



30 NOVEMBER 2021

INFILL INCENTIVE DISTRICT
DESIGN PACKAGE FOR

FOOD CONSPIRACY
CO-OP

412 N 4TH AVE, TUCSON, AZ 85705

Rob Paulus Architects www.robpaulus.com

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APPLICATION



PLANNING &
DEVELOPMENT
SERVICES
DEPARTMENT

SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application ☐ Application ☒
Permit Activity Number: DP21-0117 **T21SA00364** Case Number: **IID-21-03** **HPZ-21-XXX** Date Accepted: 11/16/2021

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): Food Conspiracy Co-Op East Entrance Project

Property Address: 412 N 4th Ave Tucson, AZ 85705 (418 N 4th Ave)

Pima County Tax Parcel Number/s: 117-050-240 (117-050-180)

Current Zoning: C-3

Applicable Overlay/ ☒ Infill Incentive District ☐ Rio Nuevo Area
Special Districts: ☐ Main Gate Overlay District ☐ Grant Road Overlay District
☐ Neighborhood Preservation Zone ☐ Historic Preservation Zone

Neighborhood Association (if any):

PROJECT TYPE (check all that apply): Change of use to existing building ☐
New building on vacant land ☐ New building on developed land ☐
New addition to existing building ☒ Other

Description of Proposed Use: Remodel and addition to areas of existing 4th avenue retail. New canopy and new storage structure.

Number of Buildings and Stories/Height of Proposed Structure(s): 2 / 20'-0" Max Height

Site Area (sq ft): 12,751 sq ft Area of Proposed Building (sq ft): 6,653 sq ft

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List:
National Register District Please List: A Historic 4th Ave Commercial District
Site is/includes: ☒ A contributing structure ☐ Non-contributing structure
☐ Is adjacent to a contributing structure ☐ Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Rob Paulus

ROLE: ☐ Property owner ☒ Architect ☐ Engineer ☐ Attorney ☐ Developer
Other: _____

EMAIL: rob@robpaulus.com PHONE: (520) 624-9805

ADDRESS: 990 East 17th St Suite 100 Tucson, AZ 85719

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): Food Conspiracy

PHONE: (520) 624-4821 (John Glennon, General Manager)

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*  9/10/2021

*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization

PROJECT STATEMENT

The Food Conspiracy Co-op is commemorating 50 years as a thriving organic food cooperative with the design and implementation of this East Entrance Project. Located in the center of the Historic 4th Avenue District in Tucson Arizona, the project transforms the customer and employee experience by opening a new entrance at the rear of the store that provides easy access, more retail, greater grocery options, new expanded parking on the site east of Hoff Avenue and a large, shaded entry canopy for gathering. Educational gardens and an edible landscape will highlight the organic food approach of the Coop while the overall concept emphasizes natural light, rainwater harvesting, solar power, a stage for live performances and exterior exhibition space for the local arts and cooking demonstrations.

We are looking to achieve the following:

1. Parking:

Reduce the required parking to zero.

This is concurrent with Section 5.12.14 of the 4th Avenue Historic Sub-Area (FAS) which states "zero parking required for commercial use". The current parking area is located on the back of the building without direct access into the Coop and is not compliant with the zoning code, has no ADA parking or access into the building and requires people going into the Coop to park behind the Coop to the east then take a rather lengthy walk around the block to the front door of the store which is on the west side of the building. We are requesting that the ADA parking provided on the street, as well as across Hoff avenue illustrated in the Master plan be utilized to provide the Accessible parking required for this site.

2. Refuse Collection:

Utilize the existing shared refuse collection area on the east side of Hoff Avenue.

Currently, all the Food Conspiracy activities utilize a common refuse collection area on the east site of Hoff Avenue. The calculations per TSM standards show that this existing location adequately serves the new facilities.

4th Avenue Retail: Per TSM 8-01.8.0, the 4th avenue site produces approximately 43.8 tons of solid waste per year (equating to 561 gallons per week). A minimum of 2.8 cubic-yards (total) of trash will be required to be removed from the site each week.

7th Street "Hoff Building" (Coop Offices): Per TSM 8-01.8.0, the Hoff building site (Co-op Offices) produces approximately 8.7, tons of solid waste per year (equating to 112 gallons per week). A minimum of 0.6 cubic-yards (total) of trash will be required to be removed from the site each week.

The trash collection is currently shared and being accomplished by providing one 6-cubic-yard trash bin and one 8-cubic-yard recycling bin, picked up once per week.

3. Water harvesting:

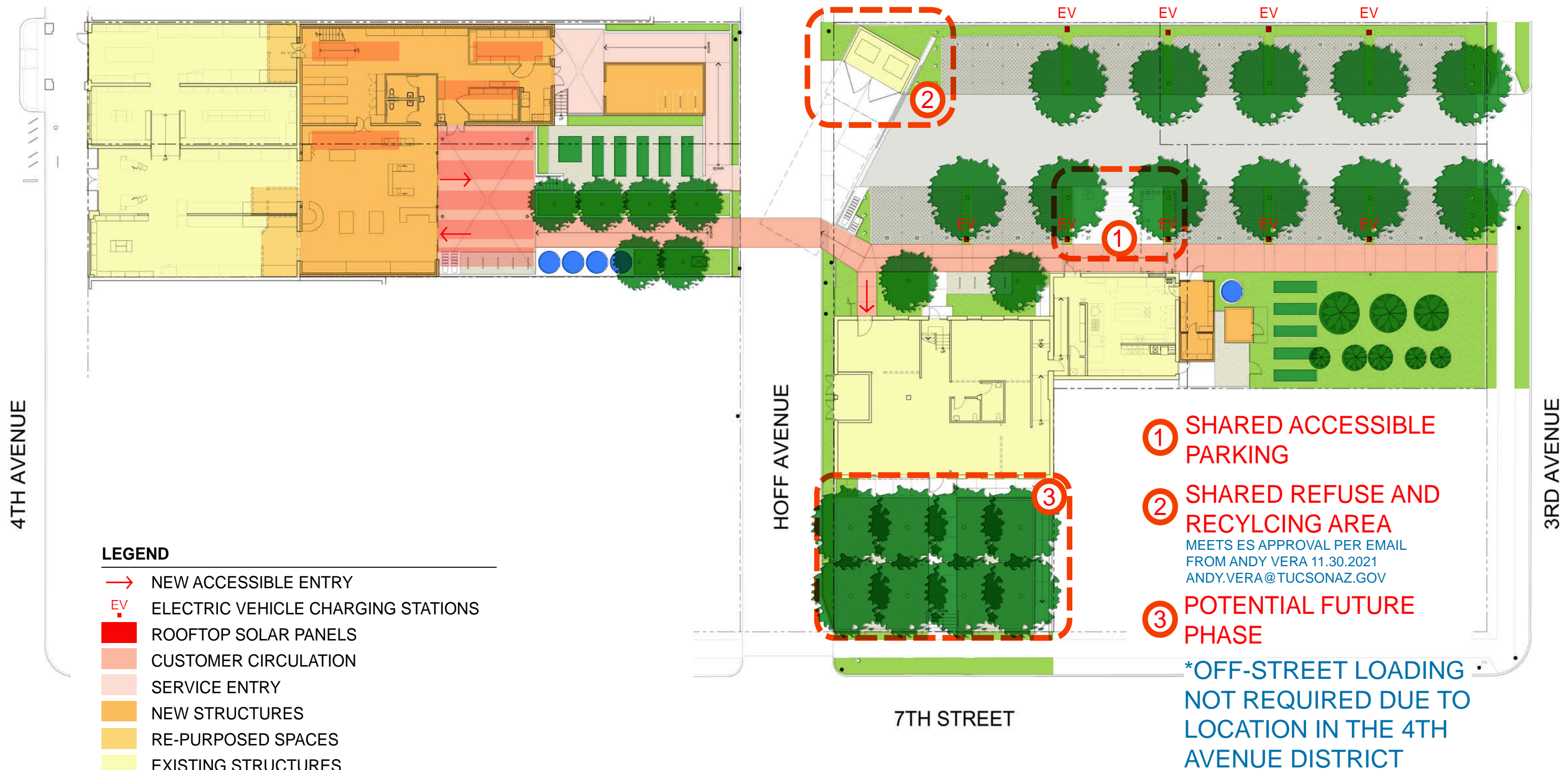
Share water harvesting calculations with the larger scope of the project.

As submitted in Development Plans, DP21-0117 (Co-op Retail) and DP21-0220 (Co-op Office), the retail site collects a surfeit of rain water while the office site does not collect the required 50% of rainfall. Considered as a complete project the water harvesting meets the city requirements with 67% Percent to total site annual landscape demand met using harvested water

PROPOSED PLANS + ELEVATIONS

- MASTER PLAN
- CONCEPTUAL PLAN
- CONCEPTUAL SECTION + ELEVATIONS
- EXISTING BUILDING PLAN
- EXPANSION PLAN
- EXTERIOR ELEVATIONS

MASTER PLAN



0 4 8 16 32

SEPTEMBER 17, 2021

MASTER PLAN

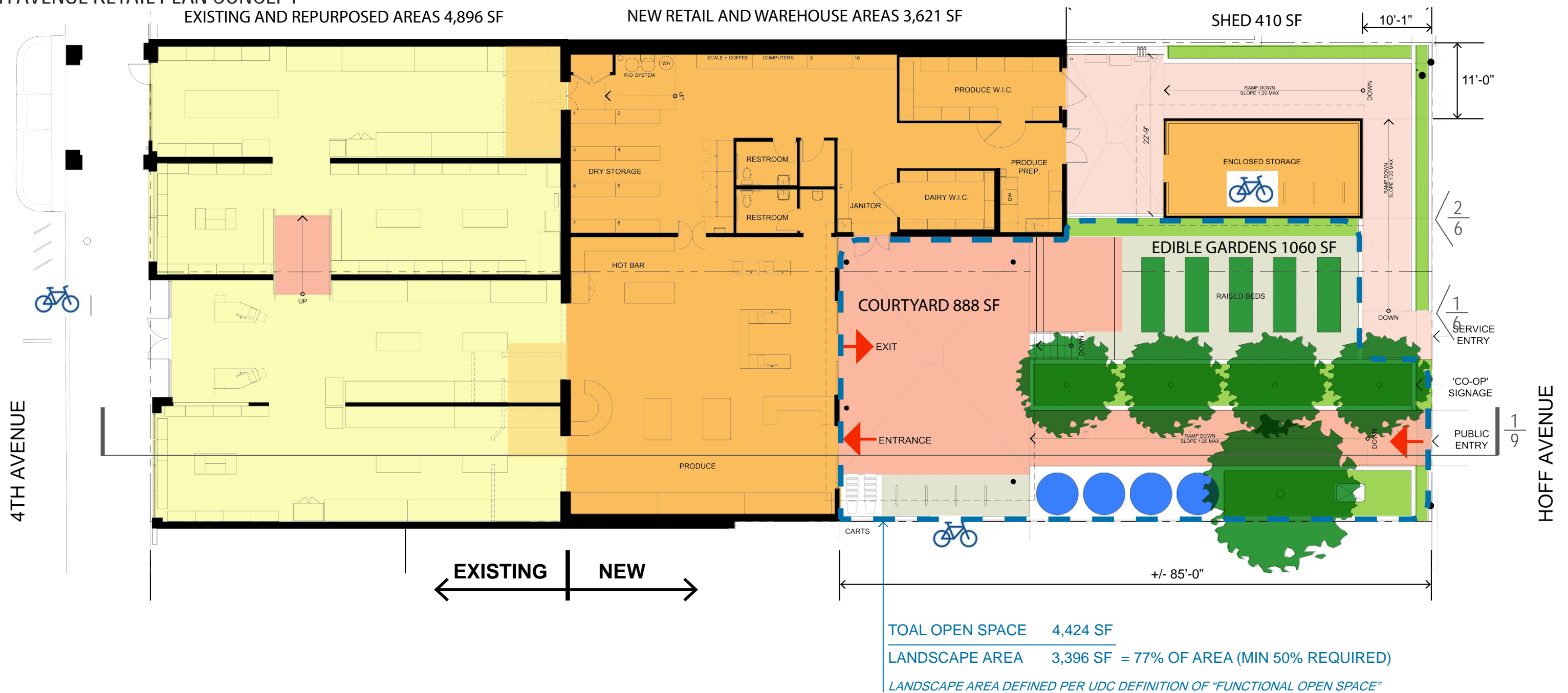
FOOD CONSPIRACY EAST ENTRANCE PROJECT
ROB PAULUS ARCHITECTS

4TH AVENUE RETAIL PLAN CONCEPT













EXISTING AND REPURPOSED AREAS 4,896 SF

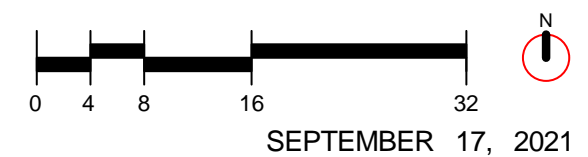
NEW RETAIL AND WAREHOUSE AREAS 3,621 SF

SHED 410 SF



LEGEND

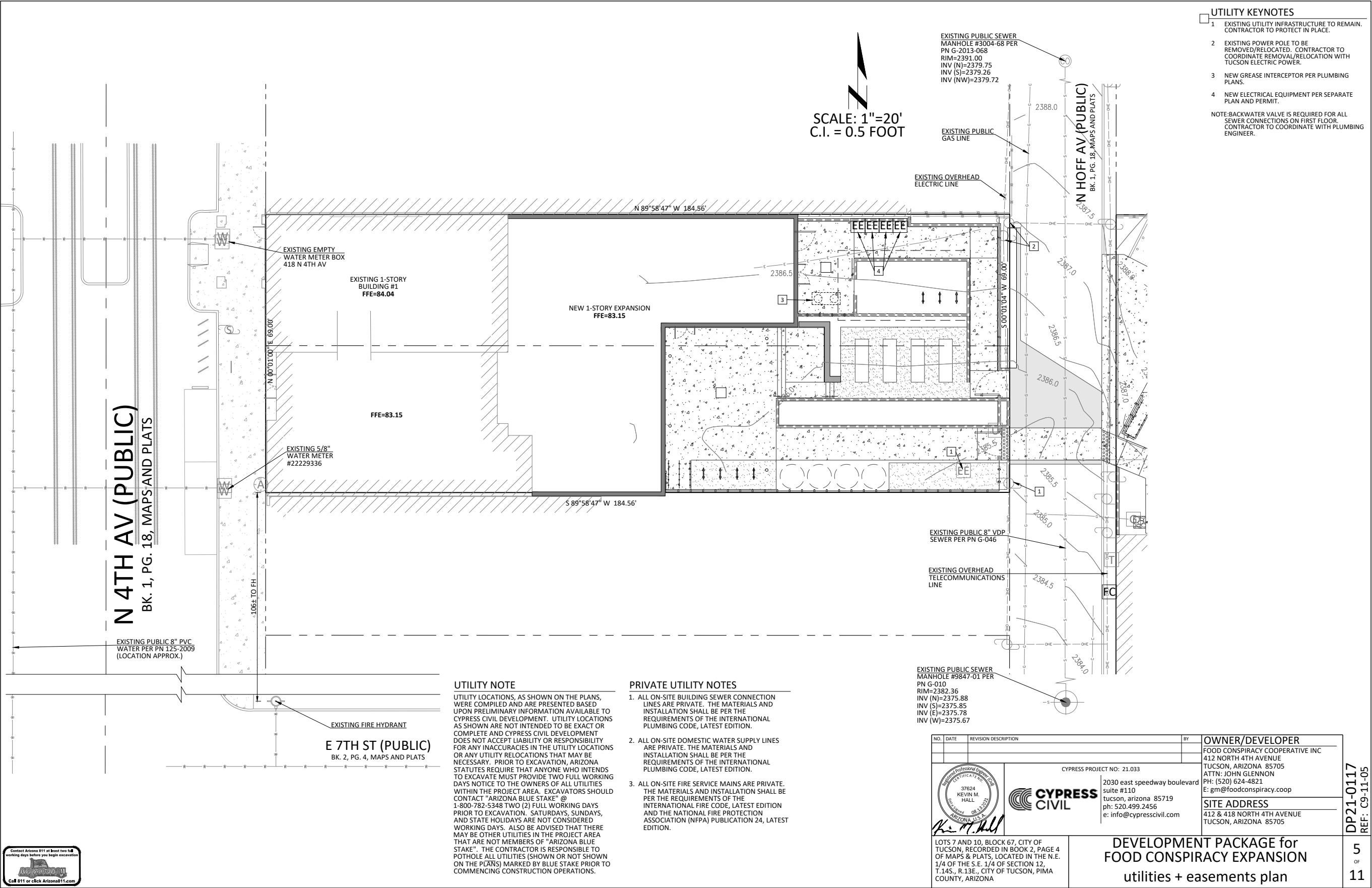
- | | | | |
|---|----------------------|---|------------------------|
|  | NEW ACCESSIBLE ENTRY |  | SURFACE PLANTING |
|  | CUSTOMER CIRCULATION |  | RAISED GARDEN BEDS |
|  | SERVICE ENTRY |  | SHADE + FRUIT TREES |
|  | NEW STRUCTURES |  | WATER HARVESTING TANKS |
|  | EXISTING STRUCTURES |  | PERMEABLE GROUND COVER |
|  | RE-PURPOSED SPACES |  | BIKE PARKING |



