55 - 25:57 And they still think we won't be out for.

#### miguel •

#### 25:58 - 26:05

They think this new construction will pull us out, but unfortunately love burger. You know, had to be built above it because it.

#### miguel

26:05 - 26:06 Right.

#### miguel •

26:06 - 26:07 Because it won't, they don't see.

#### miguel

#### 26:07 - 26:11

At a time it goes through, they're still telling us maybe 2, 3 minimum years.

miguel

#### 26:12 - 26:16

So unfortunately, we've had to take more time because we had to build above it.

#### Daniel Matlick

#### 26:17 - 26:22

Yeah, and the sad part is, I went through this state with your help in your office.

#### Daniel Matlick

26:22 - 26:29

Once you know, the great difference, we're talking inches, it's, it's really minimal.

#### Daniel Matlick

26:31 - 26:33 But it is what it is.

#### Steve Kozachik

26:34 - 26:37 Even the link's isn't going to pull this out of the floodplain me go.

#### miguel

26:38 - 26:42 It will, they think now, but they gotta go through the whole registration process.

miguel

## 26:42 - 26:51

Steve, is the way it was explained to me, and the whole getting it, federally, you know, all the paperwork, which could take, they won't make a promise.

miguel

26:51 - 26:53 They said it could take more than two years.

#### • miguel

#### 26:53 - 26:58

But it is allegedly now with links the, the, both the pull it out of the, of the floodplain.

#### Steve Kozachik

26:59 - 27:01 But you had to design to the curve.

#### • miguel

27:02 - 27:03 Right.

#### Steve Kozachik

27:03 - 27:03 Now.

#### Daniel Matlick

#### 27:04 - 27:11

How does, how does links, because the flow comes from east, Wes, doesn't it had its links effect that.

#### • miguel

27:12 - 27:14 They're completing that?

#### • miguel

27:14 - 27:15 Oh, go ahead, going.

#### Steve Kozachik

27:15 - 27:16 No, you go ahead.

#### • miguel

27:16 - 27:23

They're completing the last link of that wastewater system, and the calculations are updated, because they're putting in that piece.

#### • miguel

27:23 - 27:25 Daniel, that's on seventh, You know.

#### • miguel

27:25 - 27:28 So there are additional wastewater items that are going in.

#### Daniel Matlick

27:30 - 27:32 Just to the.

#### • miguel

27:32 - 27:34 Story and story.

miguel

27:34 - 27:34 Right.

#### Daniel Matlick

27:34 - 27:34 Not wait, Yes.

#### • miguel

27:35 - 27:37 Man, way, sorry, sorry, I apologize that way.

#### Daniel Matlick

27:38 - 27:40

Yeah, that would make sense.

#### Daniel Matlick

27:41 - 27:47

And I know, again, with the meeting Steve had set up for me, you know, you can do your own studies.

#### Daniel Matlick

27:47 - 27:55 You know, get the Corps of Engineers, everything in, but that's costly, and no guarantees, and how much time is that going to take anyway, so? [speaker unknown]: 28:00 - 28:01 Yeah.

#### Daniel Matlick

28:02 - 28:04 So what what step in the process?

#### Daniel Matlick

28:07 - 28:11 I'm assuming that this is a public meeting neuron and not the i.i.d.

#### Daniel Matlick

28:11 - 28:12 Meeting.

#### Daniel Matlick

28:12 - 28:16 Is that next door where are you in your process?

#### • FORS Richard

#### 28:20 - 28:27

This is the neighborhood meeting that we had to hold before we submitted to the ID for this revision.

#### FORS Richard

#### 28:27 - 28:36

You know what, what ended up happening was, we weren't even sure that this was going to be significant enough that he could not have been reviewed by the design professional.

#### FORS Richard

#### 28:36 - 28:46

So, that it could have been approved internally, but they determined that it was enough of a change in their eyes from what we had proposed previously, that they wanted it to be made publicly available.

#### FORS Richard

#### 28:46 - 28:53

So, this is our neighborhood meeting that we had before the, this the middle, and after this concludes.

#### John Burr

28:53 - 28:53 You know.

#### • FORS Richard

28:53 - 28:57

We've been, we have notes, will submit comments that you guys have made.

#### FORS Richard

#### 28:57 - 29:04

And all four of us, and we'll go, we'll submit for the IOT or planning on doing that tomorrow, the next day.

#### FORS Richard

29:04 - 29:10

And then, it will move through the regular process, where they review it, and then there is the formal i.i.d.

#### FORS Richard

29:10 - 29:12 Meeting and historic meeting, and, et cetera.

#### • FORS Richard

29:12 - 29:13 But, this is the Neighborhood meat.

#### • FORS Richard

29:13 - 29:14 You're exactly correct.

#### FORS Richard

29:14 - 29:14 Ok.

#### Daniel Matlick

29:14 - 29:15 Yeah, I wasn't sure.

#### Daniel Matlick

29:15 - 29:19 You can see the type of participation.

#### Daniel Matlick

29:19 - 29:20

We can't.

#### Daniel Matlick

29:20 - 29:28

Unfortunately, we had only a little more for the NCAA stuff yesterday, right?

#### Daniel Matlick

29:31 - 29:32 It's, it's frustrating.

#### Daniel Matlick

29:33 - 29:35 But it is what it is.

#### Daniel Matlick

29:35 - 29:36 In the.

#### • Steve Kozachik

29:36 - 29:38 Second, Daniel, how was it?

#### • Steve Kozachik

29:38 - 29:40 How well attended was the second meeting yesterday?

#### Daniel Matlick

29:41 - 29:42 Was it was even less.

#### Steve Kozachik

29:43 - 29:43 Hong-kong.

#### Daniel Matlick

29:44 - 29:44 Yep.

#### Daniel Matlick

29:45 - 29:45 Yeah.

#### Daniel Matlick

29:45 - 29:55 Yeah, and I reached out to Linda, and asked her to get it one-on-one appointment with Scott Cummings.

#### • Daniel Matlick

29:56 - 30:01 Because is property is that the center where the problems usually are?

Daniel Matlick

30:01 - 30:06 And he's got all those outside patios and, you know, everything going on.

#### Daniel Matlick

30:06 - 30:13 And I thought he curated a one-on-one's, and I said, I was able to co-ordinate that.

#### Daniel Matlick

30:13 - 30:16 And that's going to happen today or tomorrow.

#### • Steve Kozachik

30:17 - 30:17 Good.

#### Daniel Matlick

30:23 - 30:25 But yeah, yeah, yeah.

Daniel Matlick

30:25 - 30:30 For my personal perspective, No, I don't see any problems with the change.

#### Daniel Matlick

30:31 - 30:32 Yeah, I like it.

#### Daniel Matlick

#### 30:33 - 30:42

Especially knowing that, you know, the corporate buildings, someday we'll, we'll probably be that a higher, higher use.

#### Daniel Matlick

30:42 - 30:46 But, you know, I, like I said, vacant buildings down here.

#### Daniel Matlick

30:46 - 30:48 Just doesn't do us any good.

#### Daniel Matlick

30:48 - 30:51 And so I think it will be.

#### Daniel Matlick

30:51 - 30:58 If it's populated, there'll be less abuse and harm done to it.

### Daniel Matlick

31:01 - 31:02 Oh.

#### Daniel Matlick

31:02 - 31:04 And the landscaping looks good.

Daniel Matlick

#### 31:08 - 31:12

Parking is on Seventh Avenue right there.

• FORS Richard

31:14 - 31:14 Yes, I.

### Daniel Matlick

31:14 - 31:16 Noticed the bigger sidewalk.

#### Daniel Matlick

31:16 - 31:21 At 75th, being built out it, it definitely made Fifth Avenue.

Daniel Matlick

31:21 - 31:23 Narrower, it's a choke point.

### Daniel Matlick

31:24 - 31:27 It's it's a done deal now.

### Daniel Matlick

31:27 - 31:30 I was just curious, like, what was the concept there?

#### • miguel

31:33 - 31:41 Ed, Daniel Yergin, Evans Hall, Metered Parking, I'm going up at cemetery.

#### • miguel

31:42 - 31:44 Those two areas that you see right there.

#### • FORS Richard

31:45 - 31:47 Let's jump back there.

• miguel

31:48 - 31:49 Right there.

#### • miguel

31:51 - 31:54 The parking along seventh street.

### • FORS Richard

31:54 - 31:58 No one hears on the street, and then over here, there's a little bit.

• John Burr

32:02 - 32:05 I have a couple of questions in terms of process.

• John Burr

32:06 - 32:07 Hi, I'm John Berger.

#### • John Burr

32:07 - 32:11

I'm on the ID Design Review Committee, and we approve this high Richard and Miguel.

John Burr

#### 32:13 - 32:24

That black and white plan is showing at different, somewhat different illustration from what you're showing on the aerial in terms of landscaping around the courts and so on and so forth.

#### • John Burr

#### 32:24 - 32:35

I assume do you have a new TSA number for this because the number on that the notices for a prior approved plan it's moving forward.

John Burr

32:35 - 32:40

But I assume this doesn't have to go to PRS because it looks like you're putting signage on the building and.

• John Burr

32:43 - 32:47 I guess it's all interior, so that's kind of out of their purview on that particular building.

John Burr

32:47 - 32:50

But do you have any idea when it will be coming forward.

#### • miguel

32:51 - 32:51 lf.

#### FORS Richard

32:52 - 32:52 It

•

#### miguel

32:52 - 32:53 Has been submitted.

#### • miguel

32:54 - 32:57 Under the same number, John is considered a revision.

#### • miguel

32:57 - 32:58 That's why it has the same number.

#### • John Burr

32:59 - 33:01 Ok, all right, in.

#### • miguel

33:02 - 33:03 All interior changes.

• miguel

33:04 - 33:13 Um, and from a landscape standpoint, it's pretty close to similar, but there were some things that ...

#### miguel

33:13 - 33:13 Made us change.

• John Burr

33:14 - 33:15 Ok?

• John Burr

#### 33:16 - 33:23

Um, are there changes to parking requirements for Pepco Bar Courts versus restaurants?

• John Burr

#### 33:23 - 33:29

I assume it would be somewhat reduced, although you're having restaurant component here.

- John Burr
- 33:29 33:36

And how will that affect future ID review, future building and parking?

• John Burr

#### 33:37 - 33:38 Going forward?

- miguel
- 33:39 33:46

As far as we now, know, we got the first idea approved with restaurant use in the corporate building, and they would like to come back to that.

• miguel

33:47 - 33:56 But when under the initial phasing of going vertical, they would be providing on site parking.

• John Burr

33:59 - 34:00 Ok.

• miguel

34:00 - 34:01 Within the structure.

John Burr

34:03 - 34:08

Within the structure, that whatever is read about there, I also had a follow up question.

