

714 N. EUCLID AVENUE
DESIGN PACKAGE

CHANGES TO DECEMBER 2016 APPROVED DESIGN



7•ONE•4

Tucson, AZ December 18, 2018



efg
architects inc. 9834-105 Street
Edmonton, AB t5k 1A6
Office: (780) 423 3424
Fax: (780) 425 0536



VINT & ASSOCIATES ARCHITECTS, INC.
312 E. 6th St., Tucson, AZ 85705 (520)882-5232

Team

Developer: Stewart Smith/Mike Golec
 7 One 4, LLC
 7610 E. McDonald Drive #F
 Scottsdale, AZ 85250
 tel: 858.699.7023



Design Architect: Robert Vint, RA
 Vint & Associates, Inc
 312 E. 6th Street
 Tucson, AZ 85705
 tel: 520.882.5232



Architect of Record: Ed Gooch, RA,
 EDF Architects Inc
 9834-105 Street
 Edmonton, AB T5K 1A6
 Canada
 tel: 780.423-3424



Civil Engineer: Kevin Hall, PE
 Cypress Engineering
 2030 E. Speedway Blvd, #110,
 Tucson, AZ 85719
 tel: 520.499.2456

Structural Engineer: Clifton Paul, PE
 PKA Associates
 7434 E McDonald Drive
 Scottsdale, AZ 85250
 tel: 480.922.8854

Mechanical & Electrical Engineer: David Garcia-Acosta
 Gardel Engineering
 441 S. 48th Street
 Tempe, AZ 85281
 tel: 480.361.3667

General Contractors: Craig Bergstrom, LEED AP
 UEB Builders
 6750 E. Camelback Rd, #103
 Scottsdale, AZ 85251
 tel: 480.222.9103

Marriot Hotel Extended Stay: Scott McAllister,
 Chief Operating Officer, LDHG
 Marriott International
 Phoenix
 tel: 480.862.9389

Design Review Timeline

Dec 12, 2013	Submission to the City of Tucson, Dev. Services. Permission to demolish historic structures located at the NE corner of N. Euclid Ave and E. 4th Street, because the buildings were financially infeasible to restore due to neglect and deterioration. Permission granted.	Aug 21, 2014	Main Gate District-Design Review Committee Meeting. Approved.
Apr 15, 2014	West University Historic Zone Advisory Board. (WUZHAB) Requested more windows, screen pool, information on materials and parking routes. Response: Windows were added, pool set back from edge and green space added. Materials defined and color samples offered.	Sep 12, 2016	WUZHAB Oppose demolition plan but approved replacement plan as revised and presented that evening.
Apr 24, 2014	Tucson-Pima County Historical Commission (TPCHC) First review of Financial Hardship and Replacement Plan. Approved	Nov 11, 2014	Neighborhood Property Owners Public Meeting Mayor & Council Meeting Approval of project and demolition
Apr 30, 2014	City Staff Meeting Discuss Parking strategy, MS&R application, moving forward.	Nov 16, 2014	City Staff Presentation of proposed revisions & discussion.
May 15, 2014	TPCHC & WUZHAB - Impass regarding demolition. DRC - Informal presentation to introduce project.	Apr 9, 2015	Request for change to approved Design package by R. Vint, Architect.
May 20, 2014	WUZHAB (3rd Review) Demolition and replacement plan called compatible.	Aug 31, 2016	City of Tucson Planning & Dev. Services Main Gate District Presentation
May 22, 2014	TPCHC Agreed that historic structures beyond repair.	Sep 6, 2016	West University Historic Zone Advisory Board Meeting. The changes to the design were contrasted with the previously presented design and the Board agreed there were no substantial changes. Approved.
Jun 26, 2014	TPCHC (4th review) Recommend warmer colors, tan shades preferred.	Oct 16, 2016	City of Tucson Planning & Dev. Services, Main Gate Overlay Revised Design submitted for approval.
		August 2018	City of Tucson Planning & Dev. Services Main Gate Overlay Final Design submitted for approval
		Oct 16, 2018	WUZHAB Design Review The changes to the design were approved.
		Nov 15, 2018	Tucson-Pima County Historical Commission (TPCHC) The changes to the design were approved.





MAIN GATE DISTRICT



 **HOTEL LOCATION**
714 N. EUCLID AVENUE



7•ONE•4
Tucson, AZ December 18, 2018



efg
architects inc. 9834-105 Street
Edmonton, AB t5k 1A6
Office: (780) 423 3424
Fax: (780) 425 0536

 VINT & ASSOCIATES ARCHITECTS, INC.
312 E. 6th St., Tucson, AZ 85705 (520)882-5232