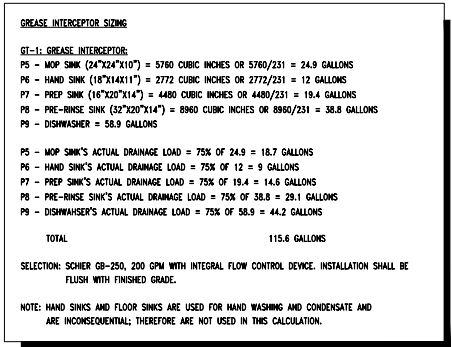
4TH AVENUE RETAIL EXPANSION

FOOD CONSPIRACY EAST ENTRANCE PROJECT

ROB PAULUS ARCHITECTS



11/3/2021 5:08:50 PM



1 - REVIEW COMMENTS	11.01.2021
100% CD	08.06.2021
75% CD	07.06.2021
PRELIMINARY PRICING SET	06.29.2020
Issue	date



FOOD CONSPIRACY
CO-OP
MASTER PLAN

ROB PAULUS ARCHITECTS LTD.
990 EAST 17TH STREET SUITE 100
TUCSON ARIZONA 85719 520.624.9805
WWW.ROBPAULUS.COM

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WET PIPE SPRINKLER SYSTEM

THE BUILDING SHALL BE PROVIDED WITH A WET PIPE SPRINKLER SYSTEM. THE SYSTEM PROVIDED SHALL COMPLY WITH ALL REQUIREMENTS OF NFPA, LOCAL AND FEDERAL CODES WHICH GOVERN SUCH WORK AND THE SPECIFICATION NOTES ON THESE DRAWINGS. CONTRACTOR SHALL SUBMIT DETAILED CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL BY THE GOVERNING AGENCY.

STANDARD FOR CONSTRUCTION: NFPA 13
IDENTIFICATION OF HAZARD: OFFICE SPACE = LIGHT HAZARD
KITCHEN (SERVICE AREA) = ORDINARY HAZARD (GROUP 1)
DESIGN DENSITY: LIGHT HAZARD = 0.1 GPM/SQ. FT. PER 1500 SQ. FT.
ORDINARY HAZARD (GROUP 1) = 0.15 GPM/SQ. FT. PER 1500 SQ. FT.

HYDRANT LOCATION: 7TH AND 4TH
TEST RESULTS: 38 PSI STATIC, XX PSI RESIDUAL @ XX GPM

INFORMATION SUPPLIED BY: TUCSON WATER CO.

NOTE: FIRE PROTECTION CONTRACTOR SHALL VERIFY TEST RESULTS PRIOR TO THE START OF WORK.

**KC MECHANICAL
ENGINEERING, L.L.C.**

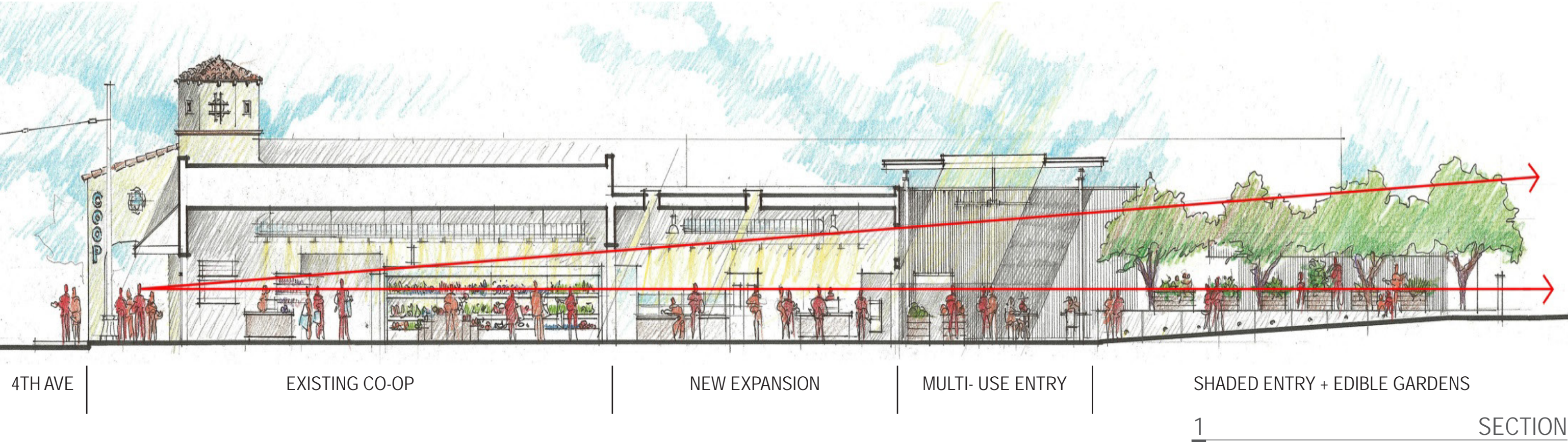
5447 East Fifth Street # 112
Tucson, Arizona 85711
Designers Mech: NJH Plumb: DAQ

520/327-7611
520/327-0432
Project #: 20-239

P1.0

PLUMBING NEW WORK PLAN

SECTION + ELEVATIONS



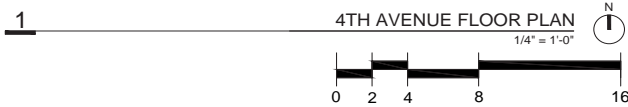
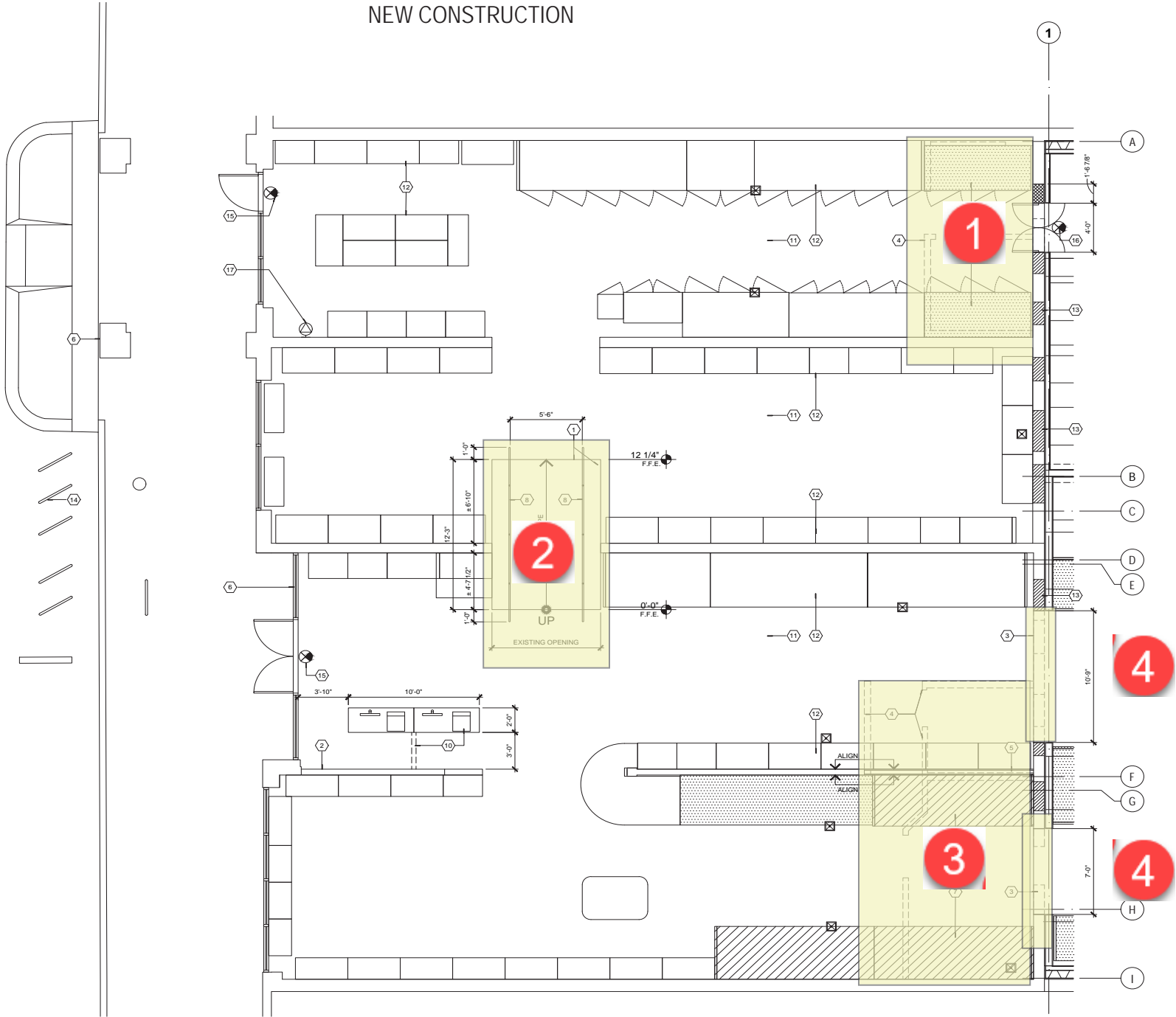
2 4TH AVENUE ELEVATION
NO CHANGES TO 4TH AVENUE ELEVATION



3 EAST ENTRY ELEVATION

EXTENT OF REMODEL TO EXISTING BUILDING

- 1) REMOVE UTILITY AREA AND SINK, REPURPOSE TO NEW REFRIGERATOR AND FREEZER UNITS
- 2) UPDATE EXISTING RAMP TO CODE COMPLIANT
- 3) REMOVE PRODUCE PREP AREA AND RESTROOM, REPLACE WITH COOLERS
- 4) MOVE PORTIONS OF EAST WALL AS REQUIRED FOR NEW CONSTRUCTION



GENERAL NOTES

- 1. DIMENSIONS GIVEN ARE NOMINAL FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS
- 2. DIMENSIONS ARE FROM FACE OF FRAMING OR FROM FACE OF CMU WALLS, U.N.O.
- 3. SEE A6.0 FOR DOOR & WINDOW TYPES
- 4. SEE FLOOR PLANS FOR DOOR REFERENCES

KEYNOTES

- 1. NEW CONCRETE INTERIOR ADA RAMP BETWEEN LEVELS AT EXISTING RAMP LOCATION, 1:12 MAX SLOPE, 1-1/4" O.D. STEEL HANDRAILS PER ANSI. VERIFY W/ ARCHITECT.
- 2. NEW PARTIAL-HEIGHT WALL, MATCH EXISTING ADJACENT WALL THICKNESS AND FINISH
- 3. NEW OPENING IN EXISTING MASONRY WALL. SEE STRUCTURAL
- 4. REMOVED WALLS
- 5. NEW FULL-HEIGHT WALL, MATCH EXISTING ADJACENT WALL THICKNESS AND FINISH
- 6. 4TH AVENUE FAÇADE TO REMAIN IN PLACE
- 7. RETAIL EQUIPMENT AND FIXTURES, OWNER FURNISHED, CONTRACTOR INSTALLED.
- 8. 36" HIGH RAILING PER ADA, VERIFY WITH ARCHITECT
- 9. NOT USED
- 10. NEW CHECKSTAND / CASHIER TERMINAL BY OWNER. CONTRACTOR TO PROVIDE UNDERSLAB POWER AND DATA AS SHOWN. PATCH AND REPAIR CONCRETE TO MATCH FINISH AND SEAL
- 11. PROVIDE CLEANING AND RESEALING OF EXISTING CONCRETE FLOOR IN STORE AREAS AS PART OF SCOPE OF WORK
- 12. EXISTING / NEW STORE FIXTURES. SEE EQ1.0 FOR REMOVED / RELOCATED / NEW EQUIPMENT
- 13. FILLED IN BRICK AT EXISTING OPENINGS
- 14. EXISTING BIKE PARKING TO REMAIN
- 15. EXISTING EXIT SIGN
- 16. NEW EXIT SIGN
- 17. NEW WALL MOUNTED FIRE HYDRANT

RESERVED FOR COT STAMP

PERMIT SET	08.09.2021
issue	date



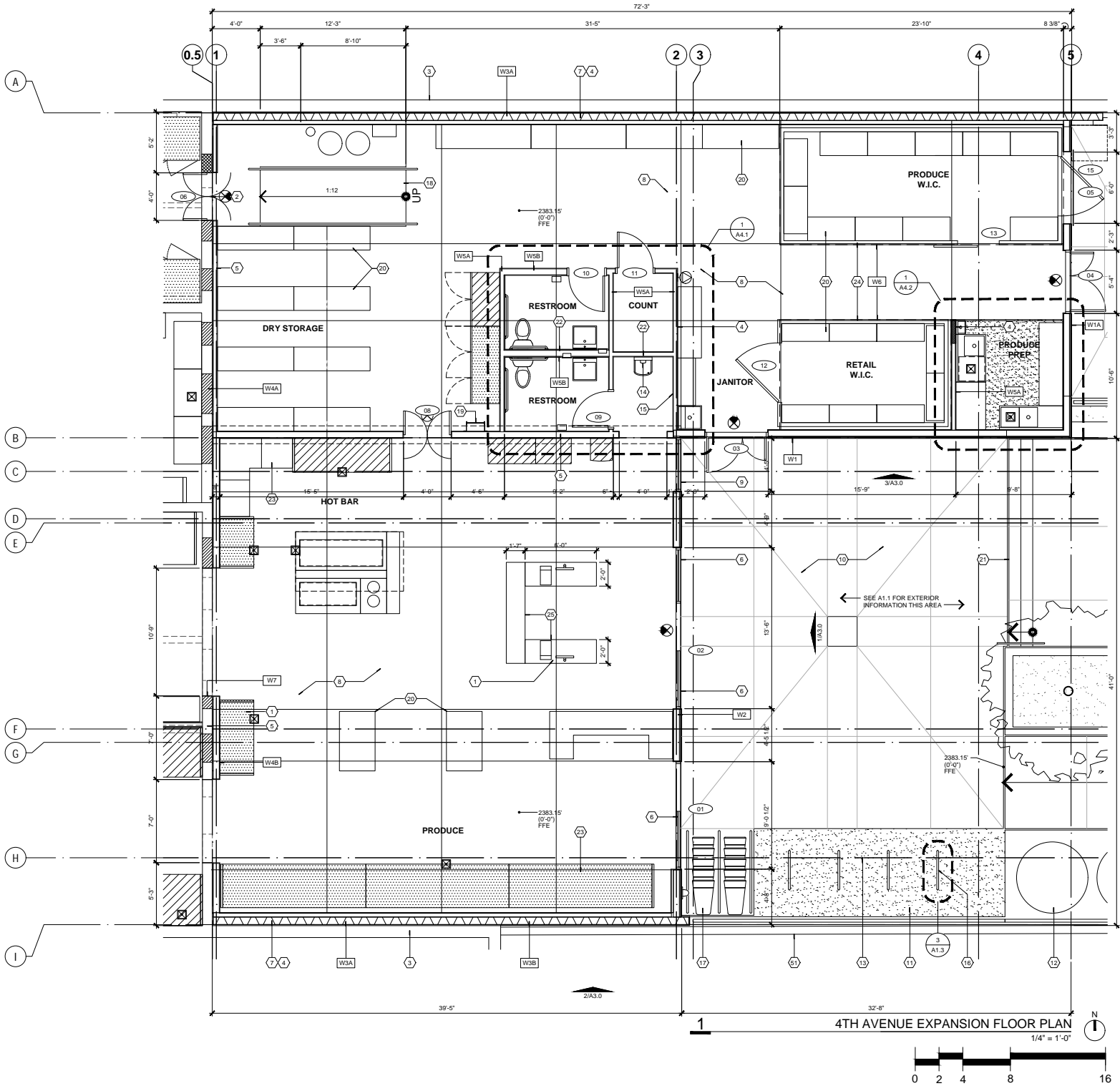
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A2.0
4TH AVENUE FLOOR PLAN