#### • John Burr

#### 34:09 - 34:14

Did T dot ever approved the traffic circle going in the fifth, and seventh, and a revision?

#### miguel

#### 34:15 - 34:21

Yes, And it was John, I don't know if you knew it was actually their idea to put it in the circle, and yes, they did.

#### • John Burr

34:22 - 34:25 It was still up in the air when I last reviewed this last summer.

#### • John Burr

34:26 - 34:26 So.

#### • miguel

34:26 - 34:26 Ok.

#### miguel

34:27 - 34:27 They did.

#### • John Burr

34:28 - 34:31

Awhile, and I avoided the area at all costs for.

#### • miguel

34:31 - 34:32 Various.

#### • John Burr

34:32 - 34:33 Reasons.

#### • John Burr

34:33 - 34:34 So I haven't even really looked at it.

#### • John Burr

34:35 - 34:40 Have you put up at the per

Have you put up at the perimeter fencing and so on and so forth around the future parking lot?

#### John Burr

34:42 - 34:44 Or towards the end of that?

• miguel

34:45 - 34:49

No, it's up now, they, They've, they've done preliminary grading on that part.

#### • miguel

#### 34:49 - 35:01

They just haven't done the area outside, like where the roundabout is that they're working on the inside right now, because links, there's too much overlap with links right now outside the property line.

#### • John Burr

35:01 - 35:02 Do you plan?

• John Burr

#### 35:02 - 35:09

Any changes to the Corvette building itself other than signage along the rear from previous iterations?

• miguel

35:10 - 35:11 No.

#### • miguel

#### 35:11 - 35:18

Now, the only thing that will happen is that, that that bad lead to that we're putting bathrooms in right now, will eventually there.

• miguel

35:18 - 35:20 We're pretty sure that'll get torn down.

#### • miguel

35:21 - 35:25

It's not part of the original building, You know, it's that kinda low thing, where all the homeless use it to get up on the roof.

#### • miguel

35:27 - 35:30 But, that's, again, we're not proposing changing it at all right now.

• miguel

35:30 - 35:32 It's not part of the original structure.

• miguel

35:32 - 35:35 It's a really low, kind of, shocky link, on the backend, on the file.

• John Burr

35:37 - 35:37 Ok.

miguel

35:38 - 35:38 We're not.

#### • John Burr

35:38 - 35:39 Putting.

#### • miguel

35:39 - 35:40 Any new openings.

#### • miguel

35:40 - 35:42 We're not doing anything to the existing historic building.

### • John Burr

#### 35:44 - 35:55

The other thing is, if you do go back to a restaurant design, you will no longer have any AXT year courtyard space for that restaurant.

#### • John Burr

35:55 - 35:57 By putting in these Pikul balls.

#### miguel

35:58 - 36:02 We still, we still retain the 15 to 17 feet to the, to the east.

### • miguel

36:02 - 36:03 We did that purposely.

### • John Burr

36:04 - 36:05 You've got that much still.

### • miguel

36:06 - 36:07 Ok, yeah, we think it's.

### • John Burr

36:07 - 36:11 Pretty, pretty cool, OK.

### • John Burr

36:11 - 36:12 So it's right there.

### • John Burr

36:14 - 36:19 And so also, services for pickle ball courts are to the east on this particular plan.

### • miguel

36:20 - 36:20 You.

#### • John Burr

36:20 - 36:21 Currently.

miguel

36:24 - 36:24 Outdoors.

#### • John Burr

36:24 - 36:25 I know.

#### • miguel

36:25 - 36:27 John, as you know, we do a lot of restaurants.

• miguel

36:27 - 36:28 Outdoor space is really important to us.

John Burr

36:30 - 36:33 And to be frank, I'd never heard of Pickle ball and I just Googled it.

• John Burr

36:33 - 36:38 And I guess there's four courts in town, but it's apparently a fairly new phenomenon.

• John Burr

36:39 - 36:40 Good luck to you, I guess.

• miguel

36:41 - 36:49 They converted Randolph, quite a few there, I heard they're going to my neighborhood Hemel, they're gonna convert there, and they've done some up up up north.

• miguel

36:51 - 36:55 But they've already converted at rand, I'm sorry, I call it Randolph because I'm old, but yeah.

• miguel

36:56 - 36:57 Machinery part.

### FORS Richard

36:57 - 36:58 Read part.

John Burr

36:58 - 36:59 Alright?

#### Steve Kozachik

 $245\ east\ congress\ street. \# 135.tucson.az. 85701\ 520.795.9888.www.FORSarchitecture.com$ 

## FORS "

36:59 - 37:02

You've also got some of the crew up down by the river.

С h

#### Steve Kozachik •

37:02 - 37:05

Some out east there are scattered around all over town.

#### John Burr

37:07 - 37:09 I don't think I'm the target demographic.

#### Steve Kozachik

37:10 - 37:13

No, you actually are gone because you're quite old.

### John Burr

37:14 - 37:20

I think I'm younger than you significantly, although I may look a little older, I've got while you're here.

#### John Burr •

37:21 - 37:25 Um, just be on that side of things.

#### John Burr .

37:26 - 37:26 I didn't see any.

### Diana Amado

37:26 - 37:27 Problem.

#### John Burr .

37:27 - 37:38

With, I assume it will get a new activity number though, because it's a revision and it will, I have to go through with that TSA, July 22 number to be reviewed.

#### John Burr •

37:39 - 37:46

So you're just turning in an application tomorrow, formerly, and so this will be available on the Pro site.

#### John Burr

37:47 - 37:51 Actually, they're running nine weeks behind for even doing anything.

#### John Burr .

37:51 - 37:53 So you're thinking probably.

#### John Burr .

37:56 - 37:59

We have an ID design review committee meeting on the 22nd.

John Burr

#### 37:59 - 38:02

I assume this will be May when we take a look at it.

#### John Burr

ltecture+Interlors

38:04 - 38:05

You were, you were talking about summer but.

### FORS Richard

#### 38:07 - 38:11

Yeah, we were hoping it wasn't going to be that long, but we didn't know that.

#### FORS Richard

38:11 - 38:13 That's good, That's information to us, Joan.

#### • John Burr

38:14 - 38:24

A lot of applications that were turned in in January, I have yet to even be assigned an activity number from other developers is what I've been seeing.

#### Diana Amado

38.25 - 38.26 Horrible.

#### John Burr •

38.27 - 38.28 Just FYI.

#### John Burr .

38:31 - 38:33 You may need to call Corrine.

- miguel
- 38:34 38:37

Yeah, we're hoping to get on the April docket so that's scarv.

#### • John Burr

38:38 - 38:47

We haven't had one since December, so things are picking up all the way in review processes and a lot of meetings that are happening.

### John Burr

38:47 - 38:49 I've had five a week for the last two weeks.

John Burr

38:53 - 38:54 Anyway, just a heads up.

John Burr

38:55 - 39:05 If that's, it's fine by me, I hope hope you don't spend too much on the interior because I think the community at large would really like to see the Corvette go back to.

## **FORS** a

#### John Burr

39:07 - 39:10 More general use is supportive of a larger development.

c h

#### John Burr

39:12 - 39:13 Down the road.

#### • miguel

39:16 - 39:17 Yeah.

#### • John Burr

39:17 - 39:17 That's.

#### • miguel

39:17 - 39:19 The full intent, John.

### • miguel

39:20 - 39:27

But right now, they're focused on obviously getting love burger and that whole corner up and then and then we're almost.

#### • miguel

39:27 - 39:30

You know, we're in the middle of rehabilitating the building as you know.

### • John Burr

39:32 - 39:43

You've said you've had to do a lot of various changes to the actual building, have the have any revised plans been adapted for the restaurant?

### • John Burr

#### 39:44 - 39:51

Apparently you had to raise it change its its rough profile and some other things, but none of that information is available on the website.

#### • John Burr

39:51 - 39:52 So.

## • miguel

39:52 - 39:53 You're talking about love Burger, John?

### • John Burr

39:54 - 39:58 Yes, That is that all on within the building permit?

## • John Burr

39:58 - 39:59

Part of that was.

ltecture+Interlor

miguel

39:59 - 39:59 All.

miguel

40:00 - 40:01 That was all part of the original ID. S

• John Burr

40:02 - 40:03 Ok, No.

• miguel

40:03 - 40:04 No changes to that.

• John Burr

40:06 - 40:09 It's mainly process, but thanks for Indicting.

## FORS Richard

40:18 - 40:20 Anybody else have anything?

### FORS Richard

40:25 - 40:29 Alright, I guess we're gonna go ahead and wrap it up then, OK.

- miguel
- 40:30 40:35 Go check your brackets guys, ladies and gentlemen and go check your bracket.

### Daniel Matlick

40:35 - 40:36 Yeah.

Daniel Matlick

40:37 - 40:38 Are down, bear down.

• miguel

40:38 - 40:39 Or down.

### FORS Richard

40:40 - 40:44 Tomorrow night, as a good thing we didn't hit, we purposely said this meeting.

FORS Richard

40:45 - 40:50 And just in time, I guess, if we would have had it had in the last attendance, if the, I.

#### Daniel Matlick

40:50 - 40:51 Would, have been one last.

#### Diana Amado

40:55 - 40:56 So, you're gonna get.

#### • FORS Richard

40:56 - 40:57 Out, everybody.

#### Daniel Matlick

40:57 - 40:58 Thank you.