7•ONE•4

Tucson, AZ December 18, 2018



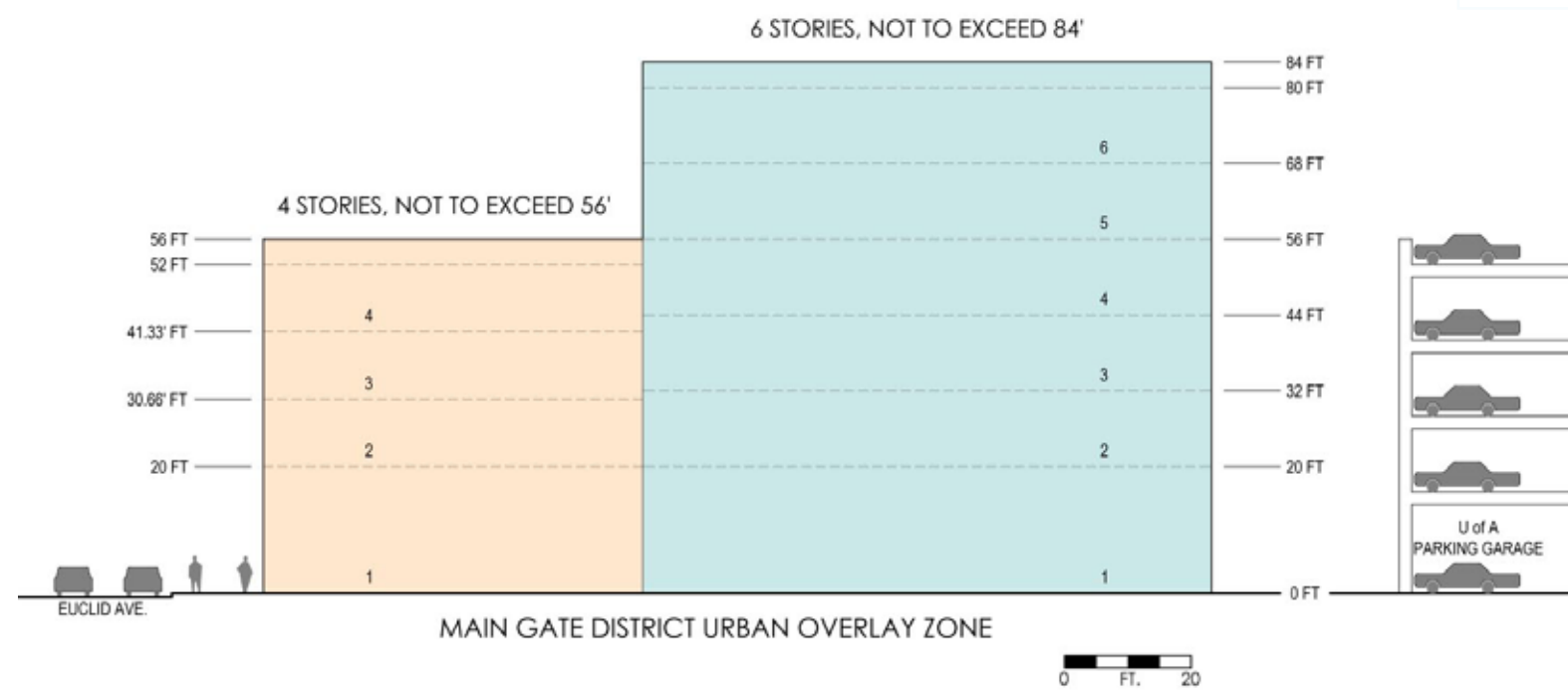
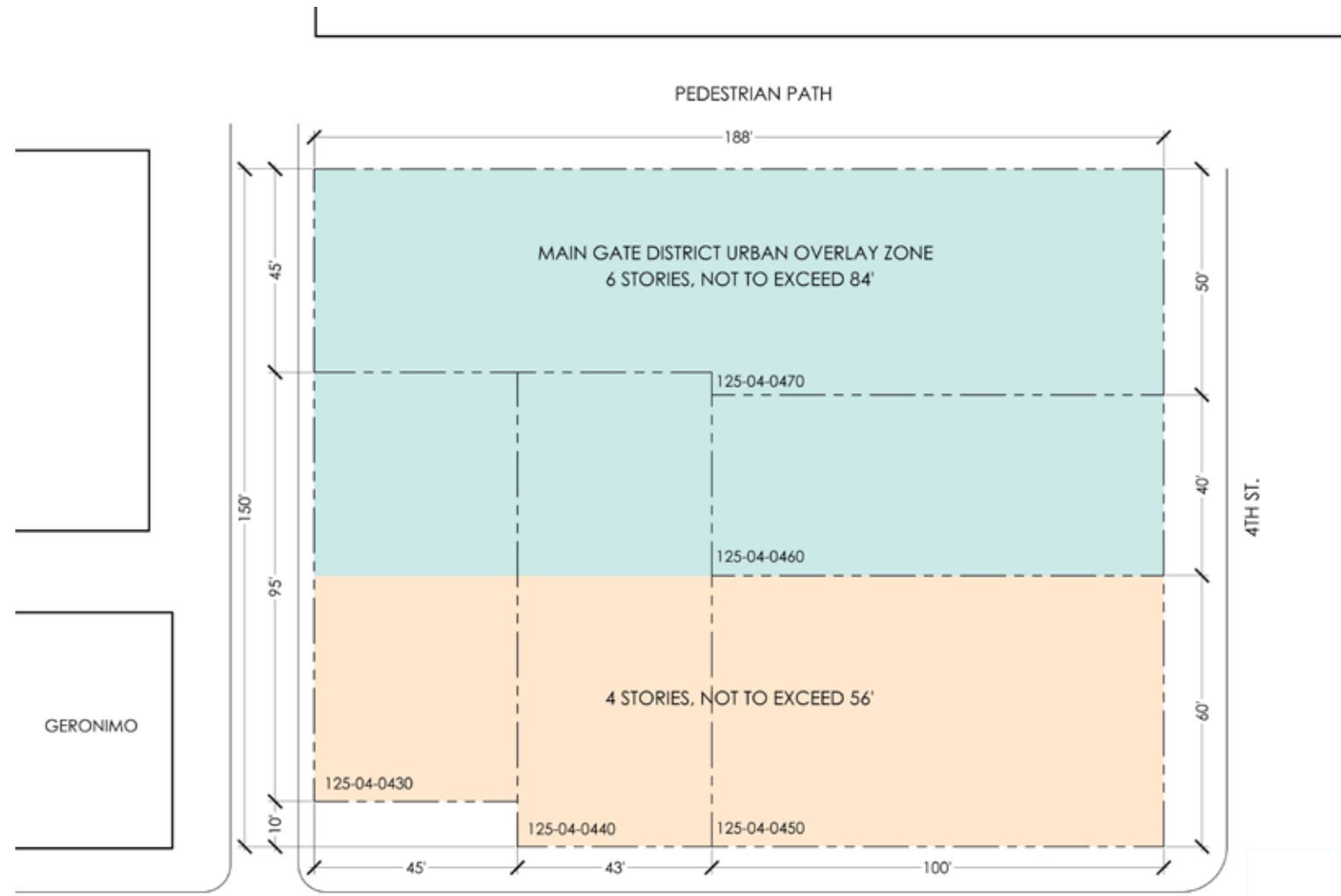
efg
architects inc. 9834-105 Street
Edmonton, AB t5k 1A6
Office: (780) 423 3424
Fax: (780) 425 0536