EXPANSION PLAN



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- 2. DIMENSIONS ARE FROM FACE OF FRAMING OR FROM FACE OF CMU WALLS, U.A.D.
- 3. SEE A&D FOR DOOR & WINDOW TYPES
- 4. SEE FLOOR PLANS FOR DOOR REFERENCES

KEYNOTES

- 1. NEW SERVICE COUNTER MILLWORK, ARCHITECT TO COORDINATE DESIGN WITH OWNER. CONTRACTOR TO BUILD & INSTALL
- 2. NEW TRAFFIC DOOR IN MODIFIED OPENING IN EXISTING MASONRY WALL. SEE STRUCTURAL
- 3. EXISTING MASONRY PARTY WALL
- 4. 3-5/8" LIGHT GAUGE METAL FRAME WALL WITH 5/8" GYPSUM BOARD. PROVIDE FULL BATT R-16 INSULATION AT EXTERIOR FURRING WALLS AND ACOUSTIC INSULATION AT PARTITION WALLS
- 5. 6" LIGHT GAUGE METAL BEARING WALL WITH 5/8" GYPSUM BOARD
- 6. AUTOMATIC, SINGLE-SLIDE ENTRY DOOR SYSTEM, SATIN ANODIZED ALUMINUM FINISH
- 7. STANDARD GRAY, 8x8x16 CONCRETE MASONRY UNIT WALL
- 8. 4" SMOOTH TROWEL CONCRETE FLOOR SLAB WITH SEALER AT NEW INTERIOR SPACES
- 9. CENTER GLAZED, SATIN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH LOW-E INSULATED GLASS UNITS
- 10. LIGHT SAND TEXTURED CONCRETE
- 11. COMPACTED DECOMPOSED GRANITE
- 12. NEW RAINWATER HARVESTING TANK, 6" DIAMETER X 10' HIGH GALVANIZED STEEL CULVERT, WET SET IN CONCRETE
- 13. EDGE OF SHADE CANOPY ABOVE
- 14. ELECTRIC DRINKING FOUNTAIN + BOTTLE FILLER. SEE PLUMBING
- 15. COMMUNITY PIN-UP BOARD. PROCURE CORK WALLPAPER FROM ARCHITECT
- 16. BIKE RACK. SEE SITE DETAIL
- 17. SHOPPING CART CORRAL FABRICATED FROM STEEL. VERIFY WITH ARCHITECT
- 18. NEW CONCRETE RAMP, 1:12 MAX. SLOPE, 1-1/4" O.D. STEEL HANDRAILS
- 19. ROOF ACCESS LADDER, 3/8"x3" HOT ROLLED FLAT SIDES WITH 1/4" DIAMETER SOLID BAR RUNGS AT 12" O.C. VERTICALLY
- 20. SHELVEING BY OWNER
- 21. NEW CONCRETE STAIR WITH 1-1/4" O.D. STEEL HANDRAILS
- 22. 6" LIGHT GAUGE METAL FRAME WALL WITH 5/8" GYPSUM BOARD
- 23. RETAIL EQUIPMENT AND FIXTURES, OWNER FURNISHED, CONTRACTOR INSTALLED
- 24. NEW WALK-IN COOLER
- 25. NEW BELLOTT STAINLESS STEEL SINK WITH OWNER. VERIFY DIMENSIONS AND DESIGN WITH OWNER. CONTRACTOR TO PROVIDE UNDER SLAB POWER AND DATA AS SHOWN TO CONNECT TO WALL, PATCH AND REPAIR CONCRETE TO MATCH ADJACENT HEIGHT AND FINISH AND SEAL CONCRETE
- 26. SEE SLAB PLAN A2.3 FOR FLOOR DRAIN LOCATIONS

PERMIT SET	08.09.2021
issue	date



FOOD CONSPIRACY
CO-OP
EAST ENTRANCE PROJECT

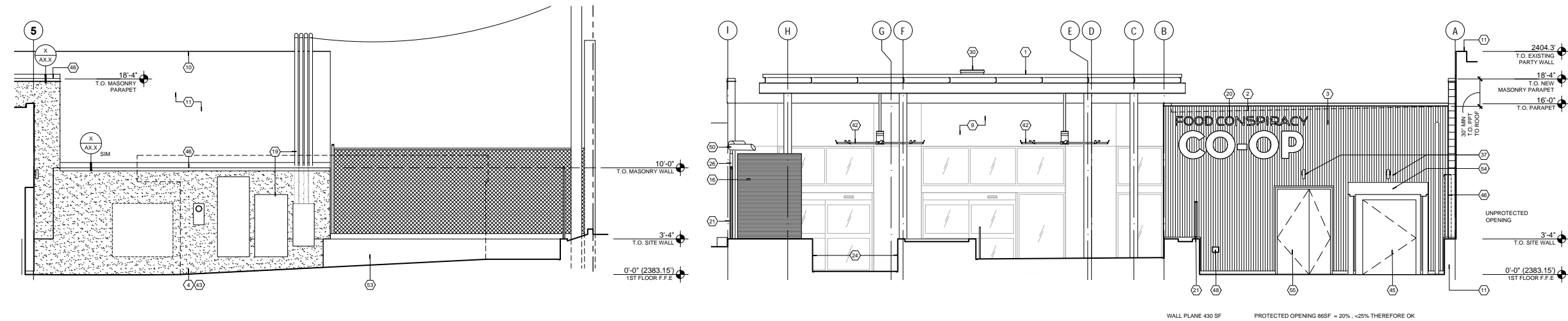
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A2.1

4TH AVENUE EXPANSION FLOOR PLAN

EXPANSION ELEVATIONS



5 SOUTH ELEVATION AT NORTH PROPERTY LINE
1/4" = 1'-0"

4 EAST ELEVATION AT SERVICE ENTRANCE COURTYARD
1/4" = 1'-0"

KEYNOTES
NOT ALL KEYNOTES USED

- SHADE CANOPY: TPO ROOF OVER 5/8" ROOF SHEATHING OVER 2x4 FLOORING STRIPS AT 24" O.C. 2x6 T+G DOUGLAS FIR DECKING OVER 6" STEEL CHANNELS OVER 12" STEEL WIDE FLANGE OVER 6" STEEL PIPE COLUMNS. ATTACH TO STEEL CHANNELS FROM UNDERSIDE AT RIGHT ANGLE TO ANGLE OF CHANNEL. SEE ARCHITECTURAL AND STRUCTURAL.
- ROOF STRUCTURE: TPO ROOF OVER 1/2" SECURSHIELD HD COVER BOARD OVER 5/8" ROOF SHEATHING OVER ENGINEERED JOISTS WITH 5/8" GYPSUM BOARD AT UNDERSIDE OF JOISTS. FILL JOIST CAVITY WITH FULL BATT INSULATION (R-38 MINIMUM) AND FILL IN ALL OTHER VOIDS WITH BATT INSULATION WHERE OCCURS. SEE STRUCTURAL. ROOF-CEILING ASSEMBLY TO BE 1-HOUR FIRE-RESISTANCE RATED.
- CORRUGATED METAL WALL PANEL OVER VAPOR BARRIER OVER 1-1/2" RIGID POLY-ISO W/ 2-BAR SUB-GIRT ATTACHMENT OVER 1/2" SHEATHING OVER 2x6 WOOD FRAMING WITH R-21 BATT INSULATION WITH 5/8" GYPSUM BOARD.
- EXISTING ADJACENT PARTY WALL FOOTING: PROVIDE NEW CONCRETE FOOTING/STRUCTURE UNDER EXISTING BRICK MASONRY WALL FOOTING. SEE STRUCTURAL. CONTRACTOR SHALL VERIFY METHODOLOGY TO SAFETY AND VIABILITY.
- SMOOTH TROWEL STUCCO APPLIED DIRECTLY TO VISIBLE PORTIONS OF CONCRETE MASONRY UNIT WALL AT SOUTH PROPERTY LINE. SEE SPEC.
- CENTER GLAZED, SATIN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH LOW-E INSULATED GLASS UNITS. PROVIDE VERTICAL AND HORIZONTAL TUBE STEEL FRAME TO SUPPORT STOREFRONT AND ENTRY DOORS. SEE SPEC.
- HVAC DUCT. SEE MECHANICAL.
- ROOF DRAIN AND OVERFLOW SMOOTH TROWEL STUCCO OVER LATH AND 1-1/2" FOAM OVER 1/2" SHEATHING OVER 6" FRAMING WITH R-21 BATT INSULATION WITH 5/8" GYPSUM BOARD AT INTERIOR. ENTIRE STUCCO FACADE TO BE PAINTED MURAL BY OWNER.
- PARAPET OF EXISTING BUILDING.
- EXISTING MASONRY PARTY WALL.
- 3-5/8" LIGHT GAUGE METAL FRAME WALLS WITH 5/8" GYPSUM BOARD. PROVIDE ACOUSTIC INSULATION.
- 6" LIGHT GAUGE METAL BEARING WALL WITH 5/8" GYPSUM BOARD ON THICKENED MONOLITHIC FOOTING. PROVIDE ACOUSTIC INSULATION.
- NEW CONCRETE PLATFORM AT HEIGHT OF RAMP TOP LANDING.
- AUTOMATIC, SINGLE-SLIDE ENTRY DOOR SYSTEM. SATIN ANODIZED ALUMINUM FINISH.
- NEW RAINWATER HARVESTING TANK. 6" DIAMETER x 8' HIGH (ABOVE THE CONCRETE) GALVANIZED STEEL CULVERT, WET SET IN CONCRETE.
- FLASHING FROM NEW MASONRY WALL OVER EXISTING MASONRY PARTY WALL.
- NEW TRAFFIC DOOR IN MODIFIED OPENING IN EXISTING MASONRY WALL. SEE STRUCTURAL.
- ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- "FOOD CONSPIRACY CO-OP" SIGNAGE. VERIFY WITH OWNER AND ARCHITECT.
- STEEL SECURITY FENCE OVER BOARD FORMED CONCRETE RETAINING WALL. SEE SHEET A4.1 FOR FENCE. SEE STRUCTURAL FOR WALL.
- INSULATED HOLLOW METAL DOOR AND FRAME.
- BIKE RACK. SEE SITE DETAIL.
- BOARD FORMED CONCRETE PLANTER WALLS. RAINWATER HARVESTING TANK SLAB SUPPORT WALLS. SEE STRUCTURAL.
- NEW TRAFFIC DOOR.
- 1"x1"x120 WELDED WIRE MESH IN TUBE STEEL FRAME OVER BOARD FORMED CONCRETE RETAINING WALL. RUN ROOF RAINWATER PIPING FROM BUILDING ALONG TOP OF FRAME TO RAINWATER HARVESTING TANKS. ALTERNATE 4x4x1/8 TUBE AND 3x3x1/8 WITH VERTICALS.
- NEW OPENING IN EXISTING MASONRY WALL. PROVIDE STEEL LINTEL AND ENCLOSURE AT SIDES. SEE STRUCTURAL.
- REPLACE EXISTING ROOF SCUPPER WITH NEW BRICK MOUNT ROOF DRAIN AND OVERFLOW. PATCH OPENINGS IN EXISTING MASONRY WALL. CRICKET AS NEEDED. CONNECT ROOF DRAIN AND OVERFLOW PIPING TO NEW BUILDING ROOF DRAIN AND OVERFLOW PIPING. ROUTE TO RAINWATER HARVESTING TANKS AND OVERFLOW DRAIN OUTLET NOZZLE.
- CURB MOUNTED SKYLIGHT. SEE SPEC.
- ELECTRIC DRINKING FOUNTAIN + BOTTLE FILLER. SEE PLUMBING.
- SUSPENDED TRACK LIGHT SYSTEM.
- SATIN ANODIZED ALUMINUM BRAKE METAL COVER AT STEEL TUBE STRUCTURAL FRAME.
- PENDANT LIGHT.
- DIRECTIONAL UPLIGHT AT W-FLANGE BEAM.
- STEP LIGHT.
- WALL MOUNT LIGHT.
- FLUSH MOUNT CYLINDER LIGHT.
- SLOPE CONCRETE TO SUMP PUMP. SEE PLUMBING.
- STRIP LIGHT.
- NEW CONCRETE RAMP. 1:12 MAX. SLOPE. 1-1/4" O.D. STEEL HANDRAILS.
- 6" DIAMETER CEILING FAN. SEE SPEC.
- PROVIDE STUCCO SYSTEM OVER CMU AND CONCRETE WALL.
- CONCRETE STAIR WITH 1-1/4" O.D. STEEL HANDRAILS.
- WALK-IN COOLER EXTERIOR DOOR.
- STANDARD GRAY 8x8x6 CONCRETE MASONRY WALL WITH NEW STUCCO FINISH ON NEW CONCRETE FOOTING. PROVIDE METAL FLASHING AT NEW WALL TO EXISTING BEARING WALL. BEYOND, SEE ARCHITECTURAL DETAIL AND STRUCTURAL.
- BEAM. SEE STRUCTURAL.
- WALL HYDRANT IN RECESSED BOX. SEE PLUMBING.
- ROOF OVERFLOW DRAIN OUTLET NOZZLE. SEE PLUMBING.
- ROOF DRAINPIPE TO RAINWATER HARVESTING TANKS.
- GALVANIZED FLASHING.
- NEW FIRE RISER. SEE PLUMBING.
- EXPOSED CONCRETE WALL FINISH AT SIDE WALLS TO RAMP.
- ALARM ACTUATED ROLLING OVERHEAD DOOR.
- 3/4 HOUR RATED FIRE EXIT DOOR PER IBC SECTION 716.

2 SOUTH ELEVATION AT SOUTH PROPERTY LINE
1/4" = 1'-0"

1 EAST ELEVATION AT EAST ENTRANCE COURTYARD
1/4" = 1'-0"

GENERAL NOTES

- DIMENSIONS GIVEN ARE NOMINAL FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- DIMENSIONS ARE FROM FACE OF FRAMING OR FROM FACE OF CMU WALLS, U.N.D.
- SEE A6.0 FOR DOOR + WINDOW TYPES.
- SEE FLOOR PLANS FOR DOOR REFERENCES.