### The Corbett Building Site Tenant Improvement & Development Plan

#### ADDRESS:

**1)** 210 E 7th St, 320, 340 N 6th Ave, 345 N 5th Ave **2)** 225 E. 8th St, Tucson AZ 85705

## LEGAL:

1) TUCSON NLY PTN & PTN ABAND ALLEY BLK 73 2) TUCSON SLY PTN & PTN ABAND ALLEY LYG W & ADJ 5TH AVE BLK 73

#### PARCEL:

1) 11705069D & 2) 11705069C

### AREA:

1) 90,006 sf + 2) 20,668 = 110,647 sf total

#### USE:

1) 3710 (Warehousing)

2) 0031 (Vacant Industrial Urban Subdivided)





NORTH FACADE







SOUTH EAST FACADE







SOUTH WEST FACADE





WEST FACADE

## **CORBETT SHELL** 340 n 6th ave Tucson, AZ 85705

NORTH WEST FACADE



245 E Congress St. #135 rchitecture interiors 520.795.9888



LOOKING NORTH FROM SITE



LOOKING NORTH EAST FROM SITE



LOOKING SOUTH FROM SITE



LOOKING WEST FROM SITE

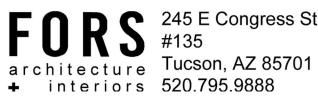


**CORBETT SHELL** 340 n 6th ave

Tucson, AZ 85705



LOOKING NORTH WEST FROM SITE



245 E Congress St. #135

## **Prescedent Examples**

1. Exo Roast- Coffee Shop

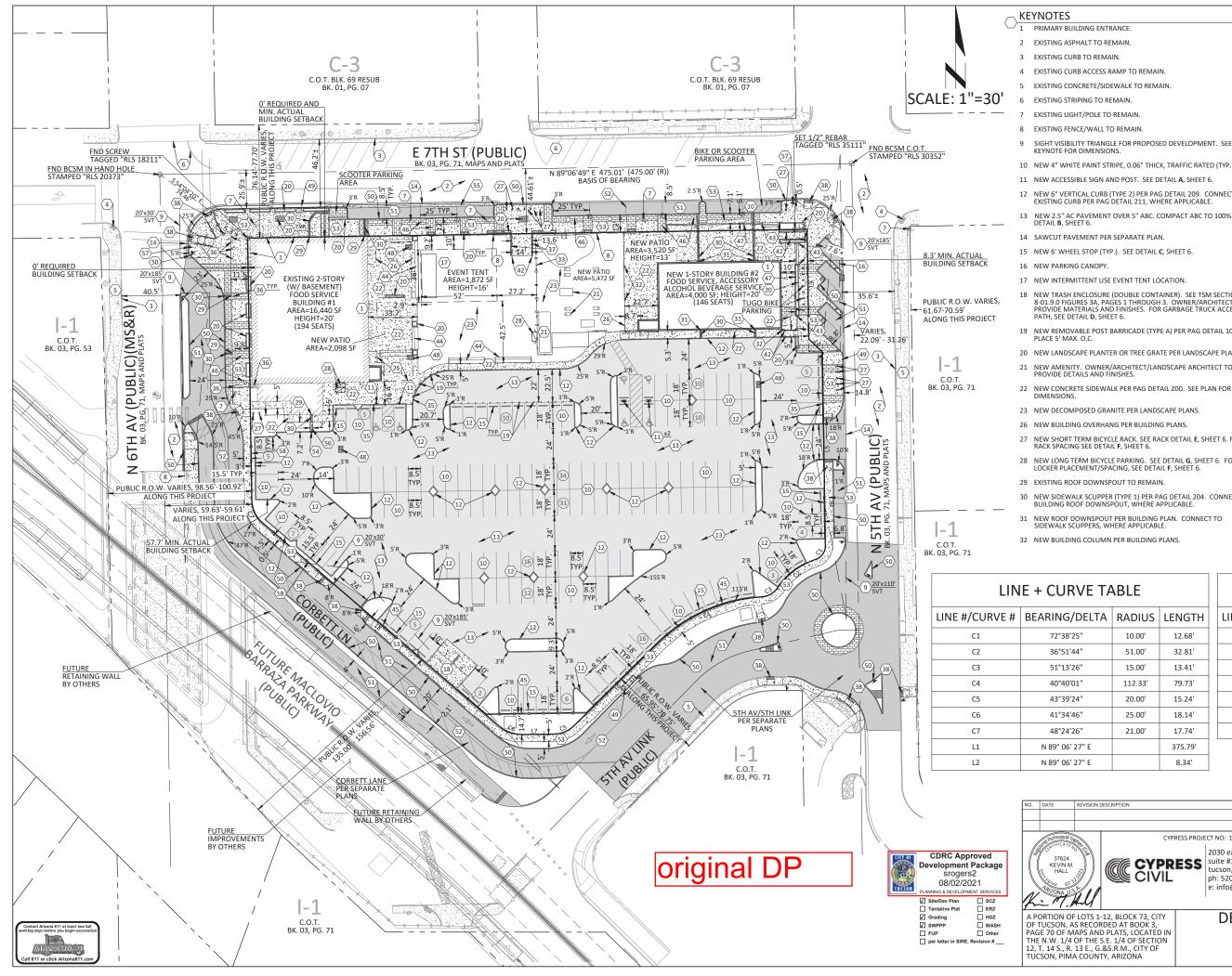
403 N. 6<sup>th</sup> Ave, Tucson, AZ 85705



2. The Royal Room- Entertainment venue and bar

450 N. 6<sup>th</sup> Ave, Tucson, AZ 85705





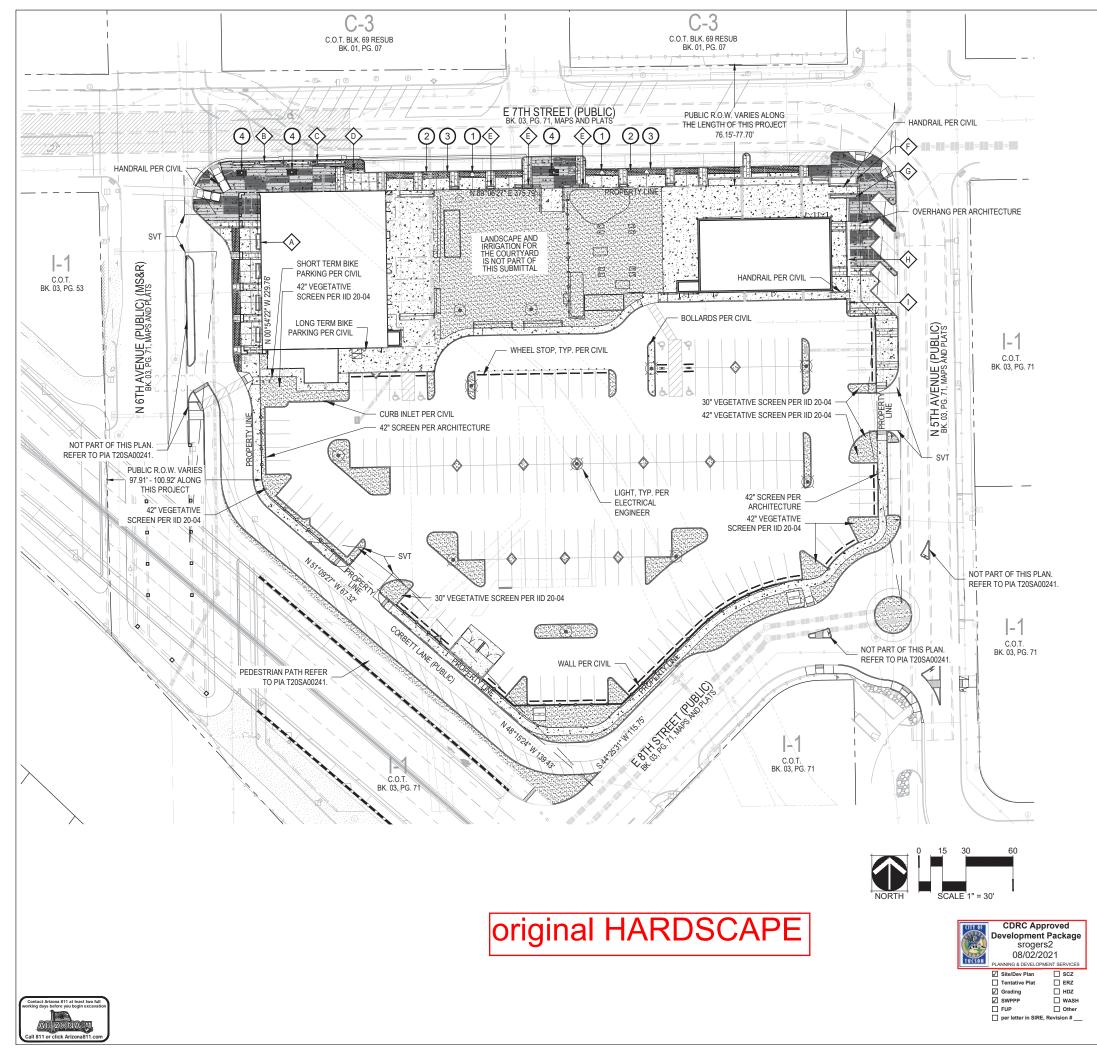
- SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
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- 18 NEW TRASH ENCLOSURE (DOUBLE CONTAINER). SEE TSM SECTION 8-01.9.0 FIGURES 3A, PAGES 1 THROUGH 3. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES. FOR GARBAGE TRUCK ACCESS PATH, SEE DETAIL **D**, SHEET 6.
- 19 NEW REMOVABLE POST BARRICADE (TYPE A) PER PAG DETAIL 107.
- 20 NEW LANDSCAPE PLANTER OR TREE GRATE PER LANDSCAPE PLANS.
- 21 NEW AMENITY. OWNER/ARCHITECT/LANDSCAPE ARCHITECT TO PROVIDE DETAILS AND FINISHES.
- 27 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL **E**, SHEET 6. FOR RACK SPACING SEE DETAIL **F**, SHEET 6.
- 28 NEW LONG TERM BICYCLE PARKING. SEE DETAIL **G**, SHEET 6. FOR LOCKER PLACEMENT/SPACING, SEE DETAIL **F**, SHEET 6.
- 30 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. CONNECT TO BUILDING ROOF DOWNSPOUT, WHERE APPLICABLE.

- 33 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
- 34 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
- 35 NEW CONCRETE HEADER PER PAG DETAIL 213.
- 36 EXISTING BUILDING COLUMNS TO REMAIN
- 37 NEW RETAINING WALL PER SEPARATE PLAN.
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- 42 NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL H, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
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241

ABLE				LINE + CURVE TABLE				
١	RADIUS	LENGTH		LINE #/CURVE #	BEARING/DELTA	RADIUS	LENGTH	
	10.00'	12.68'		L3	S 00° 53' 34" E		75.36'	
	51.00'	32.81'		L4	S 45° 53' 31" E		12.92'	
	15.00'	13.41'		L5	S 00° 53' 33" E		132.83'	
	112.33'	79.73'		L6	S 45° 27' 02" W		80.44'	
	20.00'	15.24'		L7	S 89° 06' 25" W		21.31'	
	25.00'	18.14'		L8	N 49° 18' 48" W		213.91'	
	21.00'	17.74'		L9	N 00° 54' 22" W		179.96'	
		375.79'						
		8.34'					H	

					r20SA00
SCRIPTION			BY	OWNER/DEVELOPER	OS/
				CORBETT PARTNERS 3040 SKY CT	12
CYPRESS CIVIL butcoson, arizona ph: 520.499.243		2030 east speedway bo	PLACERVILLE, CALIFORNIA 95667 ATTN: SCOTT STITELER		<b>0125</b> 20-04;
		ucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com		SITE ADDRESS 320 AND 340 NORTH 6TH AVENUE TUCSON, ARIZONA 85705	DP20-(
12, BLOCK 73, CITY DED AT BOOK 3, PLATS, LOCATED IN .E. 1/4 OF SECTION &S.R.M., CITY OF Y, ARIZONA		_	RBET	IT PACKAGE for IT BLOCK plan	3 ₀ 15