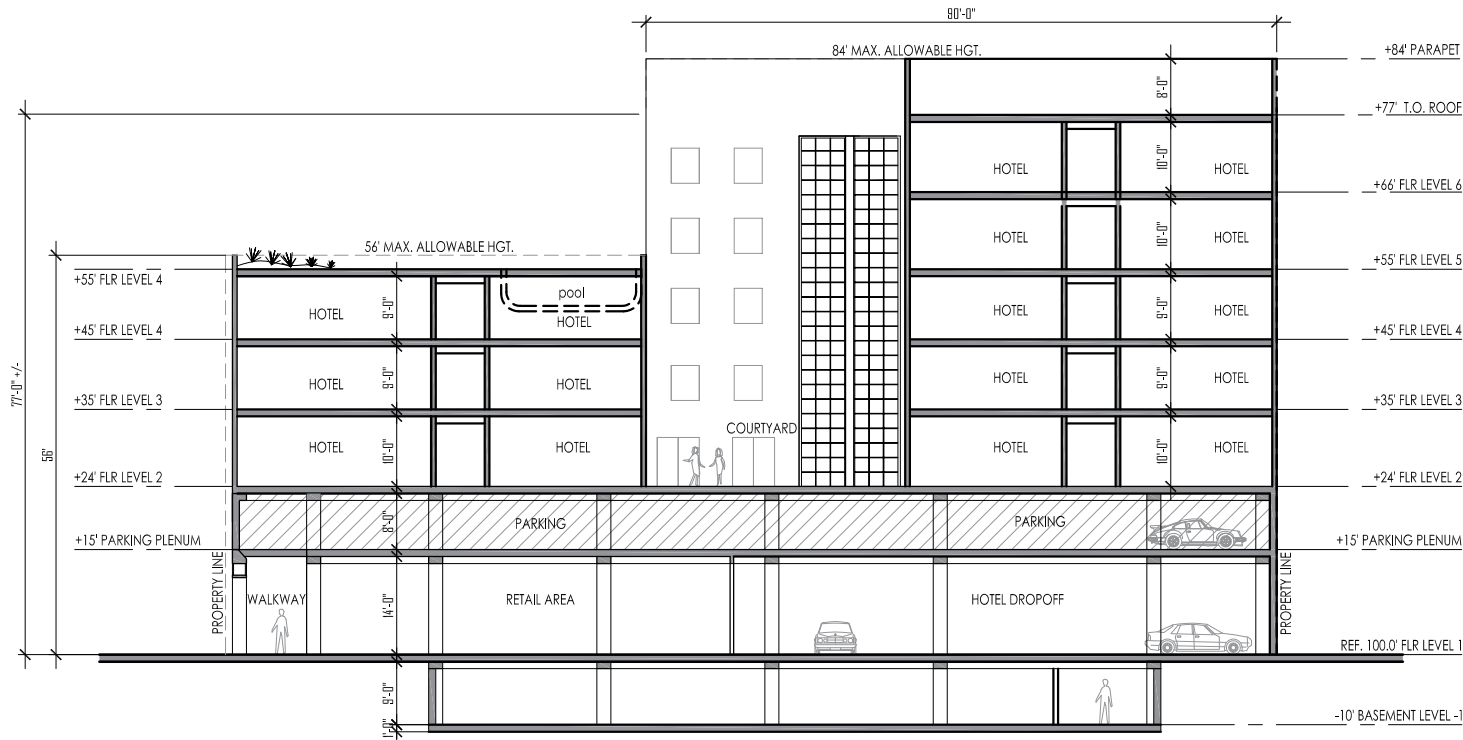
 VINT & ASSOCIATES ARCHITECTS, INC.
312 E. 6th St., Tucson, AZ 85705 (520)882-5232