RESERVED FOR COT STAMP

PERMIT SET	08.09.2021
Issue	date



FOOD CONSPIRACY
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EAST ENTRANCE PROJECT

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A3.0
4TH AVENUE ELEVATIONS

RENDERINGS



EAST ENTRY AERIAL RENDERING

FOOD CONSPIRACY
CO-OP



EAST ENTRY RENDERING

SAMPLES OF PROPOSED MATERIAL



CANOPY



FENCING



BIKE RACKS



EDIBLE GARDEN



CORRUGATED METAL



PAVERS



EV CHARGING STATIONS



RAISED BEDS



STUCCO W/ MURAL



SOLAR



SHOPPING CARTS



FLEXIBLE RETAIL



CAST-IN-PLACE CONCRETE WALL



WATER HARVESTING TANKS



OUTDOOR SEATING



EVENTS

ZONING REVIEW COMMENTS

FROM: Nick Ross Principal Planner

PROJECT: DP21-0117 Development Package (1st Review), August 27, 2021

COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.

This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is September 17, 2022.

1.2-06.4.2 - The title block shall include the following information and be provided on each sheet:

COMMENT: Add IID activity number once assigned.

2. 2-06.4.9.H.5.a - As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson.

Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.

COMMENT: If outdoor patio is intended to be used as use area, the square footage must be included in the parking calculations. Zero parking spaces provided on site can be approved through a successful IID application.

3. 2-06.4.9.0 - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown.

COMMENT: Provide building setback information for storage structure. The required street perimeter yard is 10ft. This can be reduced to zero through a successful IID application.

4. 2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s).

COMMENT: Provide total building square footage of the principal structure within the footprint of the building.

5. 2-06.4.9.R - Show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual.

COMMENT: Pedestrian connection across Hoff Ave must be approved by the Department of Transportation and Mobility. Any work in the ROW will require a separate ROW use permit.

6. 2-06.4.9.T - Show refuse collection areas, including locations of dumpsters, screening location and materials, and vehicle maneuverability, fully dimensioned, and access route. If dumpster service is not proposed, indicate type of service. For specific information on refuse collection, refer to Section 8-01.0.0, Solid Waste and Recycle Disposal, Collection, and Storage, of the Technical Standards Manual. Refuse collection on all projects shall be designed based on that section, even if collection is to be contracted to a private firm.

COMMENT: Offsite refuse collection must be approved as part of an IID application from Environmental Services.

If you have any questions about this transmittal, please contact me at Nicholas.Ross@tucsonaz.gov or (520) 837-4029.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package

DOCUMENTATION OF NEIGHBORHOOD MEETING

- Invitation Letter
- Presentation Materials
- List of Attendees
- Questions and Responses
- Affidavit of mailout
- Copy of Labels
- Certificate of Mailing

NEIGHBORHOOD MEETING INVITATION LETTER

Rob Paulus Architects Ltd

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October 8, 2021

Notice of Virtual Neighborhood Meeting

You are cordially invited to attend a presentation related to the expansion of the Food Conspiracy Food Co-op located at 412 North 4th Avenue.

Meeting time: October 28, 6:30 pm

Meeting Location: Virtual Meeting via Zoom – see meeting instructions on other side.

Subject: Proposal: Food Conspiracy East Entrance Project, Expansion to existing store, Application for Infill Incentive District + Historic Review

The Food Conspiracy Co-op is commemorating 50 years as a thriving organic food cooperative with the design and implementation of this East Entrance Project. Located in the center of the Historic 4th Avenue District in Tucson, Arizona, the project transforms the customer and employee experience by opening a new entrance at the rear of the store that provides easy access, more retail, greater grocery options, new expanded parking on the site east of Hoff Avenue, and a large, shaded entry canopy for gathering. Educational gardens and an edible landscape will highlight the organic food approach of the Coop while the overall concept emphasizes natural light, rainwater harvesting, solar power, a stage for live performances and exterior exhibition space for the local arts and cooking demonstrations.

Development team members will provide a brief overview of the project with floor plans, schematic building elevations and images available for your viewing.

Your questions and comments will be welcomed during the meeting but may also be submitted in writing to the City of Tucson Planning & Development Services Director at SpecialDistricts@tucsonaz.gov, or P.O. Box 27210, Tucson, AZ 85726.

For additional information you may contact the project applicant, Rob Paulus, at (520) 624-2329.

We are looking forward to your participation in assisting us in creating a livable, vibrant 4th Avenue.

Meeting Agenda

Introductions

Discussion points

- Project Overview
- Site Plan
- Shared Parking
- Floor Plan
- Elevations

Questions and Answers

Comment Via Email

Adjournment

Location map



NEIGHBORHOOD MEETING INVITATION

Rob Paulus Architects Ltd

2

Virtual Meeting Instructions

Food Conspiracy East Entrance Project, Time: Oct 28, 2021 06:30 PM Arizona

Join Zoom Meeting Link

<https://us06web.zoom.us/j/89481394282?pwd=UUZYvWnM2d3Z1VTVLZW5xTDF3OTQ2UT09>

Meeting ID: 894 8139 4282

Passcode: 451024

One tap mobile

+16699006833,,89481394282#,,,,*451024# US (San Jose)

+12532158782,,89481394282#,,,,*451024# US (Tacoma)

Dial by your location

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Find your local number: <https://us06web.zoom.us/j/kcNrQcQVyC>



50 Years
of cooperation
has lead to this!



3rd Avenue Access



East entrance Project team

Rob Paulus (Rob Paulus Architects)

Principal Architect

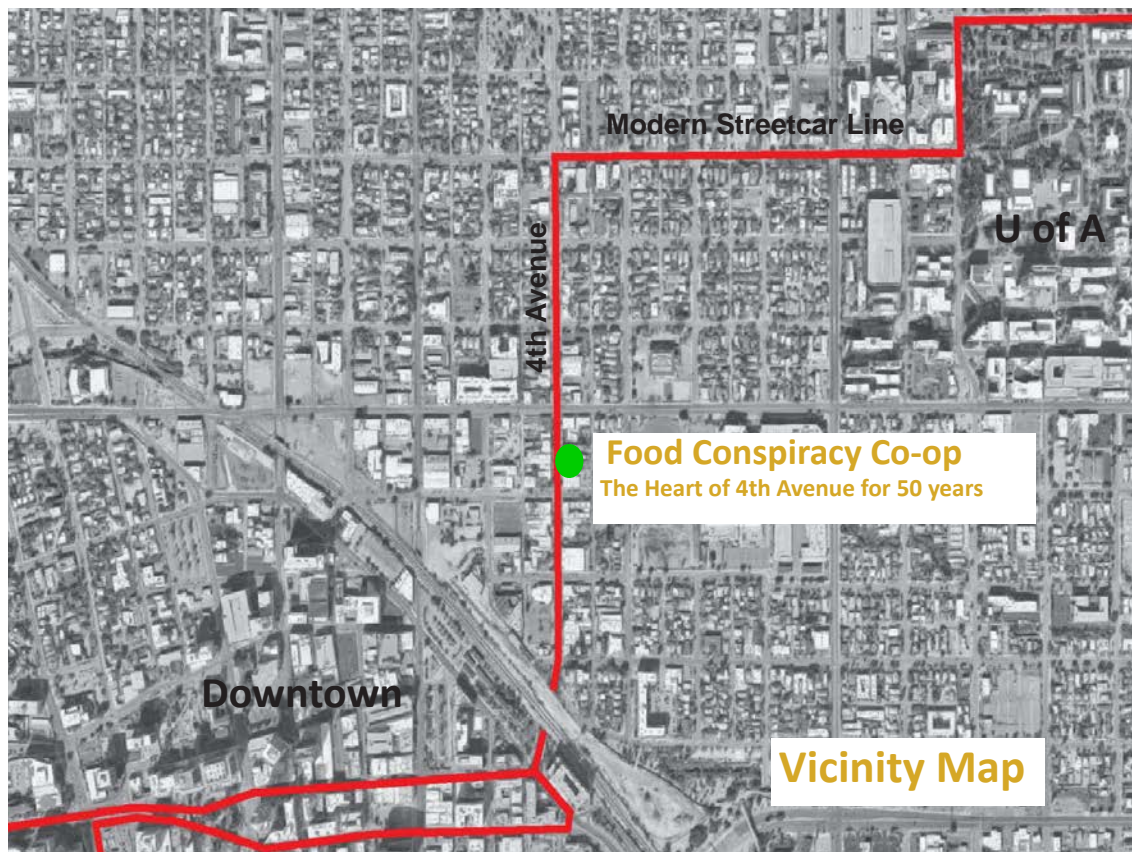
Dennis Caldwell (Caldwell/Watza Construction)

General Contractor

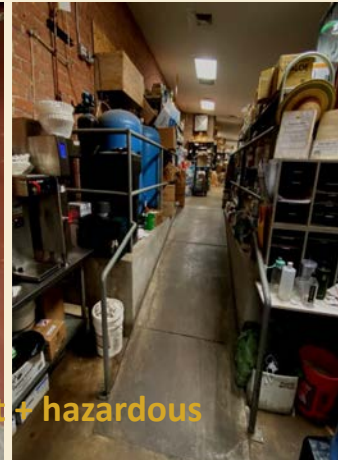
John Glennon (Food Conspiracy Co-op)

General/Project Manager

NEIGHBORHOOD MEETING PRESENTATION MATERIALS



NEIGHBORHOOD MEETING PRESENTATION MATERIALS

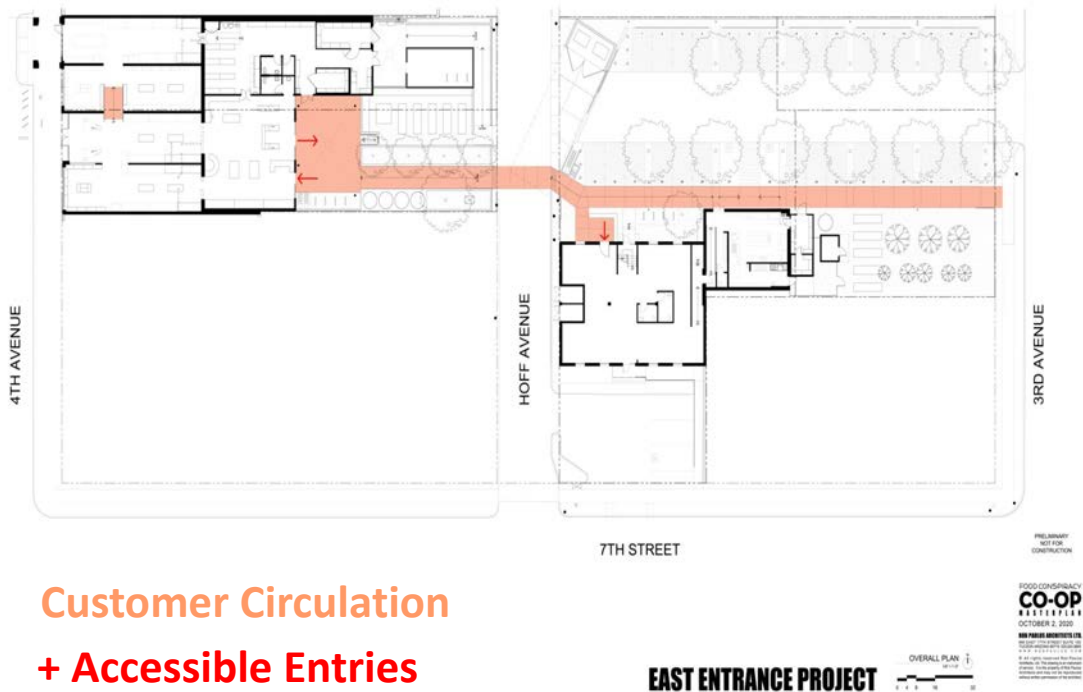


EAST ENTRANCE PROJECT

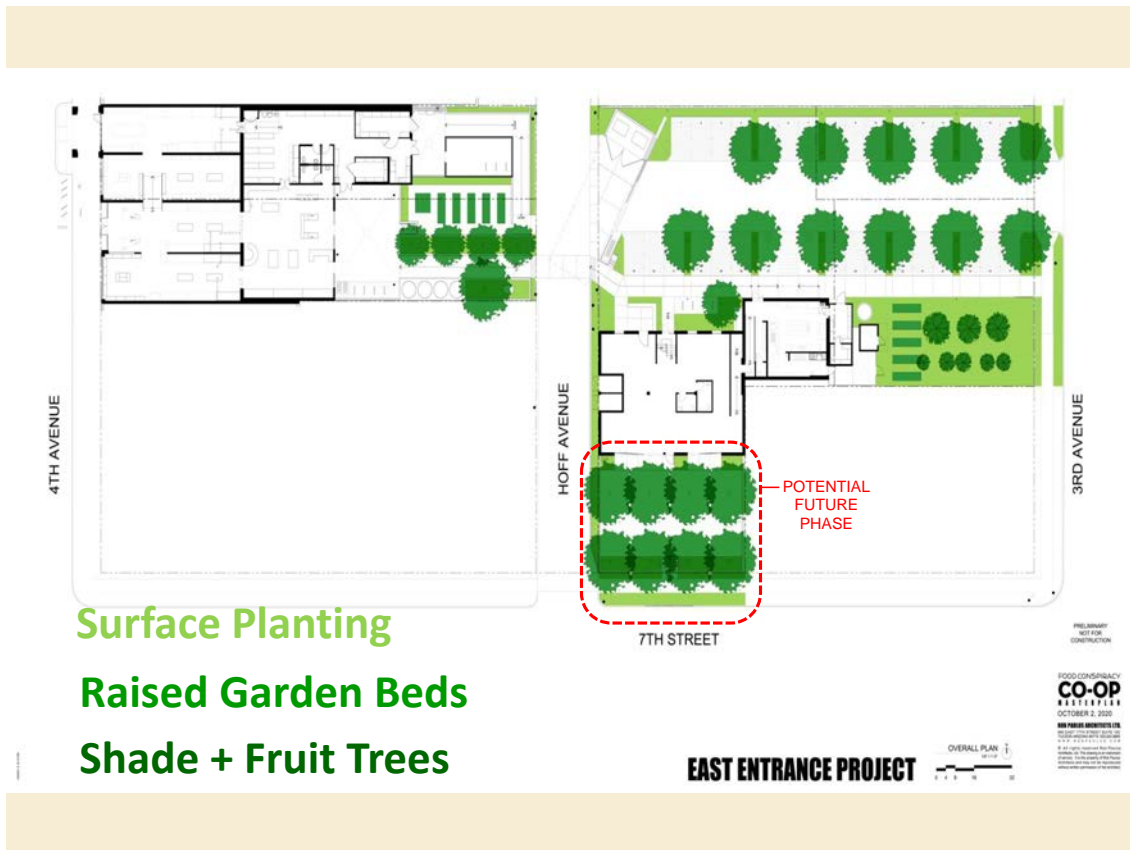
Design goals

- Create a unified, cohesive campus for the entire Co-op physical plant.
- Create a new East Entrance into the store.
- Maximize on-site parking with access from 3rd Ave.
- Increase store size and efficiency.
- Provide universal access and legible wayfinding.
- Incorporate sustainable strategies including rainwater harvesting, permeable site, solar power, and daylighting.
- Integrate edible gardens, landscape + shade throughout the site.