A PORTION OF LOTS 1 - 12 CITY OF TUCSON, BOOK 3 PIMA COUNTY, ARIZONA

REVISION DES

NO. DATE

SITE A		DTL/SHEET	QTY
	TREE RING MODEL: CUSTOM DENVER TRIANGULAR MANUFACTURER: IRONSMITH	4/12	10
2	PAVER-GRATE MANUFACTURER: IRONSMITH	4/12	10
3	ROOT BARRIER MODEL: UB 24-2 MANUFACTURER: DEEPROOT	6/12	190 LF
4	4' x 6' TREE GRATE MODEL: METRO MANUFACTURER: IRONSMITH	2/12	6
CONTA	INER SCHEDULE		
KEYNOTE	DESCRIPTION	DTL/SHEET	QTY
$\langle A \rangle$	SIZE: 3' x 10' COLOR: TBD	5/12	4
	SIZE: 2"-6" x 13'-7" COLOR: TBD	5/12	3
$\Diamond$	SIZE: 2'=6" x 18'-1" COLOR: TBD	5/12	1
$\bigcirc$	SIZE: 2' x 13'-5" COLOR: TBD	5/12	1
Ē	SIZE: 2' x 5' COLOR: TBD	5/12	10
F	SIZE: 6'-7" x 18' COLOR: TBD	5/12	1
Ġ	SIZE: 2'-8" x 18' COLOR: TBD	5/12	1
Ĥ	SIZE: 2'-8" x 35' COLOR: TBD	5/12	1
$\langle \rangle$	SIZE: 2'-6" x 8'-6" COLOR: TBD	5/12	1
SURFA	CING SCHEDULE		
SYMBOL	DESCRIPTION	DTL/SHEET	QTY
	INTEGRAL COLORED CONCRETE COLOR: TBD FINISH: LIGHT SANDBLAST	1/12	2,009 SF
	INTEGRAL COLORED CONCRETE COLOR: TBD FINISH: MEDIUM SANDBLAST	1/12	2,083 SF
	NATURAL GREY CONCRETE FINISH: MEDIUM BROOM	1/12	17,980 SF
	PERMEABLE PAVER		

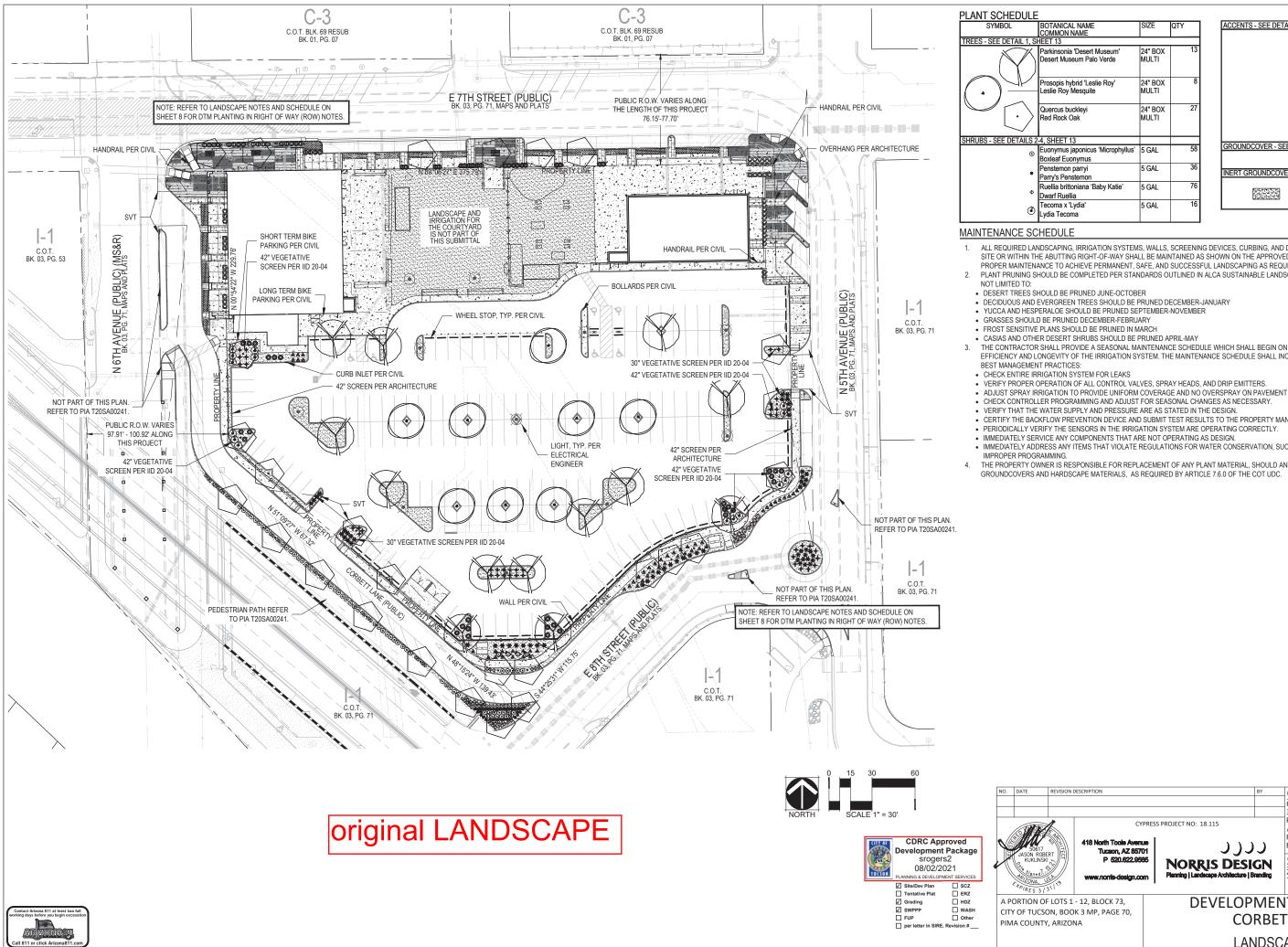
COLOR: TBD MODEL: AQUA-ROC 6x12

MANUFACTURER: BELG

1,105 SF

6/12

			20SA00241		
CRIPTION	BY	OWNER/DEVELOPER	OSA		
CYPRE	SS PROJECT NO: 18.115	CORBETT PARTNERS 3040 SKY CT PLACERVILLE, CALIFORNIA 95667	4; T2		
CYPRESS PROJECT NO: 18.115 418 North Toole Avenue Tucson, AZ 85701 P 520.822 9585 NORRIS DESIGN	ATTN: SCOTT STITELER PH: (520) 299-3451 E: tucsonurban@gmail.com	-012			
		SITE ADDRESS 210 EAST 7TH STREET TUCSON, ARIZONA 85705	DP20- Ref: IID		
12, BLOCK 73, 3 MP, PAGE 70,	DEVELOPMENT PACKAGE for CORBETT BLOCK				
	HARDS	3040 SKY CT     Figure 1       PLACERVILLE, CALIFORNIA 95667     ATTN: SCOTT STITELER       PH: (520) 299-3451     E: tucsonurban@gmail.com       SITE ADDRESS     OC OIII       210 EAST 7TH STREET     TUCSON, ARIZONA 85705       VT PACKAGE for     9			



AME	SIZE	QTY	ACCENTS - SEE DETAILS 2-4, SHEET 13	
ЛЕ			Bouteloua gracilis Blue Grama	5 GAL 41
esert Museum' n Palo Verde	24" BOX MULTI	13	Carnegiea gigantea Saguaro	4' SPEAR 4
l 'Leslie Roy'	24" BOX	8	Hesperaloe Parvifio Red Yucca	
quite	MULTI		Pedilanthus macroc Lady's Slipper	
eyi	24" BOX MULTI	27	<ul> <li>Nolina lindheimerian</li> <li>Sacahuista</li> </ul>	00012
			▲ Yucca pallida Pale Leaf Yucca	5 GAL 53
nicus 'Microphyllus'	5 GAL	58	GROUNDCOVER - SEE DETAILS 3, SHEET 13	3
nus		36	Lantana x 'New Gol New Gold Lantana	d' 5 GAL 29
ryi non	5 GAL	30	INERT GROUNDCOVER - SEE DETAIL 5, SHE	ET 13
na 'Baby Katie'	5 GAL	76	1" Screened Rock a Color: Santa Fe Go	ld 9,400 SF
a'	5 GAL	16	Pioneer Materials (5	;20.294.0074)
	1	1		

ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY ARTICLE 7.6.8 OF THE COT UDC. 2. PLANT PRUNING SHOULD BE COMPLETED PER STANDARDS OUTLINED IN ALCA SUSTAINABLE LANDSCAPE MANAGEMENT MANUAL THESE INCLUDE BUT ARE