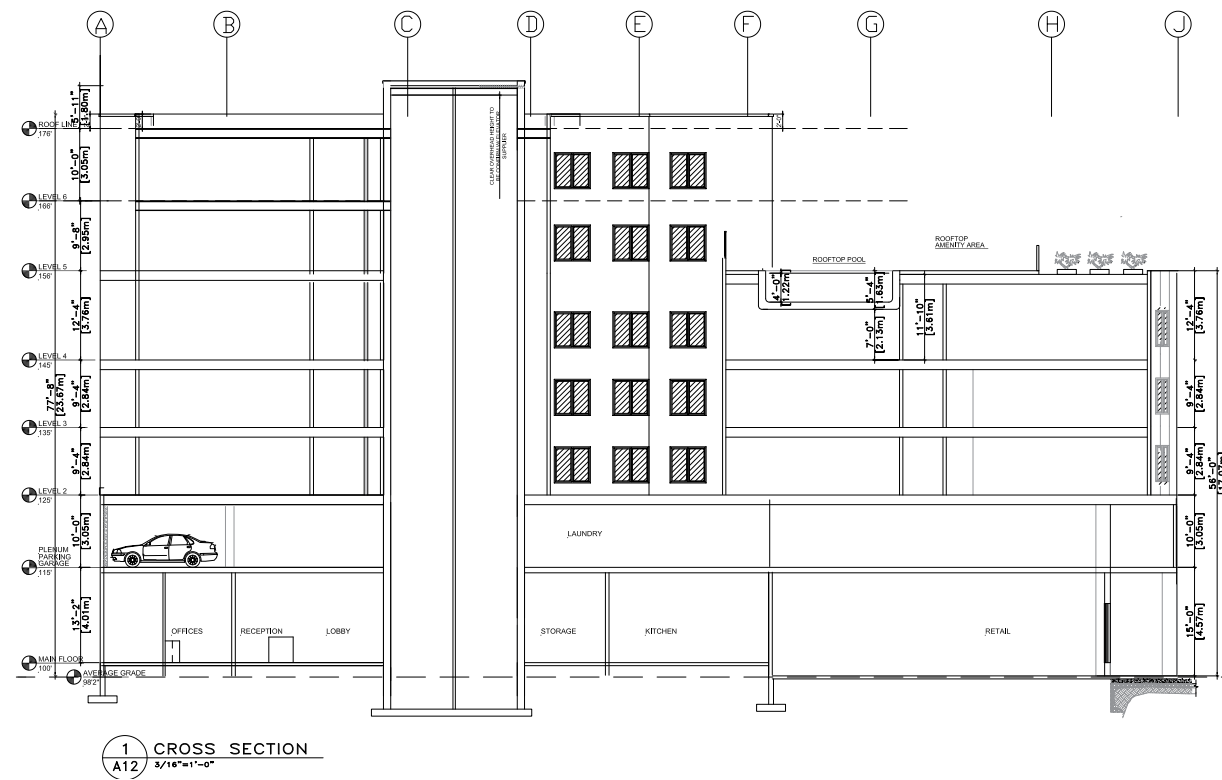
VIEW OF SITE FROM EUCLID AVE.





2016 Euclid Hotel

- 6 levels with parking plenum and basement
- Pool and terrace on the 5th level
- Ground floor -Retail, hotel reception and lobby, dining room and kitchen
- Basement - laundry, employees facilities and storage.