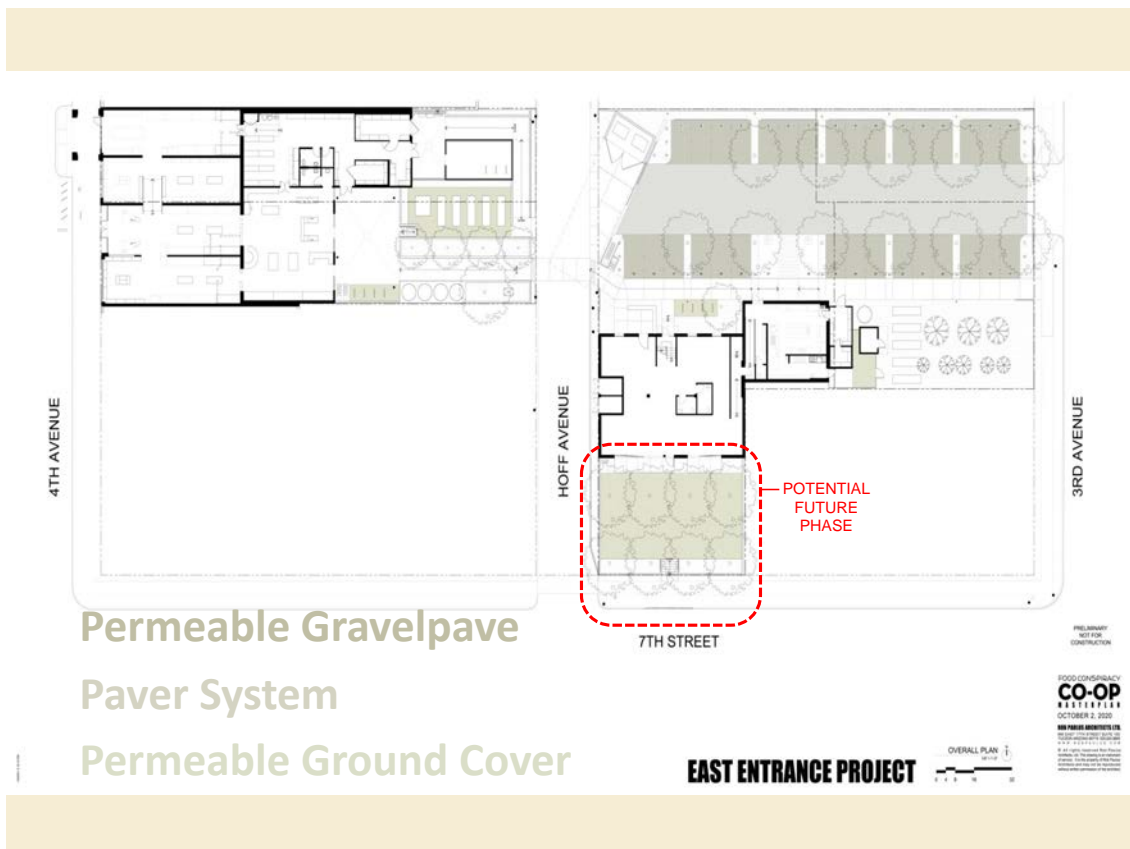
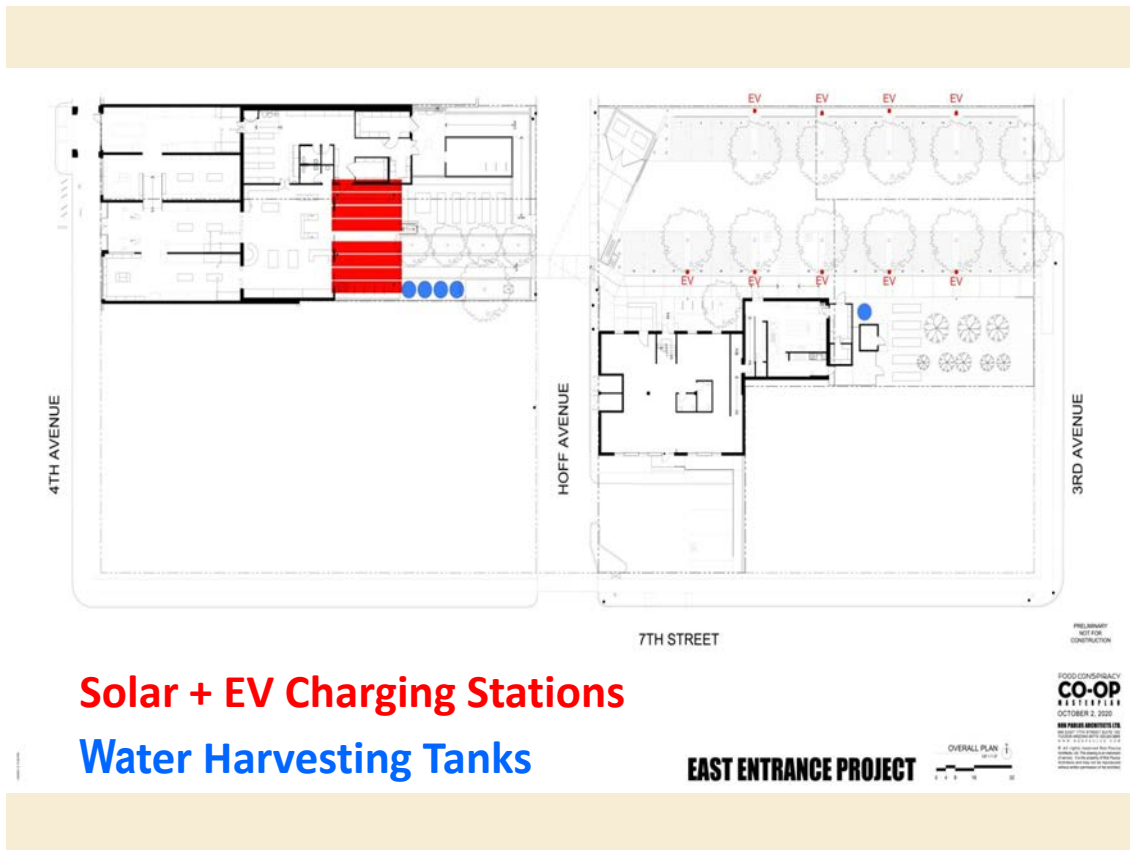
NEIGHBORHOOD MEETING PRESENTATION MATERIALS



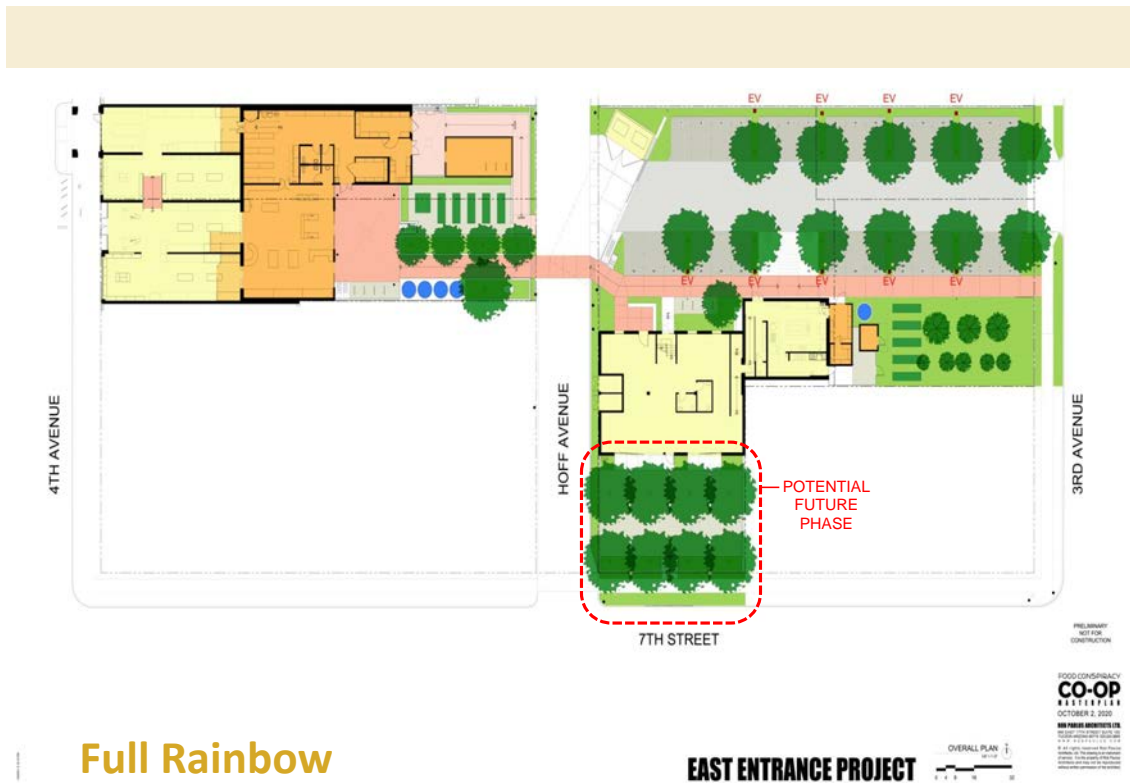
NEIGHBORHOOD MEETING PRESENTATION MATERIALS



NEIGHBORHOOD MEETING PRESENTATION MATERIALS



NEIGHBORHOOD MEETING PRESENTATION MATERIALS



Full Rainbow

EAST ENTRANCE PROJECT



Multi-Use Entry Space

Multi-Use Entry Space



East Entrance Project Timeline

- **Permitting for the East Entrance Project plans is in effect now.**
- **Hoff Demolition in November/December 2021.**
- **Construction begins late January/early February 2022.**




NEIGHBORHOOD MEETING LIST OF ATTENDEES





Neighborhood Meeting Attendees




1. Kenneth Lowe (Rob Paulus Architects)
2. John Glennon (Food Conspiracy CO-OP)
3. Daniel Matlick
4. Robert Reed
5. Cathy Williams
6. Fiore Lannacone
7. Gary Gran
8. Cynthia Gran
9. Joan Warfield
10. JoAnne Pope
11. Martha Retallick
12. Robert Kline
13. Shea Burns
14. Steve Hayden
15. Alan Koslow
16. Andrea Buttrick




Participants (15)



Find a participant




 Rob Paulus (Me)  




 John Glennon--Food Conspirac... (Host)   




 Daniel Matlick  




 Robert Reed  




 Cathy Williams 



 Fiore lannacone  




 Gary&Cynthia Gran  




 Joan Warfield  



 JoAnne Pope  



 Martha Retallick  

 Robert Kline 

 Shea Burns  

 Steve Hayden  

 Alan Koslow 

 Andrea Buttrick, She/her 

NEIGHBORHOOD MEETING QUESTIONS AND RESPONSES

Food Conspiracy Neighborhood Meeting
2021.10.28

Q: What is your plan for lighting, at nighttime, parking lot back area, and will you have a parking policy for when you are using it and what is the property just south of COOP?

A: Plan for lighting is to do a lower-level lighting, lighting closer to ground level rather than big holes with lights. Part of this space is for the safety and security of staff and customers. We want it to be well lit space from 3rd Ave to the campus as you enter into the east entrance project.

Q: are you entering from third and going out to third or can you drive off Hoff?

A: You can still utilize Hoff, both will be an option, as we figure out the flows we might change that. The idea is that most of it is off third. Hoff will still be available but because it's one way, you can come in park and go out, but third avenue will be the main entrance. In terms of overseeing the parking, that's always something that I've always talked to the board and my staff is a good problem to have. We do have some ideas that the parking is for customers only. We have secured parking elsewhere for our staff. We will make that as available as possible, and we do have a series of gates that will be able to secure the site when not in use.

Q: What are the residential properties just south of parking lot area?

A: one of them have residential above, right now there is a barber shop and a couple of houses. There are also residential spaces to the north of Hoff.

Q: Have the neighbors been involved in any of the plans are here tonight?

A: I don't know if they are here tonight, but I have had a couple of phone calls with folks. One of the things that we are going to do is remove this tree here per request of the owner. I've talked to the property owner to the north about the construction process and mitigation affects of making sure that we start at a reasonable time and we are conscious of our neighbors during the construction properties.

Q: Who's on the south side of the south side of Hoff?

A: This is owned by Jill Breber, right now. Her parcels will obviously be not utilized or inhibited. I have given Jill the rundown on this as well. Everyone has been in the loop thus far.

Q: One last one, your construction will have construction trailers. Will that be staged in the parking lot area or will that be store somewhere else?

A: When we go into phase two of construction, once Hoff building is ready to be moved into, we will try to accelerate and getting this done at once. We are not going to phase it, instead, once we are ready to go we will give Dennis the green light and he will stage the heavy machinery in the Hoff parking area while we are focusing on reconciling the grade and getting the majority of this done. One of the last steps is finishing the parking.

A: Will you be doing anything to the front of the building?

Q: The façade facing fourth no, that is going to remain the same.

Q: Where will customers park during the construction phase?

A: That is something we are still working on; I am trying to secure parking that will be across the street on fourth. I have secured our staff parking, but I am currently working on customer parking. That is something we will be communicating in the next two months as we iron out exactly what that will look like.

Q: What does IID stand for?

A: IID process, what that stands for is the Infill Incentive District. Because this project spans such a long way. The IID only accounts for the Fourth Ave side of the project, so we have had to break it up into two development plans. But the Infill Incentive District, one of the main mechanisms it tries to accomplish is certain codes and standards for maintaining the façade of fourth avenue, making sure there is continuity and historic preservation. A good example of the Infill Incentive District is the Union, which is across the street on fourth, as part of this IID process we also have these community meeting to make sure we provide and opportunity so the neighbors can comment on the design.

Q: Do you still have the IID presentation meeting to go yet?

A: The information of this neighborhood meeting gets submitted along the IID.

Q: How many square feet are being added to the retail space?

A: We are doing a 2,000 square foot expansion. That is going to accommodate the east entrance. We are going to have a brand-new produce department. We will have more registers on the east entrance and a whole new kitchen and prepared foods design with a hot bar, salad bar, and soup bar. Our new addition is focused on our fresh departments and making those a bit bigger. And then what we will be able to do, as most of you know, shopping the center store in food conspiracy is a hassle. What we will do is move the middle shelving throughout the whole area and create a perimeter shopping, so a much more open shopping experience. We are maintaining our fourth Ave roots, not just a big box, its just more accessible.

Q: How many square feet is existing store, the retail space?

A: It is 3,800 square feet. As part of the market study we have done for the east entrance project, with this expansion we will be close to 6000 square feet which part of the market study demonstrated that that is going to make food conspiracy from being a specialty store to a full service grocery store. That much retail space and parking is helping us expand into a new threshold of shop ability and access to the Tucson community because is going to be much more convenient to live in the central city all the way to the east side. We are very excited, and the market study overall is extremely strong.

A: Some people I have talk to have said that it is very inconvenient to shop at food conspiracy because of the hassle for parking the way is currently, you have to walk all the way around the building. I am glad to see that this will address that.

Q: Is Hoff Ave going to be a thru avenue for adjoining businesses? How will traffic be accommodated including your own delivery and garbage trucks?

A: What we are going to do is have a really bright and noticeable cross walk area that will be used by customers. We're still going to receive product on Hoff Ave. The idea is that trucks will park up the north part unload on ramp and in. We should be able to keep that separate from the customer flow. We are really going to negotiate that space with the cross walk. We will have the dumpster service in this area, and it should take 5 minutes for them to load trash in the morning.

NEIGHBORHOOD MEETING AFFIDAVIT OF MAILOUT

City of Tucson
Planning & Development Services Department
Special Districts Section
201 N Stone Av
PO Box 27210
Tucson, AZ 85726-7210
SpecialDistricts@tucsonaz.gov

SUBJECT: Neighborhood Meeting Invitation - Mailing Certification

PROJECT NAME: Food Conspiracy Co-Op

PROJECT ADDRESS: 412 N 4th Ave, Tucson, AZ 85705

This serves to place on record the fact that on October 08, 2021, I, Rob Paulus, mailed notice of the October 28, 2021 Neighborhood Meeting, such that the notice was received at least 15 calendar days and not more than 60 calendar days prior to the submittal of the complete Special Districts application.