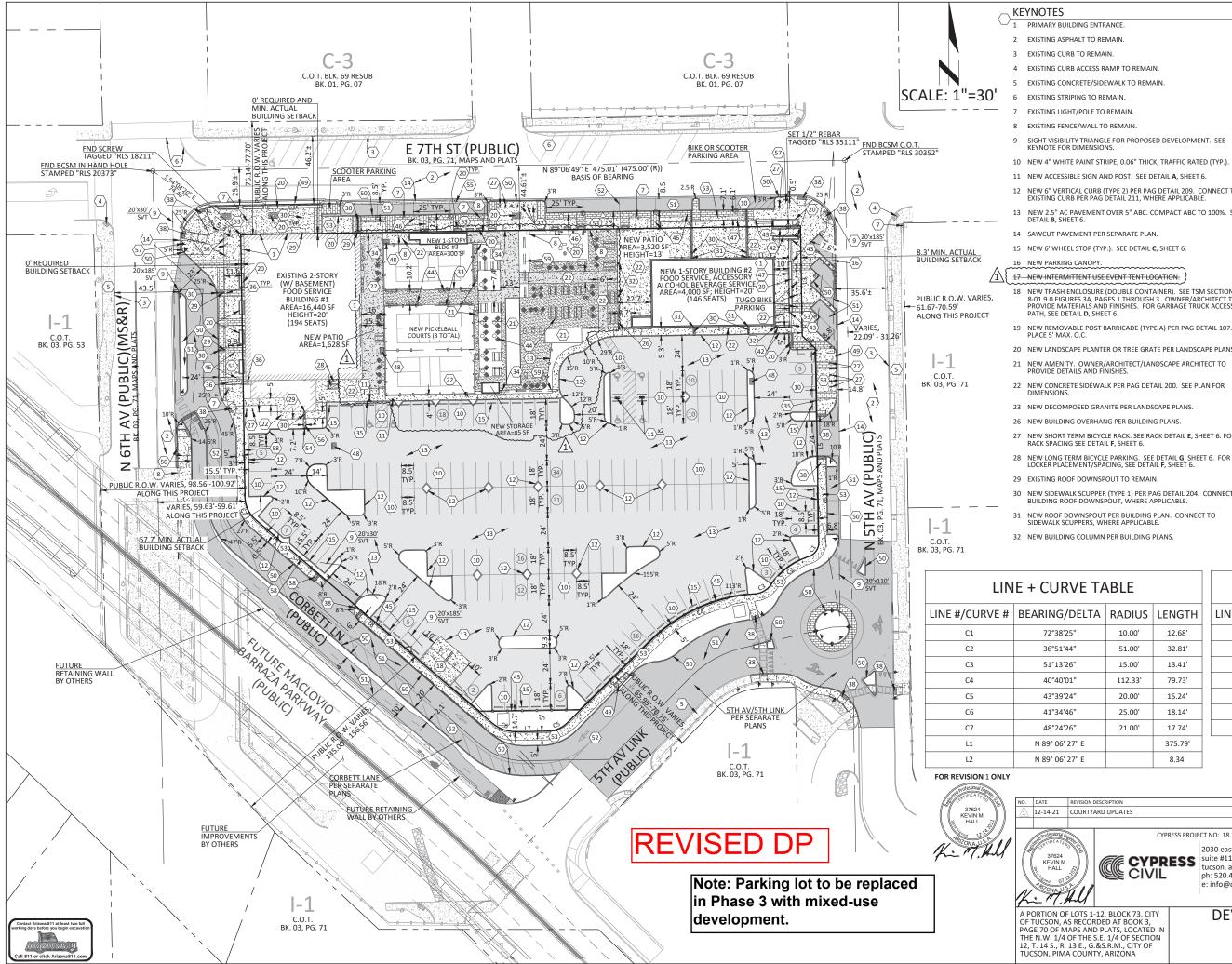
3. THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 1 AND END ON OCTOBER 1 TO ENSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF

· CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER

IMMEDIATELY ADDRESS ANY ITEMS THAT VIOLATE REGULATIONS FOR WATER CONSERVATION, SUCH AS LEAKS, OVER SPRAY, STUCK VALVES, OR

THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANT MATERIAL, SHOULD ANY NOT SURVIVE, AND REPLACEMENT/UPKEEP OF INERT GROUNDCOVERS AND HARDSCAPE MATERIALS, AS REQUIRED BY ARTICLE 7.6.0 OF THE COT UDC.

CYPRESS PROJECT NO: 18.115 I18 North Toole Avenue Tucson, AZ 85701 P 520.622.9585 Www.nortie-design.com		GN	OWNER/DEVELOPER CORBETT PARTNERS 3040 SKY CT PLACERVILLE, CALIFORNIA 95667 ATTN: SCOTT STITELER PH: (520) 299-3451 E: tucsonurban@gmail.com SITE ADDRESS N SITE ADDRESS	
	I			LD B
2, BLOCK 73, MP, PAGE 70,	-		NT PACKAGE for TT BLOCK	<b>10</b>
	LAN	IDS	CAPE PLAN	15



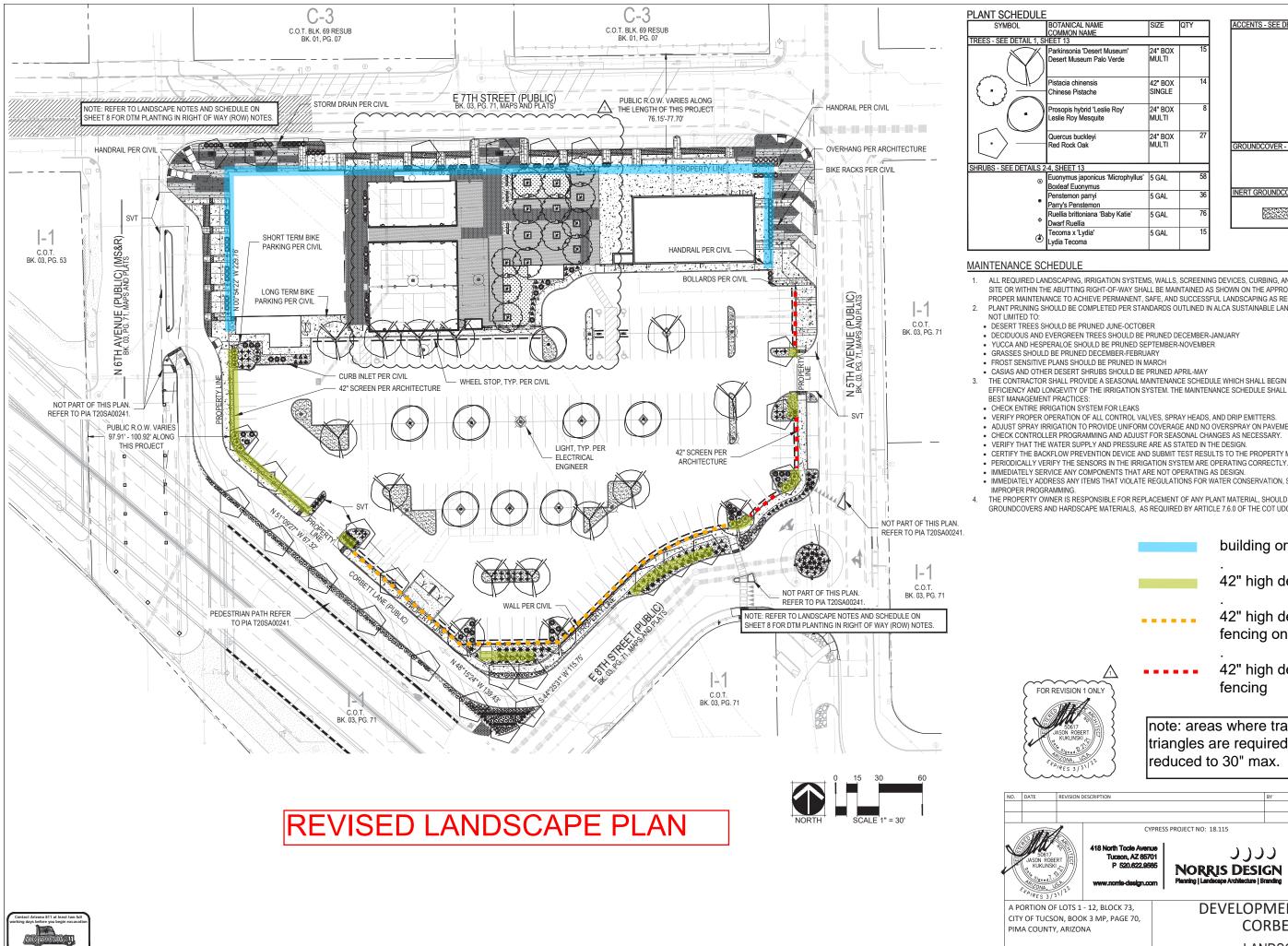
A	N	С	E	

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- 59 NEW STRUCTURAL PORTAL PER BUILDING PLANS.

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	25.00'	18.14'	L8	N 49° 18' 48" W		213.91'	
	21.00'	17.74'	L9	N 00° 54' 22" W		179.96'	
		375.79'					
		8.34'				-	
			•			17.0	

					OSA00	
SCRIPTION			BY	OWNER/DEVELOPER	S I	
RD UPDATES			КМН	CORBETT PARTNERS	50	
				3040 SKY CT	Ĥ	
CYPF	RESS PROJE	ECT NO: 18.115		PLACERVILLE, CALIFORNIA 95667 ATTN: SCOTT STITELER	25 04;	
CC OVER	2030 east speedway bo		oulevard	PH: (520) 299-3451 E: tucsonurban@gmail.com	201	
CIVIL		suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com		SITE ADDRESS 320 AND 340 NORTH 6TH AVENUE TUCSON, ARIZONA 85705	DP20-( REF: IID-:	
2, BLOCK 73, CITY DED AT BOOK 3, PLATS, LOCATED IN				IT PACKAGE for	<b>3</b> ₀₅	
E. 1/4 OF SECTION &S.R.M., CITY OF /, ARIZONA				plan	15	



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sert Museum' Palo Verde	24" BOX MULTI	15	6	Carnegiea gigantea Saguaro	4' SPEAR	4
sis	42" BOX	14	+	Hesperaloe Parviflora Red Yucca	5 GAL	39
he	SINGLE		٥	Pedilanthus macrocarpus Lady's Slipper	1 GAL	56
'Leslie Roy' quite	24" BOX MULTI	8	*	Nolina lindheimeriana Sacahuista	5 GAL	56
yi	24" BOX	27	<b>A</b>	Yucca pallida Pale Leaf Yucca	5 GAL	67
	MULTI		GROUNDCOVER - SEE D	ETAILS 3, SHEET 13		
			0	Lantana x 'New Gold' New Gold Lantana	5 GAL	34
nicus 'Microphyllus' nus	5 GAL	58	•	Tradescantia pallida Purple Heart	5 GAL	24
ryi	5 GAL	36	INERT GROUNDCOVER -	SEE DETAIL 5, SHEET 13		
non			\$2.5% # 192.7% [ 1	1" Screened Rock at a depth of 2"		10,343
na 'Baby Katie'	5 GAL	76		Color: Santa Fe Gold Pioneer Materials (520.294.0074)		SF
a'	5 GAL	15				

ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY ARTICLE 7.6.8 OF THE COT UDC. PLANT PRUNING SHOULD BE COMPLETED PER STANDARDS OUTLINED IN ALCA SUSTAINABLE LANDSCAPE MANAGEMENT MANUAL.THESE INCLUDE BUT ARE

THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 1 AND END ON OCTOBER 1 TO ENSURE THE FFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF

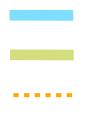
• VERIFY PROPER OPERATION OF ALL CONTROL VALVES, SPRAY HEADS, AND DRIP EMITTERS.