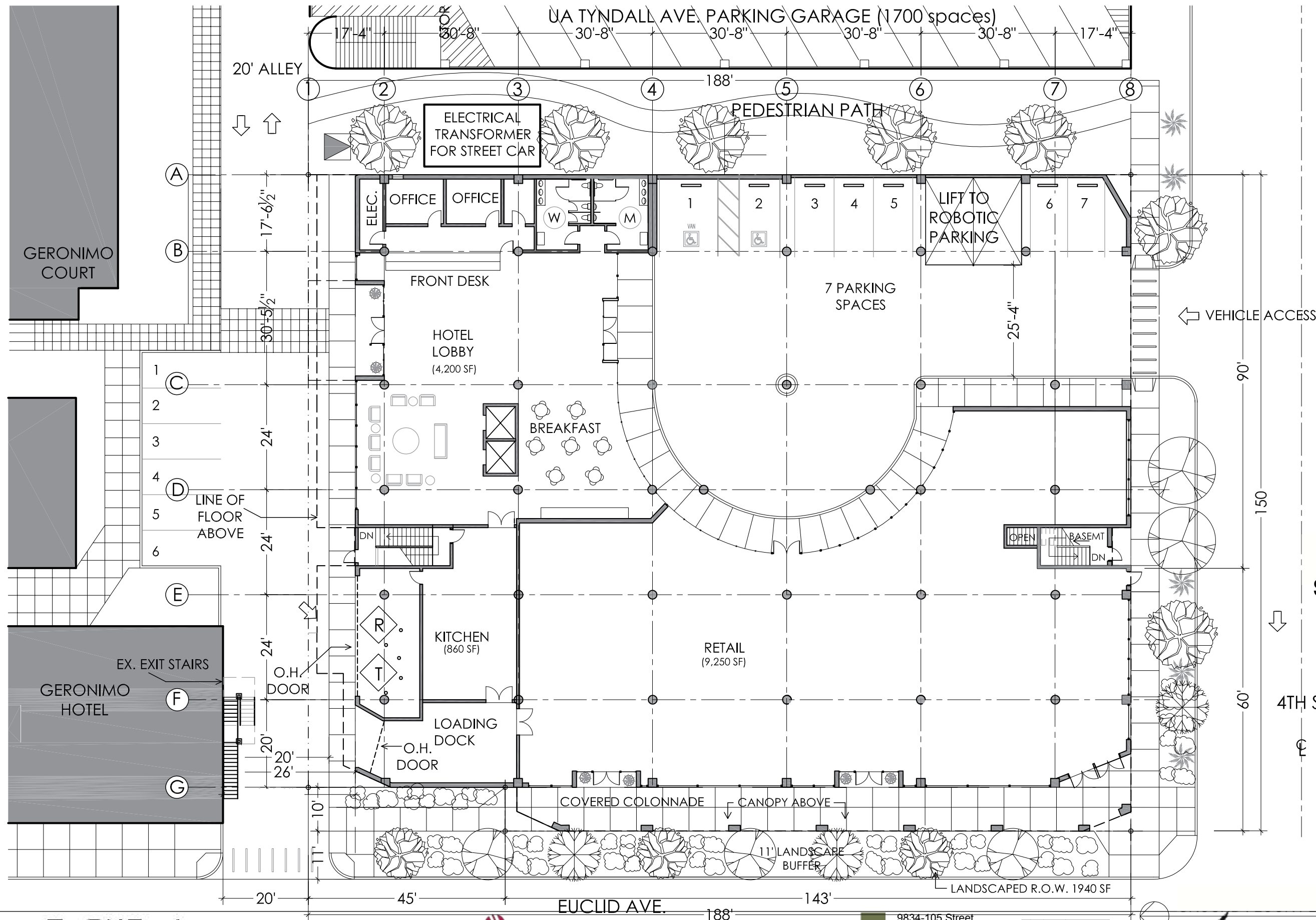
2018 Euclid Hotel

- 6 levels with parking plenum
- Pool and terrace on the 5th level
- Ground floor -Retail, hotel reception and lobby, dining room and kitchen
- No basement
- Parking Plenum - cars, laundry & employees facilities
- Reduced mass height

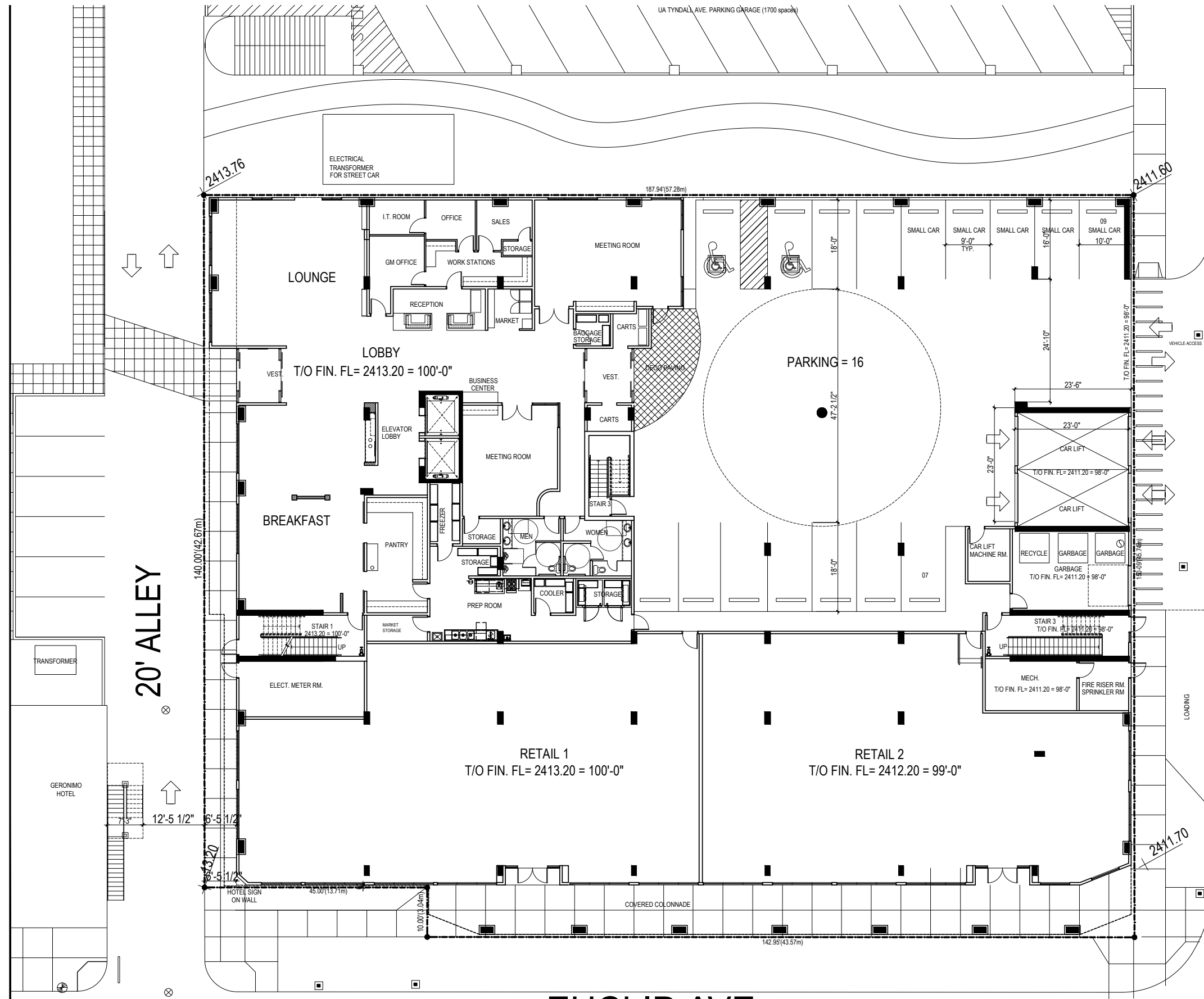
Differences



CORNER OF N. EUCLID AVE AND GERONIMO ALLAY



SITE PLAN 2016
 Scale: 1" = 20'
 (7 PKG. SPACES ON GRADE)