Rob Paulus

Name of Applicant and Signature

10.08.2021

Date

NEIGHBORHOOD MEETING COPY OF LABELS: NEIGHBORHOOD ASSOCIATIONS

Patrick McKenna - N.A.-Barrio Hollywood
1011 W huron Street
Tucson, AZ 85745

Liza M. Grant - N.A.-Menlo Park
1016 W Congress St
Tucson, AZ 85745

Karen Greene - N.A.-Dunbar Spring
1023 N Perry Ave
Tucson, AZ 85705

Roger Becksted - N.A.-Millville
1070 E 20th St
Tucson, AZ 85719

Mike McGary - N.A.-Downtown Neighborhood Association
111 S Church, Apt #504
Tucson, AZ 85701

Colby Henley - N.A.-Rincon Heights
1140 E 10th St
Tucson, AZ 85719

Erika Mitnik (Chair) - N.A.-Iron Horse
121 N Euclid
Tucson, AZ 85719

Peter Van Peenen - N.A.-North University
1221 N. Mountain Ave
Tucson, AZ 85719

Jordan Mlsna - N.A.-Barrio Hollywood
1231 W Delaware St, #2
Tucson, AZ 85745

Barbara Tellman - N.A.-Feldman's
127 E Mabel
Tucson, AZ 85705

Diana Lett - N.A.-Feldman's
1309 N 1st Ave
Tucson, AZ 85719

Elisabeth Morgan - N.A.-North University
1315 E. Mabel St.
Tucson, AZ 85719

Tina Cole - N.A.-Barrio Blue Moon
1319 N 13th Ave
Tucson, AZ 85705

Kathy Bell - N.A.-Feldman's
1322 N 4th Ave
Tucson, AZ 85705

Grace E. Rich - N.A.-North University
1340 N. Santa Rita
Tucson, AZ 85719

Peter Norback - N.A.-Miles
1428 E Miles
Tucson, AZ 85719

Martha McGrath - N.A.-Barrio Hollywood
1455 W Delaware St
Tucson, AZ 85745

Karin Uhlich - Ward 3
1510 East Grant Rd
Tucson, AZ 85719

Amanda Smith - N.A.-Rincon Heights
1625 E 8th St
Tucson, AZ 85719

Raul E Ramirez (1st VP) - N.A.-Menlo Park
1931 W Brichta Dr
Tucson, AZ 85745

Zach Yentzer - N.A.-Menlo Park
214 S Grande Ave
Tucson, AZ 85745

Jonathan Tullis - N.A.-Iron Horse
216 N 1st Ave
Tucson, AZ 85719

Mary Jo Curtin - N.A.-El Presidio
233 N Main Ave
Tucson, AZ 85701

Regina Romero - Mayor
255 W. Alameda ST
Tucson, AZ 85701

Steve Kozachik - Ward 6
3202 E. 1st St
Tucson, AZ 85716

David Bachman-Williams - N.A.-Armory Park
350 E 15th St
Tucson, AZ 85701

Ted Warmbrand - N.A.-Barrio San Antonio
402 S Star Ave
Tucson, AZ 85719

Letitia A Gonzales - N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Pedro M Gonzales - N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Richard Fimbres - Ward 5
4300 S. Park Av
Tucson, AZ 85714

NEIGHBORHOOD MEETING COPY OF LABELS: NEIGHBORHOOD ASSOCIATIONS

Matthew "Grady" Bautista - N.A.-Barrio San Antonio
530 S Star Ave
Tucson, AZ 85719

Paul Horwath - N.A.-Barrio San Antonio
625 S Santa Rita Ave
Tucson, AZ 85719

Mike Delich - N.A.-Barrio Anita
762 N Contzen Av
Tucson, AZ 85705

Nancy Robins - N.A.-Pie Allen
801 E 7th St
Tucson, AZ 85719

Gracie Soto - N.A.-Barrio Anita
809 N. Anita Ave.
Tucson, AZ 85705

Pat Homan - N.A.-Pie Allen
850 E. 7th St
Tucson, AZ 85719

Anna Montana Cirell - N.A.-Dunbar Spring
921 N Mail Ave
Tucson, AZ 85705

George Kalil - N.A.-Millville
931 S Highland
Tucson, AZ 85719

Lane Santa Cruz - Ward 1
940 W. Alameda St
Tucson, AZ 85745

Maurice Roberts - N.A.-Armory Park
P.O. Box 2132
Tucson, AZ 85702

JUDY SENSIBAR - N.A.-West University
P.O. Box 42825
Tucson, AZ 85733

MARGARET BLY - N.A.-West University
P.O. Box 42825
Tucson, AZ 85733

Sky Jacobs - N.A.-Dunbar Spring
P.O. Box 508
Tucson, AZ 85702

LENOR GLOVER - N.A.-West University
PO Box 42825
Tucson, AZ 85733

NEIGHBORHOOD MEETING COPY OF LABELS: PROPERTY OWNERS

117050260	11705033A	11705047B
SOUTH ON SEVENTH	GEDR UNION ON 6TH LLC	PORTNEY BARRIE S
534 FOREST AVE	465 MEETING ST STE 500	7812 GOLD LENOX CV
NEW ROCHELLE NY 10804	CHARLESTON SC 29403	LAKE WORTH FL 33467
117050180	117050310	11705072A
POLITO LINDA E	NESDAM LLC	GLOBAL COMMUNITY COMMUNICATIONS ALLIANCE
77 E MISSOURI AVE UNIT 16	1781 N ABREGO DR	PO BOX 4910
PHOENIX AZ 85012	GREEN VALLEY AZ 85614	TUBAC AZ 85646
11704318A	117042930	117050880
LSB PROPERTIES LLC	501 NORTH FOURTH LLC	LA AVENIDA ZACOTY LLC
55 W FRANKLIN ST	128 W RIVER RD	6700 N ORACLE RD STE 504
TUCSON AZ 85701	TUCSON AZ 85704	TUCSON AZ 85704
117050400	117050070	11705032E
4TH AVE LLC	CARUSOS RESTAURANT INC	COLLBERG CHRISTIAN
1655 N 15TH AVE	434 N 4TH AVE	401 N 3RD AVE
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
117050780	11705074A	117050240
DM FAMILY PARTNERSHIP	ERIN PROPERTIES LLC	FOOD CONSPIRACY
335 N 4TH AVE	323 E 8TH ST	412 N 4TH AVE
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
11705021A	11705096A	117050050
FOOD CONSPIRACY COOPERATIVE INC	HUNN ROBIN	MILNER MATTHEW P
412 N 4TH AVE	332 E 5TH ST	432 E 6TH ST
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
117050130	11705046C	117050490
PATTERSON NOEL	QUATTRO NINOS LLC	RED 417 LLC
425 N 3RD AVE	1004 N 6TH AVE	323 E 8TH ST
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
117050280	117043170	117050420
SIMONSON ERIK REVOC TR	SOOTER KIMBERLY C LIVING TR	SOUTHARD ROBERT M TR & ROSE STEVE A TR
431 E 7TH ST	429 E 6TH ST	329 E 6TH ST
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
117042920	117050920	11705086A
SOUTHARD ROBERT M TR & ROSE STEVEN A TR	TOMMOT INVESTMENTS LLC	TURPIN THEODORE C & KATHLEEN A JT/RS 1/2
329 E 6TH ST	326 N 4TH AVE	426 E 7TH ST
TUCSON AZ 85705	TUCSON AZ 85705	TUCSON AZ 85705
117043160	117050150	117050250
BRADY CHRISTINA	FOURTH AVENUE PROPERTY TRUST AGREEMENT	LAMINA LLC
5755 E 4TH ST	4450 E WHITMAN ST	4145 E 6TH ST
TUCSON AZ 85711	TUCSON AZ 85711	TUCSON AZ 85711

NEIGHBORHOOD MEETING COPY OF LABELS: PROPERTY OWNERS

117051370
LEAF ARLENE L
1755 S JONES BLVD APT 111
TUCSON AZ 85713

11705046A
RRN INC
746 N COUNTRY CLUB RD
TUCSON AZ 85716

11705046B
WANG FAMILY TR
6990 N SOLAZ SEGUNDO
TUCSON AZ 85718

117050520
TURK KIMBERLEE ANNE
1840 N KRAMER AVE
TUCSON AZ 85719

117050770
335 N FOURTH AVE LLC
5556 E CIRCULO TERRA
TUCSON AZ 85750

117050480
FOUR ELEVEN LLC
2748 E 9TH ST
TUCSON AZ 85716

117050890
SUTTON JON
2802 E 10TH ST
TUCSON AZ 85716

117050060
HARRIS & RUFF CONSULTING LLC
3661 N CAMPBELL AVE # 455
TUCSON AZ 85719

117050080
SNEAD FAMILY TRUST
62161 E BRIARWOOD DR
TUCSON AZ 85739

11705047A
KOKOPELLI PROPERTIES LLC
PO BOX 31420
TUCSON AZ 85751

11705019A
MOSO LLC
431 N TREAT AVE
TUCSON AZ 85716

117043210
NEW FRONTIER LLC
PO BOX 40492
TUCSON AZ 85717

117050530
TURK KIMBERLEE
1840 N KRAMER AVE
TUCSON AZ 85719

117050710
SALLY ANN TOM LIFE INT THEN TO DENNIS
1919 W RIVERVIEW ST
TUCSON AZ 85745

117050410
DENISSEN MURDOCK TR
3025 ST GEORGE ST
LOS ANGELES CA 90027

NEIGHBORHOOD MEETING CERTIFICATE OF MAILING

UNITED STATES POSTAL SERVICE®		Certificate of Mailing — Firm					
Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.				
Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson Arizona 85719	6	6					
Postmaster, per (name of receiving employee)							
USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.	SOUTH ON SEVENTH 534 FOREST AVE NEW ROCHELLE NY 10804						
2.	GEDR UNION ON 6TH LLC 465 MEETING ST STE 500 CHARLESTON SC 29403						
3.	PORTNEY BARRIE S 7812 GOLD LENOX CV LAKE WORTH FL 33467						
4.	POLITO LINDA E 77 E MISSOURI AVE UNIT 16 PHOENIX AZ 85012						
5.	NESDAM LLC 1781 N ABREGO DR GREEN VALLEY AZ 85614						
6.	GLOBAL COMMUNITY COMMUNICATIONS ALLIANCE PO BOX 4910 TUBAC AZ 85646						

PS Form 3665, January 2017 (Page 1 of 1) PSN 7530-17-000-5549 See Reverse for Instructions

UNITED STATES POSTAL SERVICE®		Certificate of Mailing — Firm					
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Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson Arizona 85719	6	6					
Postmaster, per (name of receiving employee)							
USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.	LSB PROPERTIES LLC 55 W FRANKLIN ST TUCSON AZ 85701						
2.	501 NORTH FOURTH LLC 128 W RIVER RD TUCSON AZ 85704						
3.	LA AVENIDA ZACOTY LLC 6700 N ORACLE RD STE 504 TUCSON AZ 85704						
4.	4TH AVE LLC 1655 N 15TH AVE TUCSON AZ 85705						
5.	CARUSOS RESTAURANT INC 434 N 4TH AVE TUCSON AZ 85705						
6.	COLLBERG CHRISTIAN 401 N 3RD AVE TUCSON AZ 85705						

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1.	DM FAMILY PARTNERSHIP 335 N 4TH AVE TUCSON AZ 85705					
2.	ERIN PROPERTIES LLC 323 E 8TH ST TUCSON AZ 85705					
3.	FOOD CONSPIRACY 412 N 4TH AVE TUCSON AZ 85705					
4.	FOOD CONSPIRACY COOPERATIVE INC 412 N 4TH AVE TUCSON AZ 85705					
5.	HUNN ROBIN 332 E 5TH ST TUCSON AZ 85705					
6.	MILNER MATTHEW P 432 E 6TH ST TUCSON AZ 85705					

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1.	PATTERSON NOEL 425 N 3RD AVE TUCSON AZ 85705					
2.	QUATTRO NINOS LLC 1004 N 6TH AVE TUCSON AZ 85705					
3.	RED 417 LLC 323 E 8TH ST TUCSON AZ 85705					
4.	SIMONSON ERIK REVOC TR 431 E 7TH ST TUCSON AZ 85705					
5.	SOOTER KIMBERLY C LIVING TR 429 E 6TH ST TUCSON AZ 85705					
6.	SOUTHARD ROBERT M TR & ROSE STEVE A TR 329 E 6TH ST TUCSON AZ 85705					

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		Postmaster, per (name of receiving employee) 		 U.S. POSTAGE PAID TUCSON, AZ OCT 08 21 AMOUNT \$2.82 R2305K137726-44		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.	TOMMOT INVESTMENTS LLC 326 N 4TH AVE TUCSON AZ 85705					
2.	TURPIN THEODORE C & KATHLEEN A JT/RS 1/2 426 E 7TH ST TUCSON AZ 85705					
3.	BRADY CHRISTINA 5755 E 4TH ST TUCSON AZ 85711					
4.	FOURTH AVENUE PROPERTY TRUST AGREEMENT 4450 E WHITMAN ST TUCSON AZ 85711					
5.	LAMINA LLC 4145 E 6TH ST TUCSON AZ 85711					
6.	LEAF ARLENE L 1755 S JONES BLVD APT 111 TUCSON AZ 85713					

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1.	FOUR ELEVEN LLC 2748 E 9TH ST TUCSON AZ 85716					
2.	MOSO LLC 431 N TREAT AVE TUCSON AZ 85716					
3.	RRN INC 746 N COUNTRY CLUB RD TUCSON AZ 85716					
4.	SUTTON JON 2802 E 10TH ST TUCSON AZ 85716					
5.	NEW FRONTIER LLC PO BOX 40492 TUCSON AZ 85717					
6.	WANG FAMILY TR 6990 N SOLAZ SEGUNDO TUCSON AZ 85718					

PS Form 3665, January 2017 (Page ___ of ___) PSN 7530-17-000-5549

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1.	HARRIS & RUFF CONSULTING LLC 3661 N CAMPBELL AVE # 455 TUCSON AZ 85719					
2.	TURK KIMBERLEE 1840 N KRAMER AVE TUCSON AZ 85719					
3.	SNEAD FAMILY TRUST 62161 E BRIARWOOD DR TUCSON AZ 85739					
4.	SALLY ANN TOM LIFE INT THEN TO DENNIS 1919 W RIVERVIEW ST TUCSON AZ 85745					
5.	335 N FOURTH AVE LLC 5556 E CIRCULO TERRA TUCSON AZ 85750					
6.	KOKOPELLI PROPERTIES LLC PO BOX 31420 TUCSON AZ 85751					

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1.	Patrick McKenna - N.A.-Barrio Hollywood 1011 W huron Street Tucson, AZ 85745					
2.	Liza M. Grant - N.A.-Menlo Park 1016 W Congress St Tucson, AZ 85745					
3.	Karen Greene - N.A.-Dunbar Spring 1023 N Perry Ave Tucson, AZ 85705					
4.	Roger Becksted - N.A.-Millville 1070 E 20th St Tucson, AZ 85719					
5.	Mike McGary - N.A.-Downtown Neighborhood Association 111 S Church, Apt #504 Tucson, AZ 85701					
6.	Colby Henley - N.A.-Rincon Heights 1140 E 10th St Tucson, AZ 85719					