ADJUST SPRAY IRRIGATION TO PROVIDE UNIFORM COVERAGE AND NO OVERSPRAY ON PAVEMENT

CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER

IMMEDIATELY ADDRESS ANY ITEMS THAT VIOLATE REGULATIONS FOR WATER CONSERVATION, SUCH AS LEAKS, OVER SPRAY, STUCK VALVES, OR

THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANT MATERIAL, SHOULD ANY NOT SURVIVE, AND REPLACEMENT/UPKEEP OF INERT GROUNDCOVERS AND HARDSCAPE MATERIALS, AS REQUIRED BY ARTICLE 7.6.0 OF THE COT UDC.



building or 48" high masony wall

42" high dense landscape shrub

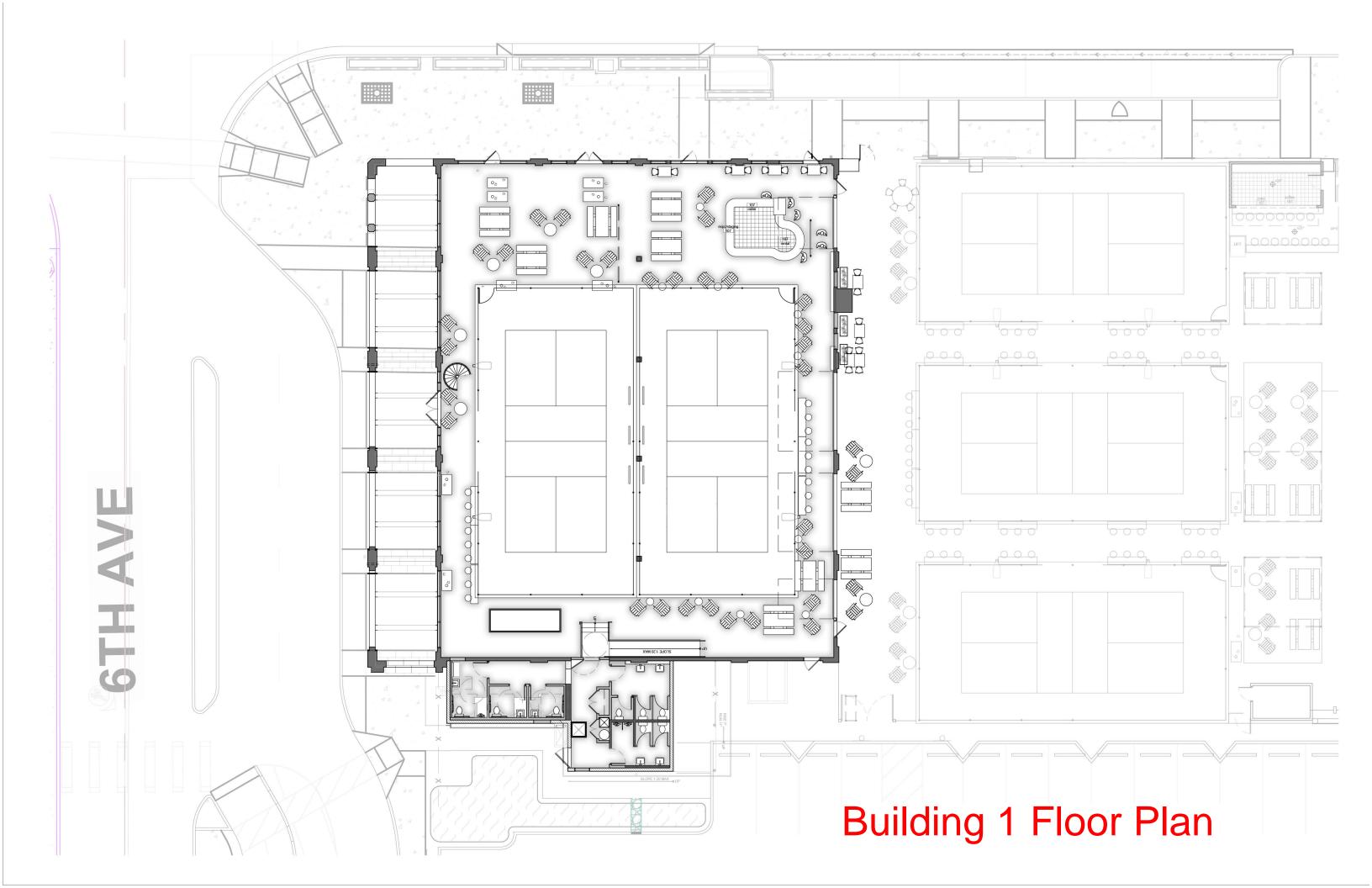
42" high decorative opaque metal fencing on retaining wall

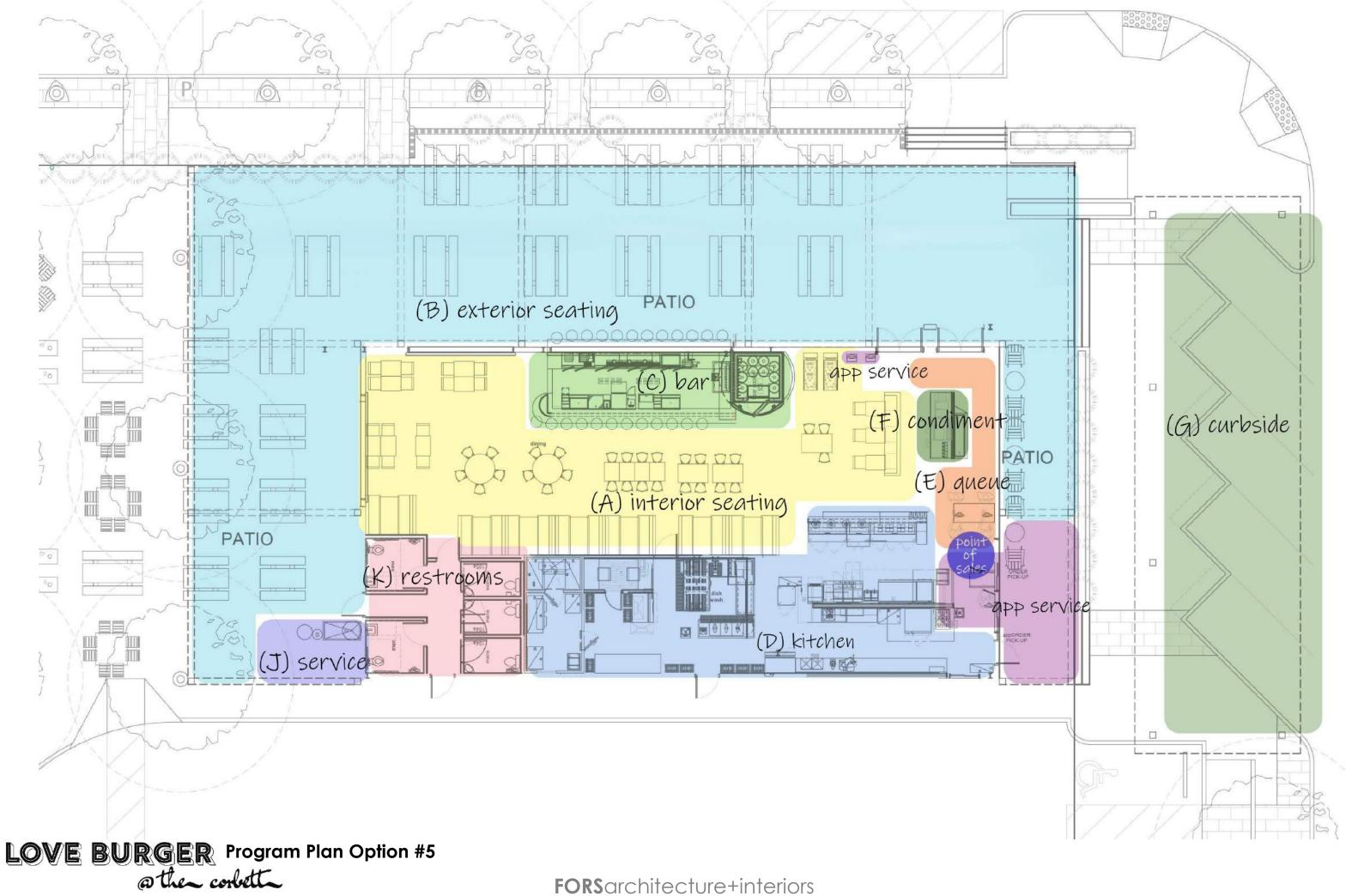
42" high decorative opaque metal fencing

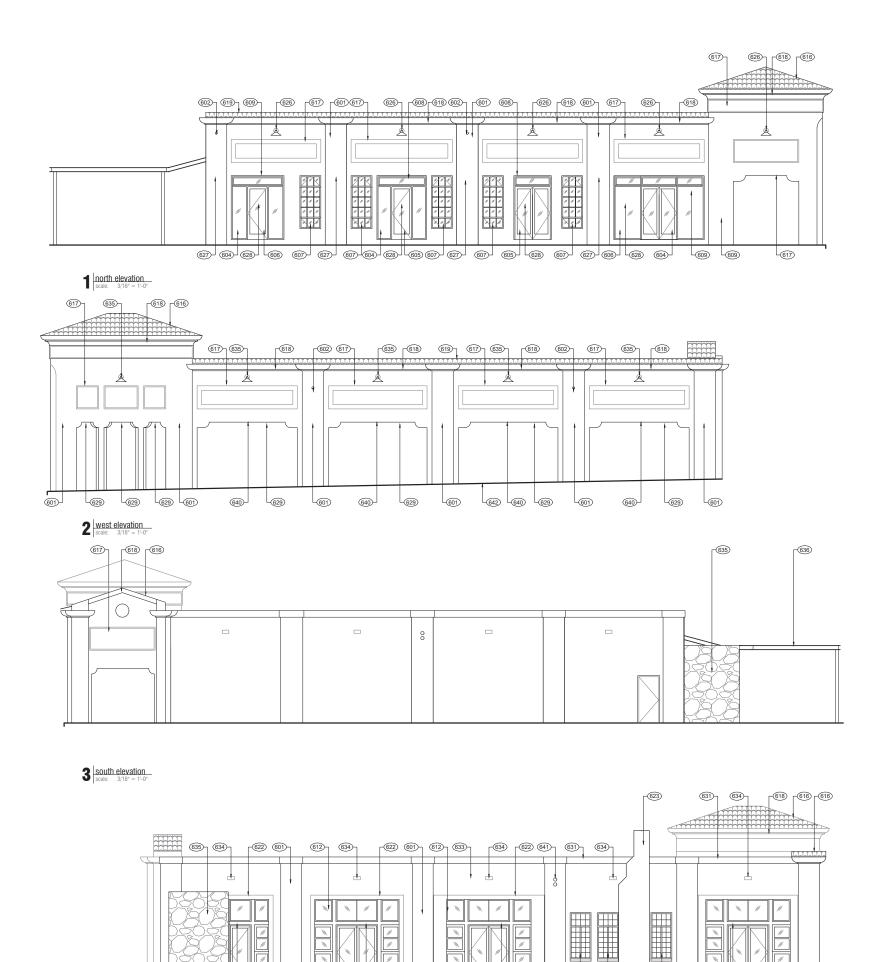
0241

note: areas where traffic site visibility triangles are required - screening will be reduced to 30" max.