4 ST



SITE PLAN 2018

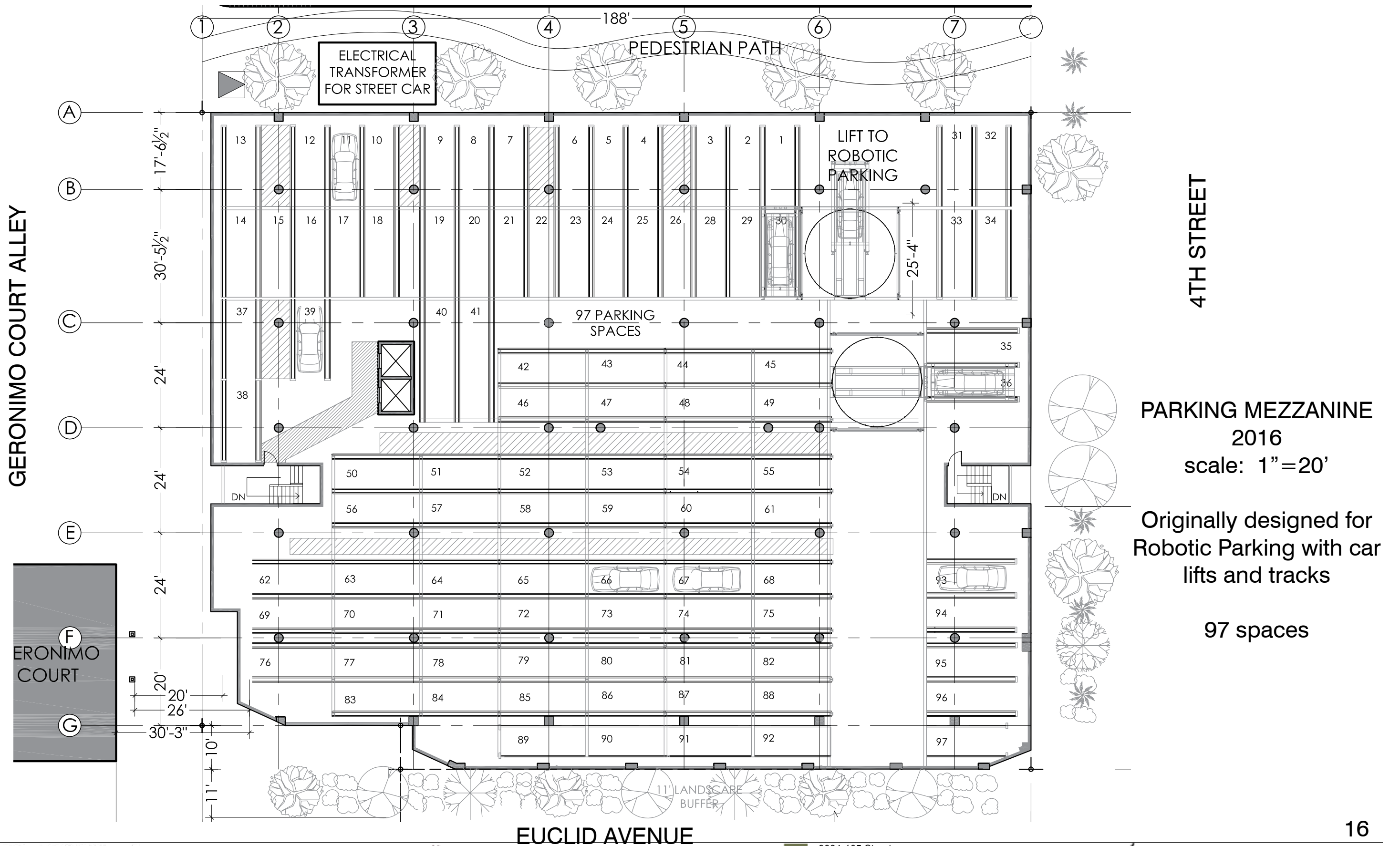
Scale: 1" = 20'

(14+2 ADA PKG. SPACES ON GRADE)