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Postmaster, per (name of receiving employee) 					
USPS® Tracking Number Firm-specific Identifier		Address <small>(Name, Street, City, State, and ZIP Code™)</small>		Postage	Fee
1.		Erika Mitnik (Chair) - N.A.-Iron Horse 121 N Euclid Tucson, AZ 85719			
2.		Peter Van Peenen - N.A.-North University 1221 N. Mountain Ave Tucson, AZ 85719			
3.		Jordan Misna - N.A.-Barrio Hollywood 1231 W Delaware St, #2 Tucson, AZ 85745			
4.		Barbara Tellman - N.A.-Feldman's 127 E Mabel Tucson, AZ 85705			
5.		Diana Lett - N.A.-Feldman's 1309 N 1st Ave Tucson, AZ 85719			
6.		Elisabeth Morgan - N.A.-North University 1315 E. Mabel St. Tucson, AZ 85719			

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Postmaster, per (name of receiving employee) 					
USPS® Tracking Number Firm-specific Identifier		Address <small>(Name, Street, City, State, and ZIP Code™)</small>		Postage	Fee
1.		Anna Montana Cirell - N.A.-Dunbar Spring 921 N Mail Ave Tucson, AZ 85705			
2.		Amanda Smith - N.A.-Rincon Heights 1625 E 8th St Tucson, AZ 85719			
3.		David Bachman-Williams - N.A.-Armory Park 350 E 15th St Tucson, AZ 85701			
4.		Grace E. Rich - N.A.-North University 1340 N. Santa Rita Tucson, AZ 85719			
5.		George Kalil - N.A.-Millville 931 S Highland Tucson, AZ 85719			
6.		Gracie Soto - N.A.-Barrio Anita 809 N. Anita Ave. Tucson, AZ 85705			

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		Postmaster, per (name of receiving employee) 			
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	Jonathan Tullis - N.A.-Iron Horse 216 N 1st Ave Tucson, AZ 85719				
2.	JUDY SENSIBAR - N.A.-West University P.O. Box 42825 Tucson, AZ 85733				
3.	Kathy Bell - N.A.-Feldman's 1322 N 4th Ave Tucson, AZ 85705				
4.	Karin Uhlich - Ward 3 1510 East Grant Rd Tucson, AZ 85719				
5.	Lane Santa Cruz - Ward 1 940 W. Alameda St Tucson, AZ 85745				
6.	LENOR GLOVER - N.A.-West University PO Box 42825 Tucson, AZ 85733				

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	Letitia A Gonzales - N.A.-Barrio Viejo 423 S Elias Tucson, AZ 85701				
2.	Martha McGrath - N.A.-Barrio Hollywood 1455 W Delaware St Tucson, AZ 85745				
3.	Mary Jo Curtin - N.A.-El Presidio 233 N Main Ave Tucson, AZ 85701				
4.	Maurice Roberts - N.A.-Armory Park P.O. Box 2132 Tucson, AZ 85702				
5.	MARGARET BLY - N.A.-West University P.O. Box 42825 Tucson, AZ 85733				
6.	Matthew "Grady" Bautista - N.A.-Barrio San Antonio 530 S Star Ave Tucson, AZ 85719				

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Postmaster, per (name of receiving employee) 					U.S. POSTAGE PAID TUCSON, AZ 85726 OCT 08 21 AMOUNT \$2.82 R2305K137726-44		
USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.		Mike Delich - N.A.-Barrio Anita 762 N Contzen Av Tucson, AZ 85705					
2.		Nancy Robins - N.A.-Pie Allen 801 E 7th St Tucson, AZ 85719					
3.		Pat Homan - N.A.-Pie Allen 850 E. 7th St Tucson, AZ 85719					
4.		Paul Horwath - N.A.-Barrio San Antonio 825 S Santa Rita Ave Tucson, AZ 85719					
5.		Pedro M Gonzales - N.A.-Barrio Viejo 423 S Elias Tucson, AZ 85701					
6.		Peter Norback - N.A.-Miles 1428 E Miles Tucson, AZ 85719					

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USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.		Raul E Ramirez (1st VP) - N.A.-Menlo Park 1931 W Brichta Dr Tucson, AZ 85745					
2.		Regina Romero - Mayor 255 W. Alameda ST Tucson, AZ 85701					
3.		Richard Fimbres - Ward 5 4300 S. Park Av Tucson, AZ 85714					
4.		Sky Jacobs - N.A.-Dunbar Spring P.O. Box 508 Tucson, AZ 85702					
5.		Steve Kozachik - Ward 6 3202 E. 1st St Tucson, AZ 85716					
6.		Ted Warmbrand - N.A.-Barrio San Antonio 402 S Star Ave Tucson, AZ 85719					




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		Postmaster, per (name of receiving employee) 		 U.S. POSTAGE PAID TUCSON, AZ 85726 OCT 08 21 AMOUNT \$1.65 R2305K137726-44	
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling Parcel Airlift
1.	Tina Cole - N.A.-Barrio Blue Moon 1319 N 13th Ave Tucson, AZ 85705				 U.S. POSTAGE PAID TUCSON, AZ 85726 OCT 08 21 AMOUNT \$1.65 R2305K137726-44
2.	Zach Yentzer - N.A.-Menlo Park 214 S Grande Ave Tucson, AZ 85745				
3.					
4.					
5.					
6.					

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		Postmaster, per (name of receiving employee) 		 U.S. POSTAGE PAID TUCSON, AZ 85726 OCT 08 21 AMOUNT \$1.65 R2305K137726-44	
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling Parcel Airlift
1.	DENISSEN MURDOCK TR 3025 ST GEORGE ST LOS ANGELES CA 90027				 U.S. POSTAGE PAID TUCSON, AZ 85726 OCT 08 21 AMOUNT \$1.65 R2305K137726-44
2.					
3.					
4.					
5.					
6.					

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AERIAL PHOTOGRAPHS (CURRENT)



AERIAL SITE CONTEXT

FOOD CONSPIRACY
412 N. 4TH AVENUE



SITE AERIAL

PHOTOS OF PROJECT SITE EXISTING CONDITIONS



EAST SITE ELEVATION
4TH STREET



WEST SITE ELEVATION
HOFF AVENUE



EAST SITE ELEVATION
HOFF AVENUE



WEST SITE ELEVATION
3RD AVENUE

PHOTOS OF THE SURROUNDING AREA



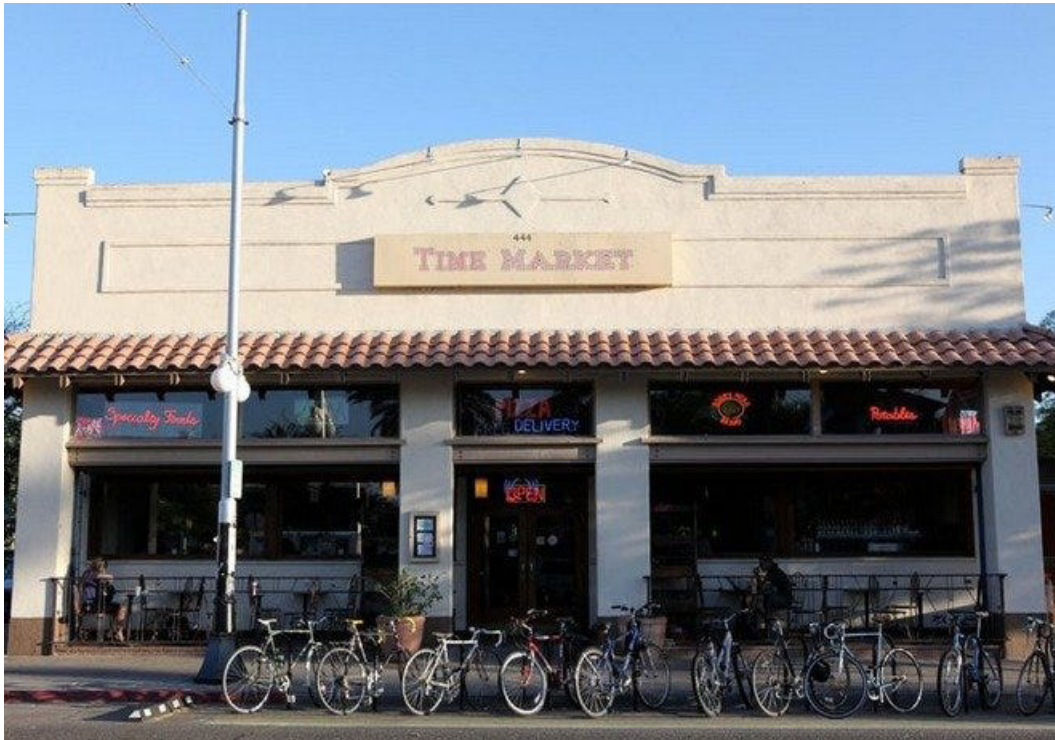
CARUSO'S
6th Street & 4th Avenue



VACANT BUILDING
4th Avenue & 7th Street

PHOTOS OF PRECEDENTS

Markets in Downtown / University area with no parking requirements



TIME MARKET- TUCSON, AZ



JOHNNY GIBSON'S DOWNTOWN MARKET- TUCSON, AZ

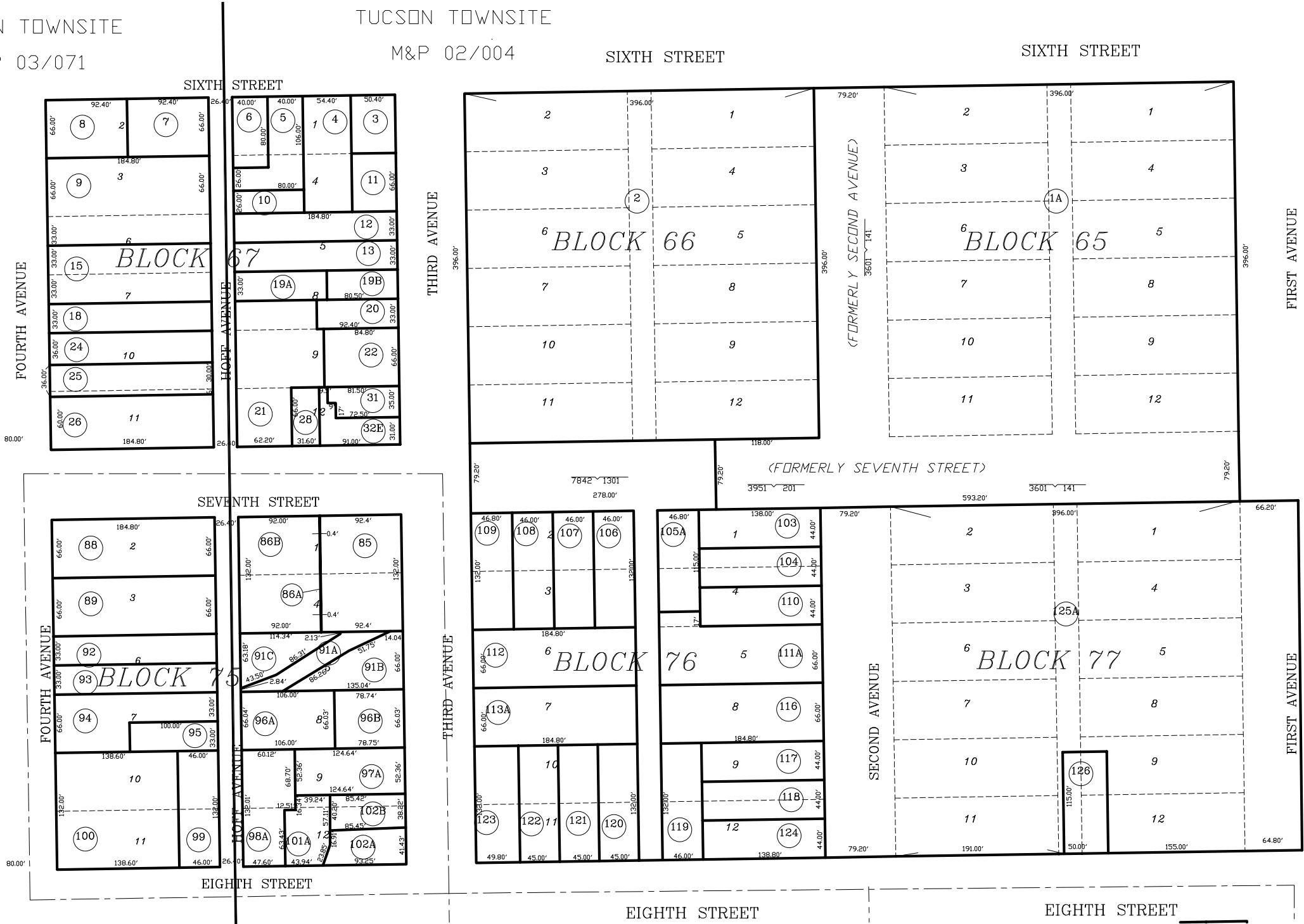
FOOD CONSPIRACY
CO-OP

ASSESSOR'S RECORD MAP
CITY OF TUCSON
BLOCKS 65-67, 75-77

DETAIL 12 (COTALL)

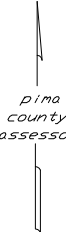
TUCSON TOWNSITE
M&P 03/071

TUCSON TOWNSITE
M&P 02/004



SEE BOOK 02 PAGE 004 M&P
SEE BOOK 03 PAGE 071 M&P
2009-1

S12,T14S,R13E
COTALL\ALL\COT_D012-01/27/20



STATE HISTORIC OFFICE PRESERVATION OFFICE APPLICATION

Rob Paulus Architects Ltd

April 22, 2020

Ms. Kathryn Leonard
Arizona State Historic Preservation Office
1300 W Washington Street
Phoenix, AZ 85007
(602) 542-4009
kleonard@azstateparks.gov

RE: Food Conspiracy Co-op, 412 and 418 N 4th Avenue, Tucson Arizona
Parcel numbers: 117-05-0240, 117-05-0180

Dear Ms. Leonard,

We are currently working with the Food Conspiracy Co-op grocery store located along 4th Avenue to expand the back of their store toward the alleyway to improve functionality and viability while providing a new entry with car parking for their customers. The "Co-op" is comprised of two adjacent, contributing buildings that front 4th Avenue and are connected via an opening in their shared party wall. The back of the north building has two connected subservient structures that were not original to the building and are currently being used for the Co-op's back of house operations. The south building has a covered entry that becomes enclosed at the rear door. In our proposed store expansion, we will need to remove both ancillary structures and the porch roof. The original back (east) walls of the north and south buildings will remain with two new openings being added to the south building's wall to connect the existing and proposed retail spaces.

The Co-op has been providing natural and organic food since its inception in 1971 and has operated from its present home on 4th Avenue since 1974. Originally run as a worker's collective, it later developed into a consumer cooperative model that today provides a full-service food market, open to the public with over 3,000 member owners. Given the recent addition of the Modern Street Car and the new mixed use projects with hundreds of apartments being built nearby, The Co-op is ready to expand and improve their offerings to better serve the community and city at large.

We started a masterplan effort for the Co-op in November of 2019 and quickly realized the extent of their operational inefficiencies due to their limited space and complicated back of house operations. Compounding this inefficiency is a two and half foot height difference between the main retail floor elevation and the back of house areas that are inside the ancillary structures. These include the dry storage warehouse and access to freestanding cold storage coolers. These spaces are accessed via a steep internal ramp that takes up valuable floor space and has proven to be hazardous to employee safety over the years.

The buildings that front along 4th Avenue were constructed between 1927-1940 per the State of Arizona Historic Property Inventory Form and the period of significance for the property is 1903-1967. The primary elevation of the properties along 4th Avenue will remain as-is and all of the visible work for the proposed expansion will occur at the back portion of the property along the alley street known as Hoff Avenue. The two subservient structures and porch we are proposing to remove were not included on the 1919-1947 Sanborn Map. The larger subservient structure first appears on the 1949 Sanborn Map. It is unknown when the second, smaller ancillary structure was constructed as the earliest documentation from the City of Tucson GIS Map Tucson website is an aerial image from 1998. Please see images and supplemental documentation included in this request.