RIPTION	XESS PROJECT NO: 18.115	BY	OWNER/DEVELOPER CORBETT PARTNERS 3040 SKY CT PLACERVILLE, CALIFORNIA 95667 ATTN: SCOTT STITELER	25 04; T20SA0
18 North Toole Avenue Tucson, A2 85701 P 520.622.9565 www.norris-design.com		GN	PH: (520) 299-3451 E: tucsonurban@gmail.com SITE ADDRESS 210 EAST 7TH STREET TUCSON, ARIZONA 85705	DP20-01 KEF: IID 20-
2, BLOCK 73, MP, PAGE 70,			NT PACKAGE for ETT BLOCK	
	LAN	DSC	CAPE PLAN	17







607

key notes

study

L<sub>615</sub>L<sub>616</sub>L<sub>613</sub>

601

613

L\_\_\_\_\_616

601

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616

<u>601</u> 607

601. [e] stucco finish - repair as necessary. paint. match original finish 601. [e] stucco finish - repair as necessary. paint. match original finish
602. [e] scuppers to remain - repair as necessary see rod plan
603. [e] storefront system - repair as necessary to match original construction
604. [n] storefront system @ [e] opening - match original construction
605. [e] exterior door to be repaired to "like new" operation and seal - see schedule
606. [n] exterior door to match [e] - see schedule
607. [e] sash window - repair as necessary for "like new" operation and seal
608. [e] transom window to match original
612. [n] aluminum alloy transom window @ new opening
613. [n] storefront see schedule
614. [n] storefront door - see schedule
615. [n] structure nullion
616. [n] header - see structural drawings [6] Aleader - see structural drawings
 [6] decorative frieze - repair as necessary to match original construction. 616. [n] header - see structural drawings
617. [c] decorative firze - repair as necessary to match original construction. paint
618. [e] decorative concilicing - repair as necessary to match original construction
619. [e] tile roof - repair as necessary to match [e]
620. [e] vent grate - repair and paint
621. [e] tructural steel warp @ [n] opening - see structural drawings
622. [n] structural steel warp @ [n] opening - see structural drawings
623. boiler flue to remain - seal shut
624. steel awning concyr- see plan and details, a9.1
625. steel awning concyr- see plan and dstructural dwgs
626. [n] wall sconce - see elect dwgs
627. provide [bx for future signage - coordinate exact location w/ architect
628. provide 15° black address lettering per code
629. repair [e] built up roof as necessary
631. provide bird-deterrent spikes at top of parapet - typ all locations
632. exterior finish grade
633. remove all abandoned utility lines and achitectural artifacts - repair facade
631. provide provide provide provide provide spikes at top of parapet - typ all locations as necessary 634. [e] roof vent grate - repair or replace as necessary - match original construction construction 635. [n] new hydraulic elevator + enclosure - see plan 636. [n] new canopy structure - see plan 637. [a] chain link fence - remove 638. [a] built up roof - repair as necessary 639. [n] guitter - see roof plan 640. repair or replace flashing at fascia as necessary 641. [n] overflow drain + scupper - see detail 1/a9.0. new scupper to match

existing construction

## **Building 1** Historic Corbett Elevations - no solar exposure

Corbett

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245 E. Congress St. Suite #135 Tucson, AZ 85701 520.795.9888

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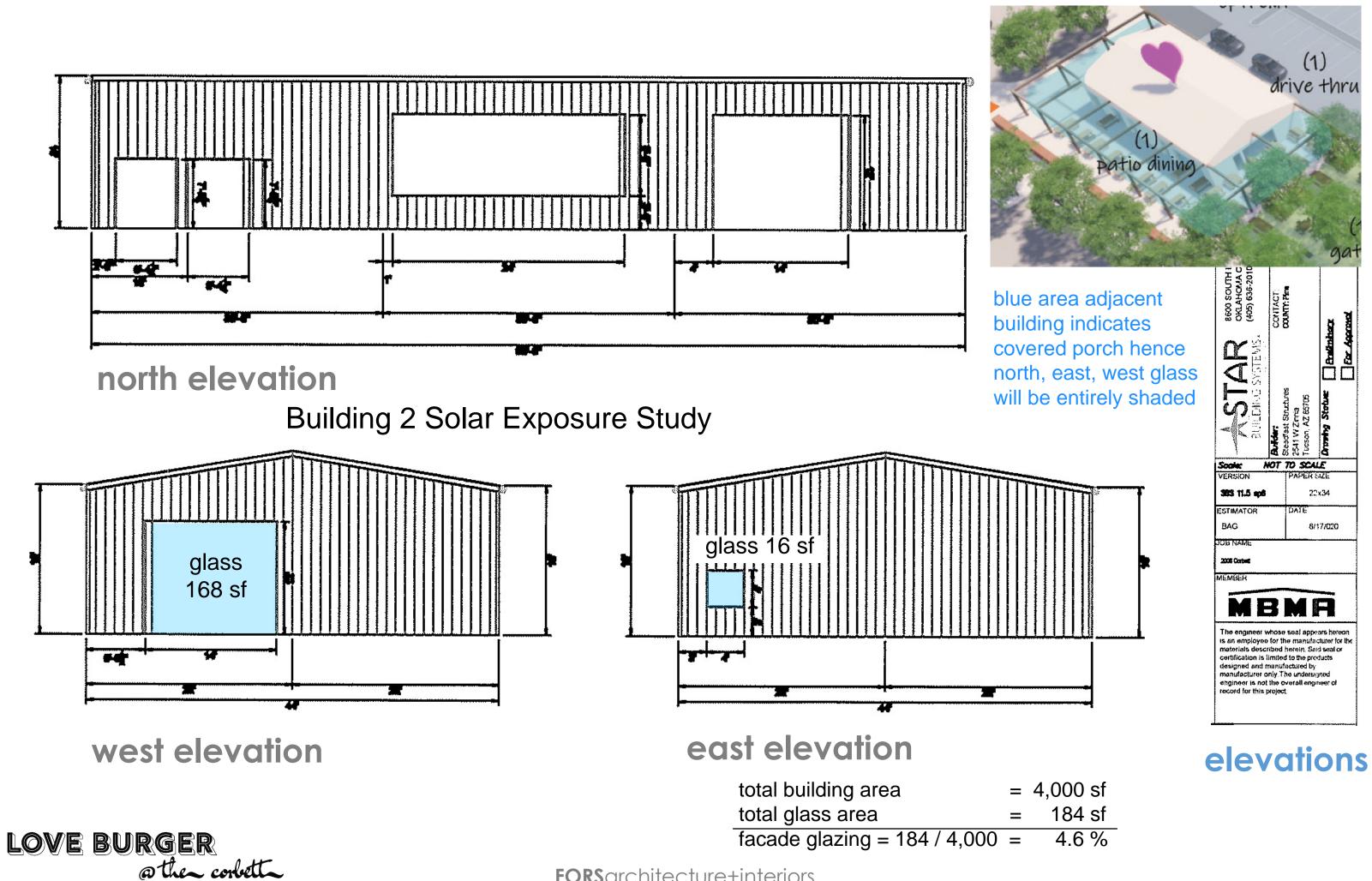
Ľ. chitecture interiors