EUCLID AVE



TYNDALL AVE PARKING GARAGE ALLEY

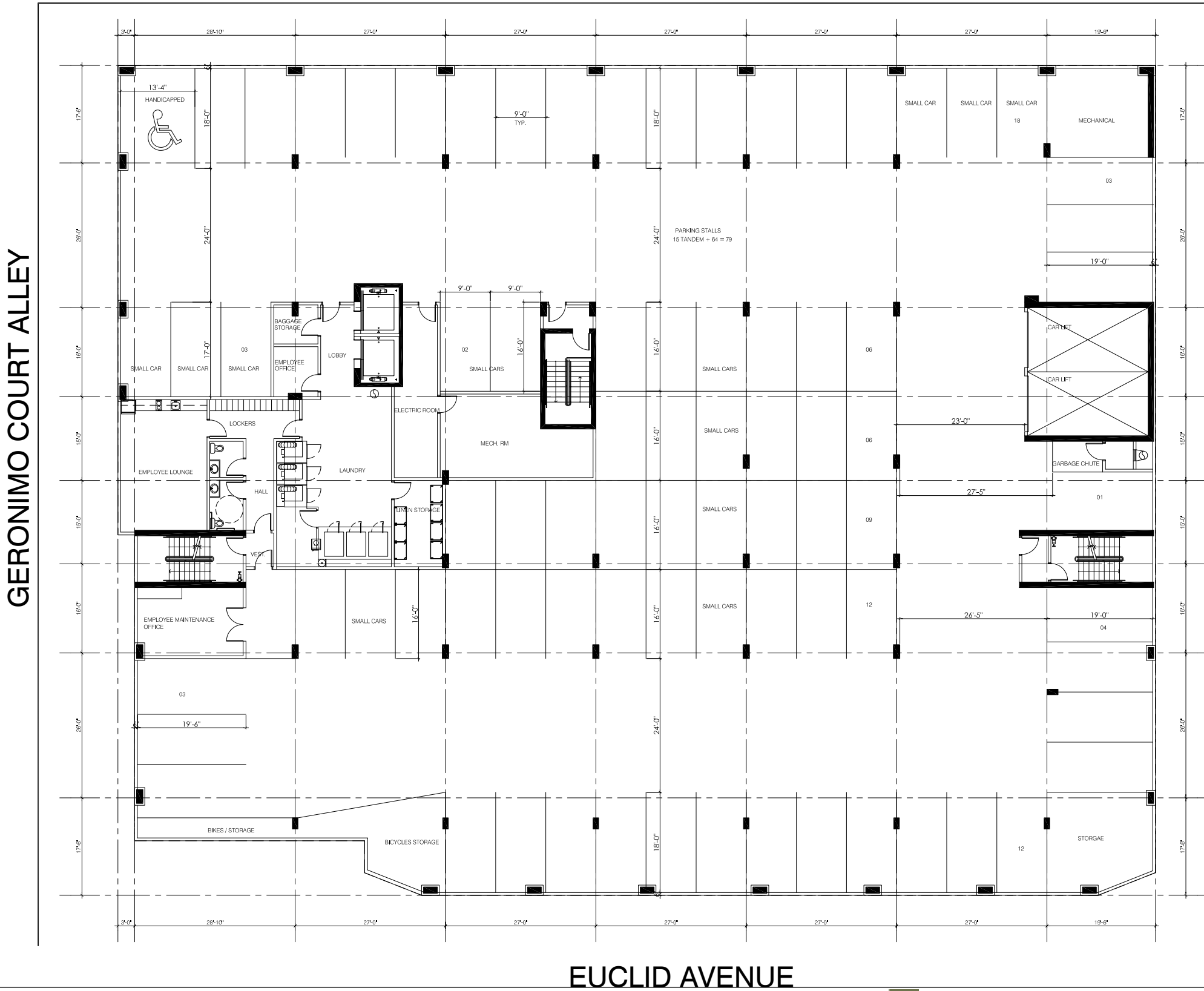


PARKING MEZZANINE
2016
scale: 1"=20'