In evaluating historic significance of the Co-op buildings, we find that the primary buildings facing 4th Avenue to the architectural heritage of Tucson and the 4th Avenue District while the late 1940's subservient buildings and porch structure do not. We believe this to be true based on the following:

FOOD CONSPIRACY
CO-OP

Rob Paulus Architects Ltd

1. The subservient buildings that face the alleyway are not visible from 4th Avenue nor are they part of the historic experience of the 4th Avenue District.
2. Subservient buildings at East façade differentiate themselves as lower scale, windowless additions to the original, larger and more dignified older buildings that front along 4th Avenue. These shed structures are comprised of painted exterior plywood sheathing (T1-11 board) and are not constructed of brick like the original historic buildings.
3. The subservient buildings are not mentioned in the Historic Property Inventory from Poster, Frost, Mirto dated December 2015.
4. The subservient buildings are not wide or high enough for their current use as a warehouse space and the steep, non-ADA internal ramp has proved to be hazardous to employees.

The Food Co-op improvements will create a more efficient and viable local grocery store to maintain and increase the historic commercial activity along 4th avenue. This rework of the Co-op will also increase the customer base that is able to enjoy this local treasure that highlights natural, organic and locally produced food.

We respectfully request your concurrence that the subservient buildings and additions at the alley side of the property (East) are non-contributing to the property, and if removed, will not affect the historic status of the primary buildings on the property.

Sincerely,



Rob Paulus AIA LEED AP
Rob Paulus Architects

FOOD CONSPIRACY
CO-OP

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 14 Survey Area: 4th Avenue Commercial Historic District

Historic Name(s):

Address: 416 N. 4th Avenue

City or Town: Tucson ☐ vicinity County: Pima Tax Parcel No. 117050180

Township: 14 S Range: 13 E Section: 12 Quarter Section: _____ Acreage: <1

Block: 75 Lot(s): 7 and 10 Plat (Addition): Tucson City Limits Year of plat (addition): NA

UTM reference: Zone 12 Easting _____ Northing _____ USGS 7.5' quad map: Tucson

Architect: Josias Joesler (possibly) ☒ not determined ☐ known (source: _____)

Builder: _____ ☒ not determined ☐ known (source: _____)

Construction Date: 1927-1940 ☐ known ☒ estimated (source: Arizona Historical Society)

STRUCTURAL CONDITION

☒ Good (well maintained, no serious problems apparent)

☐ Fair (some problems apparent) Describe: _____

☐ Poor (major problems; imminent threat) Describe: _____

☐ Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

Commercial (1927-present)

Currently Food Conspiracy

Co-op

Sources: Arizona Historical

Society

PHOTO INFORMATION

Date of photo: December 2015

View Direction (looking towards)

East

Negative No.: _____



ACY
CO-OP

SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)

B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)

C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

Style: Spanish Colonial Revival

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION ☒ Original Site ☐ Moved (date _____) Original Site: _____

2. DESIGN Tall building with arcade and tower, multiple roof forms (shed, hipped, and flat), wood beams, floral medallions, and thick stucco sheathing. In 1983, the partition wall between this building and adjacent building was removed and the two buildings were combined into a single business space. Entry to this business is located in the adjacent building.

3. SETTING Early 20th century commercial district: Fourth Avenue began as a residential neighborhood in the latter part of the 19th century and by the turn of the 20th century, homes were either torn down, replaced, or redesigned to become a commercial corridor serving adjacent neighborhoods.

4. MATERIALS

Walls (structure): Brick Foundation: Concrete Roof: Built-up and clay tiles

Windows: Wood

If the windows have been altered, what were they originally? _____

Wall Sheathing: Stucco

If the sheathing has been altered, what was it originally? _____

5. WORKMANSHIP Arcade, tower, exposed rafters, architectural terra cotta relief on façade and floral medallions.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

☐ Individually listed; ☐ Contributor ☐ Noncontributor to _____ Historic District

Date Listed: _____ ☐ Determined eligible by Keeper of National Register (date: _____)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property ☐ is ☒ is not eligible individually.

Property ☒ is ☐ is not eligible as a contributor to a potential historic district.

☐ More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY:

Name and Affiliation: Poster Frost Mirto

Mailing Address: 317 N. Court Ave., Tucson, AZ 85701

FOOD CONSPIRACY

Doc: December 2015

Phone No: 520-884-6300

CO-OP

HISTORIC PROPERTY INVENTORY FORM CONTINUATION SHEET

Name of property: 416 N. 4th Avenue

Continuation Sheet No. 1

Copy of remodel plans for 412 N. 4th Avenue (including building to north at 416 N. 4th Avenue) dated 1984 by Bailey Eglin Architects, Tucson, courtesy of Pima County Public Works, Tucson.

ALTERATIONS FOR FOOD CONSPIRACY CO-OP

412 N. 4TH AVE., TUCSON, ARIZONA 85705

EXTERIOR ELEVATION

GENERAL NOTES:

1. All construction shall conform to the building code (see 1983 code).
2. All construction shall be in accordance with the plans and specifications on file with the city of Tucson.
3. Materials of construction shall be as specified on the plans and specifications.
4. All work shall be done in accordance with the plans and specifications.
5. All work shall be done in accordance with the plans and specifications.
6. All work shall be done in accordance with the plans and specifications.
7. All work shall be done in accordance with the plans and specifications.
8. All work shall be done in accordance with the plans and specifications.
9. All work shall be done in accordance with the plans and specifications.
10. All work shall be done in accordance with the plans and specifications.

EXTERIOR ELEVATION

1. Exterior elevation shall be in accordance with the plans and specifications.

2. Exterior elevation shall be in accordance with the plans and specifications.

3. Exterior elevation shall be in accordance with the plans and specifications.

4. Exterior elevation shall be in accordance with the plans and specifications.

5. Exterior elevation shall be in accordance with the plans and specifications.

6. Exterior elevation shall be in accordance with the plans and specifications.

7. Exterior elevation shall be in accordance with the plans and specifications.

8. Exterior elevation shall be in accordance with the plans and specifications.

9. Exterior elevation shall be in accordance with the plans and specifications.

10. Exterior elevation shall be in accordance with the plans and specifications.

LOCATION MAP

PROJECT DATA

PROJECT NAME: FOOD CONSPIRACY CO-OP

PROJECT ADDRESS: 412 N. 4TH AVE., TUCSON, ARIZONA 85705

PROJECT OWNER: FOOD CONSPIRACY CO-OP

PROJECT ARCHITECT: BAILEY EGLIN ARCHITECTS

PROJECT DATE: 4-00-29

CHECK INDEX

1. EXTERIOR ELEVATION

2. EXTERIOR ELEVATION

3. EXTERIOR ELEVATION

4. EXTERIOR ELEVATION

5. EXTERIOR ELEVATION

6. EXTERIOR ELEVATION

7. EXTERIOR ELEVATION

8. EXTERIOR ELEVATION

9. EXTERIOR ELEVATION

10. EXTERIOR ELEVATION

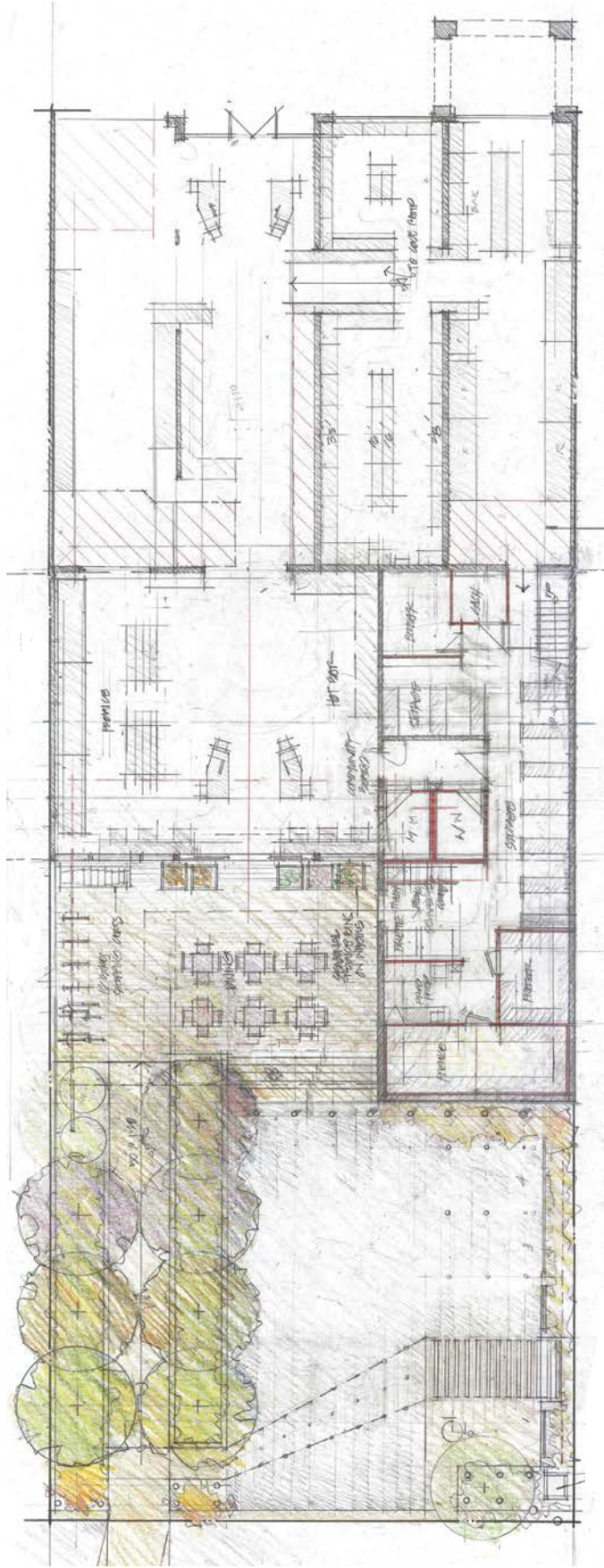
FOOD CONSPIRACY
CO-OP

An aerial photograph of a property located between 4th Avenue and Hoff Avenue. The property is outlined in red. A large rectangular area on the right side of the property is highlighted in solid red. Two black dots are placed on this red area, with leader lines pointing to them. Another black dot is located on the left side of the property, with a leader line pointing to it. The property is situated between 4th Avenue on the left and Hoff Avenue on the right. The property itself is a light-colored, flat-roofed building. To the right of the property is a parking lot with several cars. To the left of the property is a larger, multi-story building with a brown roof. The image is oriented horizontally, with the street names 4TH AVENUE and HOFF AVENUE written vertically on the left and right sides respectively.

A diagram of a circle with a vertical line segment extending from the center to the top edge. The letter 'N' is positioned above the line segment.

HOFF AVENUE

4TH AVENUE

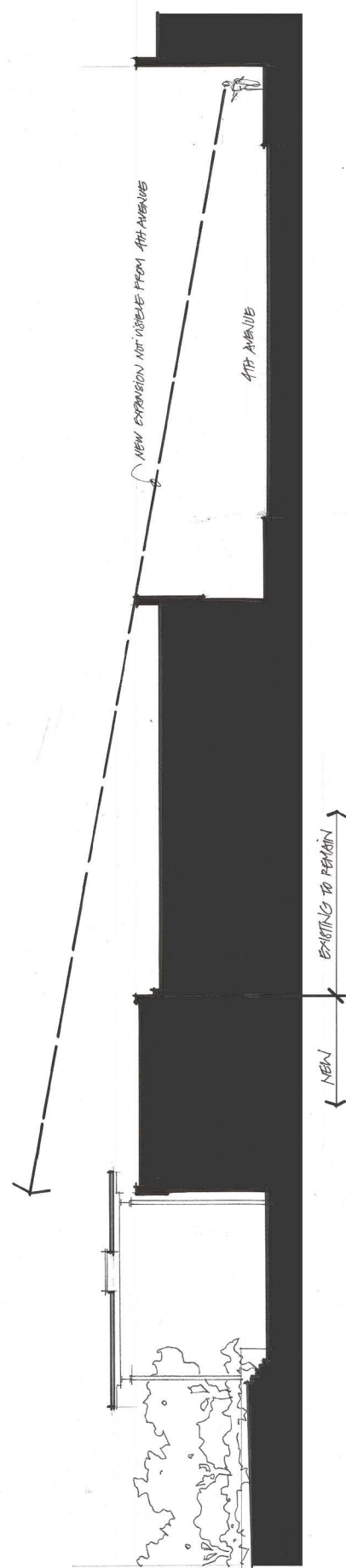


PROPOSED EXPANSION

EXISTING BUILDING

PROPOSED SITE + FLOOR PLAN

N.T.S.



NEW

EXISTING TO REMAIN

PROPOSED SITE SECTION LOOKING SOUTH

N.T.S.



CO-OP 4TH AVENUE STREET VIEW



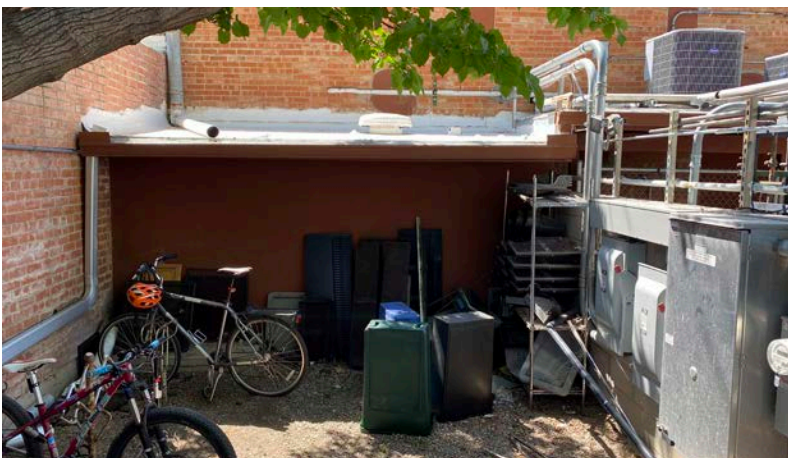
HOFF AVENUE ALLEY LOOKING NORTH



CO-OP NORTH BUILDING SUBSERVIENT STRUCTURES



CO-OP SOUTH BUILDING PORCH ROOF



CO-OP SOUTH BUILDING COVERED REAR ENTRY



CO-OP SOUTH BUILDING REAR ENTRY DOOR

STATE HISTORIC OFFICE PRESERVATION APPROVAL



Doug Ducey
Governor

ARIZONA
STATE PARKS & TRAILS

Robert Broscheid
Executive Director



May 6, 2020

Mr. Rob Paulus
Rob Paulus Architects, Ltd.
990 17th Street Suite 100
Tucson, Arizona 85719

RE: Food Conspiracy Co-op, 412 and 418 N 4th Avenue, Tucson, Arizona

Dear Mr. Paulus,

Thank you for your letter (dated 4/22/20) requesting consultation with our office regarding potentially eligible historic properties in the City of Tucson (412 and 418 N 4th Avenue). We appreciate you taking the time to ensure that the partial demolition and additions proposed meet the Secretary of the Interior's Standards for Treatment of Historic Properties.

With regard to the demolition of the additions, we concur that removal of the utilitarian portions at the back of the building will have "no adverse effect" on the integrity of the historic buildings. The proposed addition meets the Secretary of the Interior's Standards for Rehabilitation; respecting and retaining the character-defining features of the historic buildings by locating the addition at the back, and ensuring that the new construction is not visible from the street along 4th Avenue.

We concur that the project as presented will have "no adverse effect" on the potentially eligible historic properties. Thank you for the opportunity to review and comment on this proposed addition to the Food Conspiracy Co-op.

Sincerely,

A handwritten signature in blue ink that reads "Pat Dahlen".

Patricia Dahlen
Architect
State Historic Preservation Office