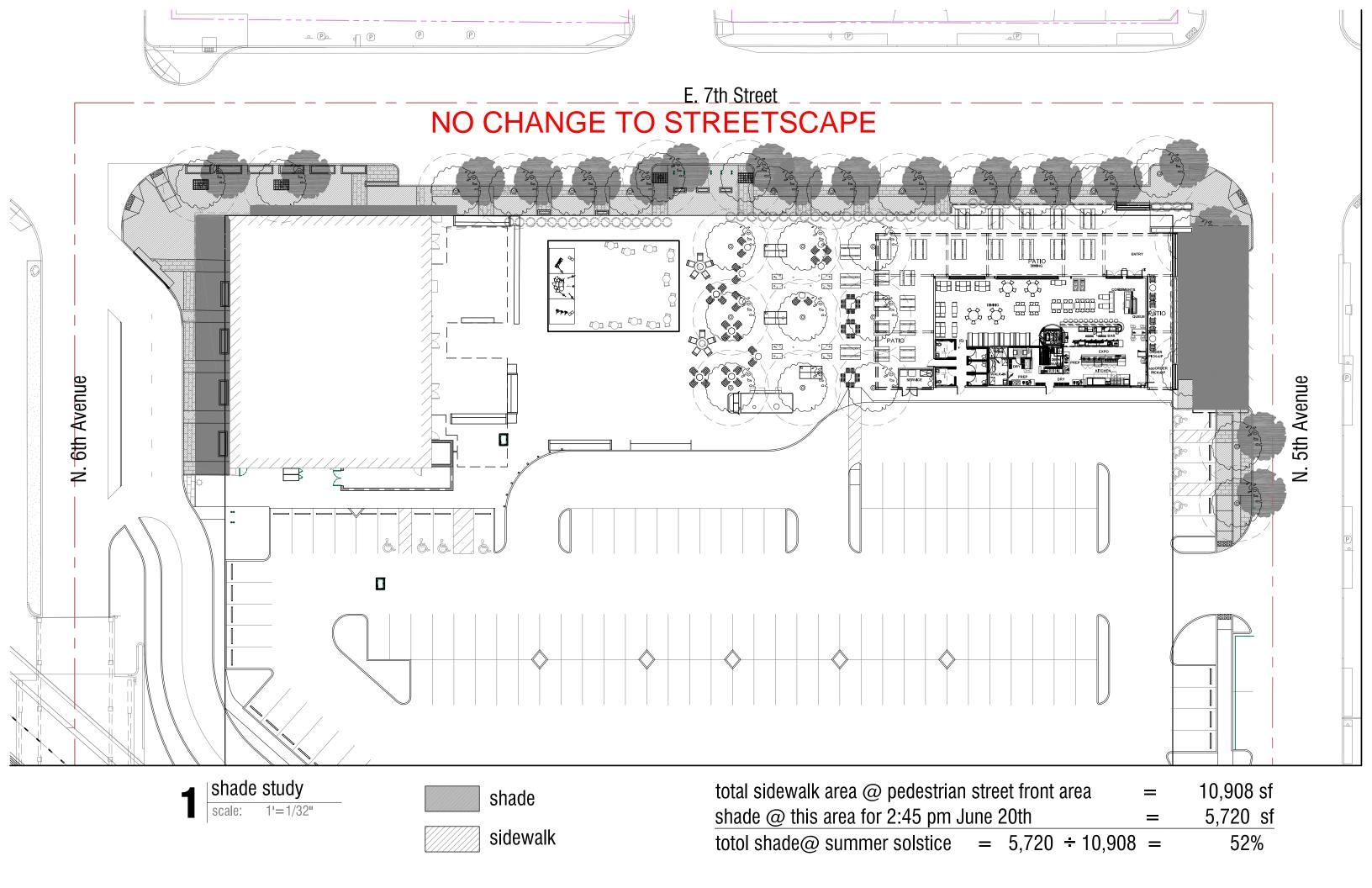
exterior elevations

PROGRESS SET 01.03.2020

a6.0









## aerial location phase 1 rendering



## **Exterior Pickleball Courts**



## Exterior Pickleball Cover Seating Area

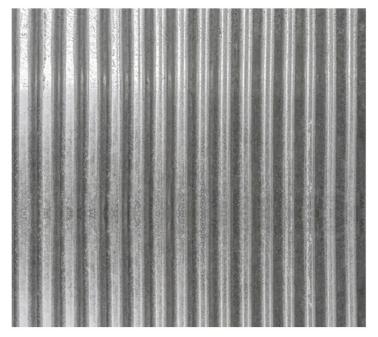


## Building 2 + Streetscape Rendered View



# Building 2 Patio Concept

LOVE BURGER 3D VIEW 7 @ the~ convert-



Corrugated Metal Siding



Brick Planter Boxes + Remaining Walls

Wood Timber Patio Structure





**Concrete Patio** 



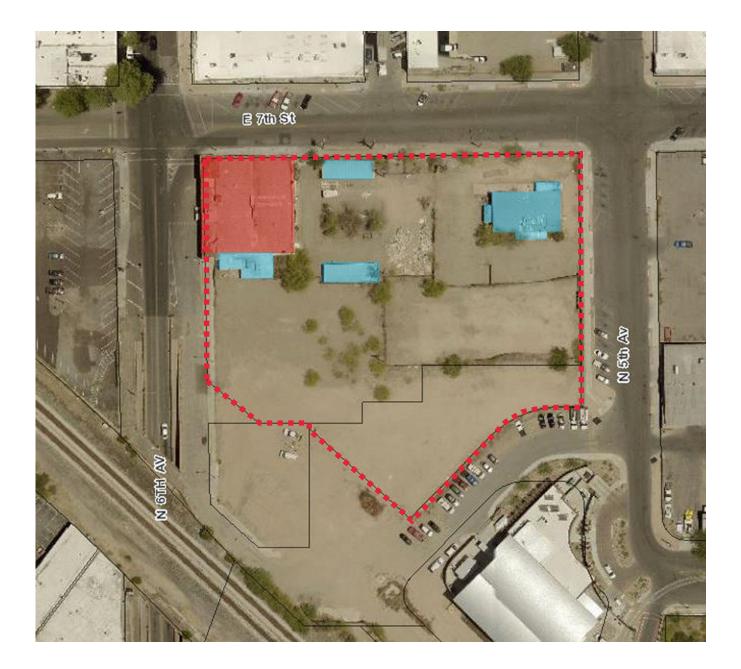


### **Building 2 Material Samples**



245 E. Congress St. Suite #135 Tucson, AZ 85701 520.795.9888

Development Zone ······ Contributing status ····· Non-Contributing status ·····



## FORS architecture + interiors

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### 12.11.2020

- To: City of Tucson Development Services
- From: Richard Wiehe FORS architecture
- Re: Corbett Block HPZ Parcel: 11705069D & 11705069C 210 E. 7<sup>th</sup> St, 320, 340 N. 6<sup>th</sup> Ave, 345 N. 5<sup>th</sup> Ave, 225 E. 8<sup>th</sup> St, Tucson, AZ 85705

### Historic Statement:

In 2018 an effort was begun to refurbish the Corbett Building. The project went thru full COT building review (T18CM05456) and full HPZ review (HPZ-17-76). All approvals were achieved and work was begun, but the project was put on hold before completion and the permit expired.

FORS architecture renewed this permit on 11/18/2020 so that the original work scope could resume and be completed prior to construction of the 2<sup>nd</sup> structure – Building No. 2.

It is our intent that implementing the previously approved HPZ plans will effectively render it historically compliant. No new work will be performed during the proposed construction of Building No. 2 and the site build out.

Note: The detached adjacent covered patio to the east was included in the T18CM05456 permit and HPZ-17-76 HPZ review hence it should be covered as well.

See HPZ approval letter and historic inventory for reference.



CITY OF TUCSON

Zoning Administration Division

Planning & Development Services Department (PDSD) Miguel Fuentevilla FORSarchitecture + Interiors 245 East Congress Street, Suite 135 Tucson, AZ 85701

Dear Mr. Fuentevilla:

**Subject: HPZ-17-76** The Corbett Building: Fire Damage-Rehabilitation and Repairs-Storefront System/ Roof Tiles/Stucco/Doors/Windows [Compliance with 10-11-17 Approval Condition #2] - 340 N 6<sup>th</sup> Avenue-(Warehouse Historic District).

The proposed rehabilitation and repairs of the Corbett Building due to fire damage was reviewed by the Tucson-Pima County Historical Commission, Plans Review Subcommittee on 9-28-17 and 9-24-18 for recommendations to the Planning and Development Services Department Director.

Pursuant to provisions of Section 5.8 and 5.12.13 of the City of Tucson Unified Development Code, the application has been:

**APPROVED** as shown on the submitted plan and drawings subject to the following conditions:

- 1) Applicant shall refer to the *Secretary of the Interior's Standards for Rehabilitation, #2*; #5 & #6 on re-use and repair existing features to retain and preserve the character of the building;
- Applicant shall contact staff to schedule an on- site visit for verification of the stucco finish and fenestration method as presented to the Tucson-Pima County Historical Commission, Plans Review Subcommittee on 9-24-18;
- 3) Provide three (3) copies of working drawings to the Zoning Administration at the time of permit sign-off, and
- 4) Obtain the appropriate permits within one (1) year of the Director's decision.

The decision of the Planning & Development Services Department (PDSD) Director may be appealed by a party of record to the Mayor and Council by filing the appeal with the City Clerk's Office within Fourteen (14) days of the effective date of the decision (the date of this decision letter) and paying the appeal fee at the PDSD on the same day the appeal is filed. No building permit will be issued prior to the expiration of the appeal period on October 18, 2018. The issuance of a building permit by Planning & Development Services will be based on compliance with all applicable Zoning, Building Code, and Fire Code requirements. If there are any changes in the plans, please call the Zoning Administration staff for historic design reviews, Michael Taku at 837-4963, to determine the extent of review needed for changes.

ott Clark

Interim PDSD Director

201 North Stone Avenue • P.O. Box 27210 • Tucson, AZ 85726-7210 Phone: (520) 791-5550 • Fax: (520) 791-4340 Website: <u>www.ci.tucson.az.us/dsd</u> • Email: DSD\_webmaster@tucsonaz.gov

### SC: MT/HPZ-17-76

c: Teresita Majewski, Tucson-Pima County Historical Commission, Chair

### 

Plans MUST be approved by the Zoning Administration PRIOR to submitting for a permit at the Development Services Center. Plans are approved on the 2nd floor of Public Works Building, 201 North Stone Avenue. Please call for an appointment with the staff member who has processed your case.

Arizona	Historic Prope	erty In	ventory	Form
SHPO	SURVEY SITE NO. <u>6.02</u> COUNTY Pima		Accession No.	
State Historic Preservation office	PROPERTY NAME Corbett Lu SURVEY AREA <u>Tucson Wa</u>		Hardware Compa istoric District	ny
IDENTIFICATION ADDRESS <b>340 N. Sixth Aver</b> CITY/TOWN <u>Tucson</u>	าน e			
LOT NLY ptn blk 73 BLOC	к <u>73</u> РЬ	at: <u>Tucsor</u>	1	
TOWNSHIP 14 RAN	ge <u>13</u> section	12		/4 of the 1/4
UTM REFERENCE Z 1 2 Ea	sting 5 0 4 9 6 0	Northing		40
USGS QUAD	ON 15' MAP	Sketch M	والمريبين والمريبية والمريبة	
PROPERTY TYPE Commercial		U	Seventh	Street
HISTORIC USES 1. Hardware Sto				
2. Youth Opportu		Avenu		
PRESENT USE USGS Office C	Of Mineral Resources	A		
Abandoned	Demolished	두		
STYLE Spanish Colonial Reviv	/al	Sixth		
CONSTRUCTION DATE 1930				L
Known X Estima Date Source Sant newspaper article	nted nom fire map for 1930 and	Ν	IORTH	
	N Roy Place	1	$\frown$	
ARCHITECT / BUILDER / CRAFTSMA	storefront windows infilled. Or	ginal entry	doors replaced wit	J
ALTERATIONS		<u> </u>		
CONDITION				
Good X Fair Poor	-			
INTEGRITY				
Gd X Fr Pr				
		100 h	AN HAD HAD HAD HAD HAD	F
2.12 Acres				he d
Negative Number			M WHI IS ZOEKCEKCE	TRUCH THE FROM
R05-4				
Date of Photo04/06/94				
View Looking East				
Photographer or Source Bodie Robins				

ARCHITECTURAL DESCRIPTION			
STORIES <u>1 with full basement</u>	WINDOWS High wood sahs; fixed steel sash @ rear.		
	ENTRY New double door.		
STRUCTURAL MATERIAL			
Cast concrete frame & panel	VERANDAS covered colonnade.		
WALL CLADDING	APPLIED ORNAMENT case stone scrolls & sheilds		
ROOF TYPE Flat. Pyramidal @ tower; shed over	INTERIOR N/A		
ROOF CLADDING	ENVIRONMENT / LANDSCAPING		
OUTBUILDINGS None	None		
STATEMENT OF SIGNIFICANCE			

1. Theme/context This building with its full basement and the exterior elevator to it reflects the warehouse uses which developed in the District from 1900 until the 1940s.

2. Historical Associatation J. Knox Corbett established his lumber yard on this site in 1890. It was one of the earliest businesses north of the railroad tracks in Tucson. This structure was built because the city needed right-of-way to construct the 6th Avenue underpass and so had to buy property from the lumber yard.

3. Architectural Association An unusually decorative building for its use. The anatomy of the one part commercial block are present. Note the tower at the corner, the columns delineating the bays and the framing of the panels in the frieze. Classic references are plentiful in the cast stone panels i.e. shields and urns. Note that the building incorporates the sidewalk under the arcade

#### **BIBLIOGRAPHY / SOURCES**

Tucson Daily Citizen, June 4,1930, p.3 and Sanborn Map Company, 11 Broadway, New York, NY for 1930

NATIONAL REGISTER STATUS			
Listed Date	Individually Eligible	potentially eligible as Contributing Property	
Not Eligible due to AGE	Are conditions reversible?	Yes No	
REFERENCE FILES / REPORTS			
7			
3			