Originally designed for
Robotic Parking with car
lifts and tracks

97 spaces

TYNDALL AVE PARKING GARAGE ALLEY



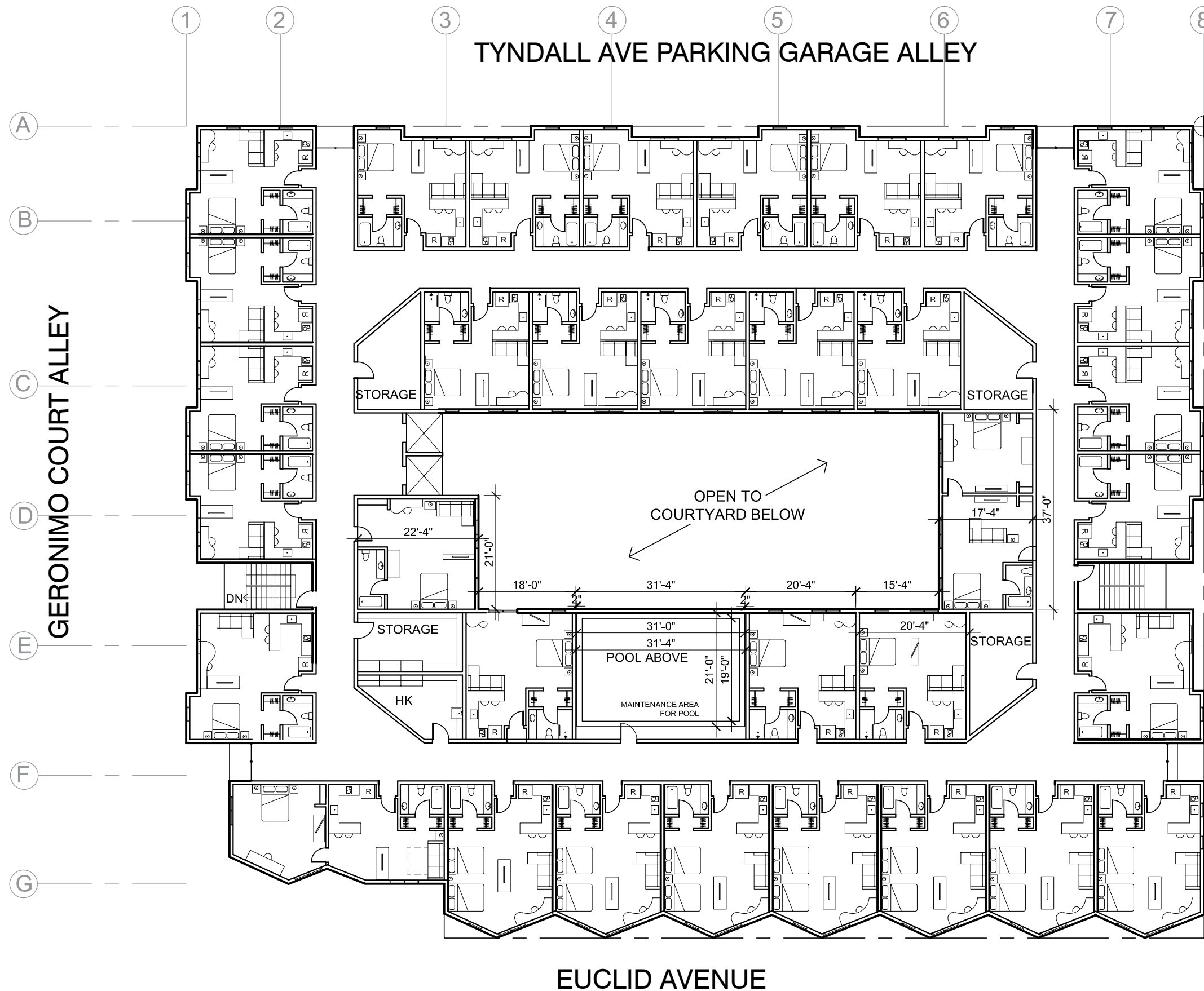
4TH STREET

PARKING MEZZANINE 2018
scale: 1"=20'

Redesigned for valet parking using car lifts after Robotic Parking proved to need more development - 76 spaces

Total parking 76+16 (ground floor) and off site valet parking 102. (Requirement 100)

EUCLID AVENUE



4TH STREET

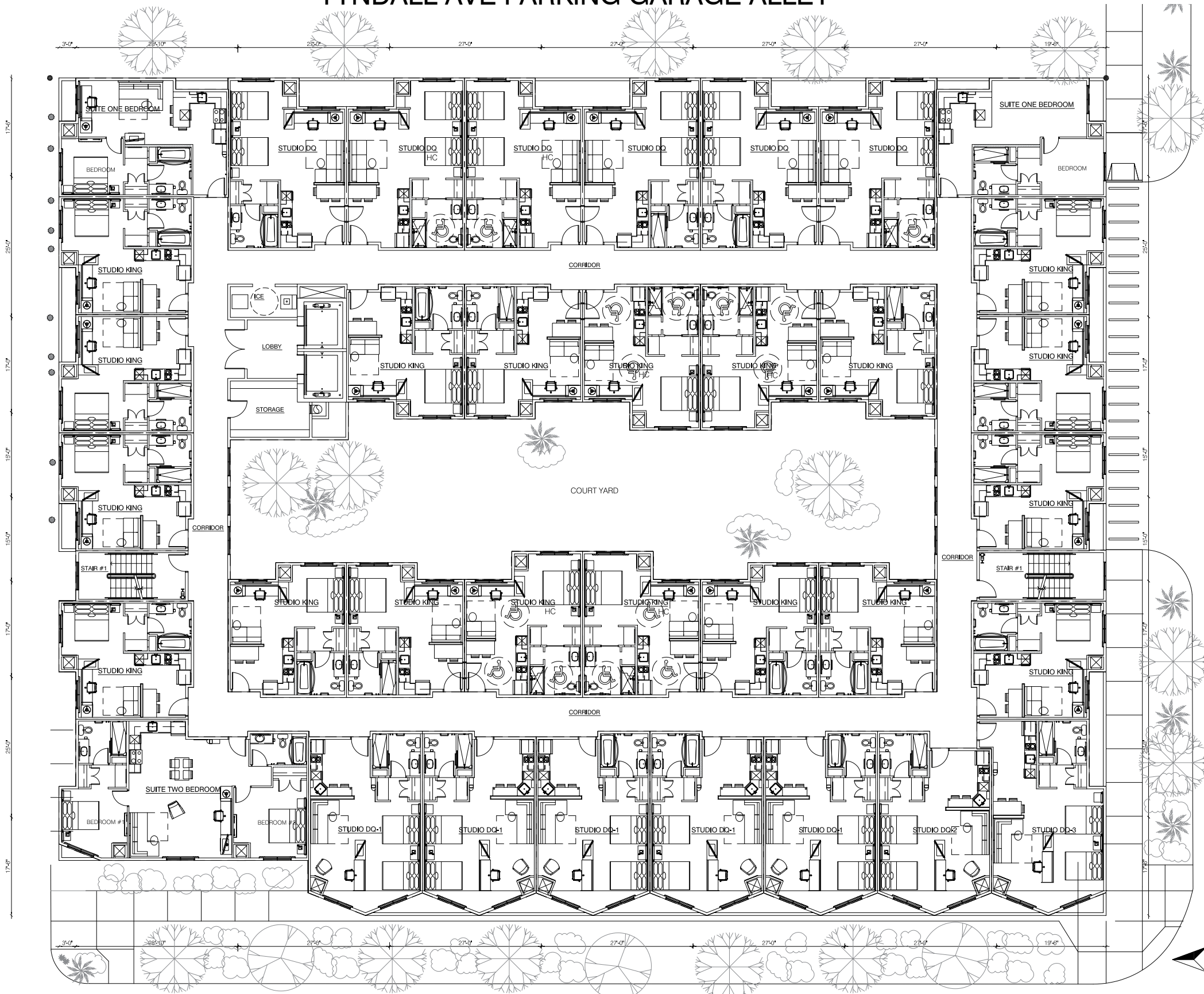
TYPICAL FLOOR PLAN
2016
scale: 1"=20'

EUCLID AVENUE

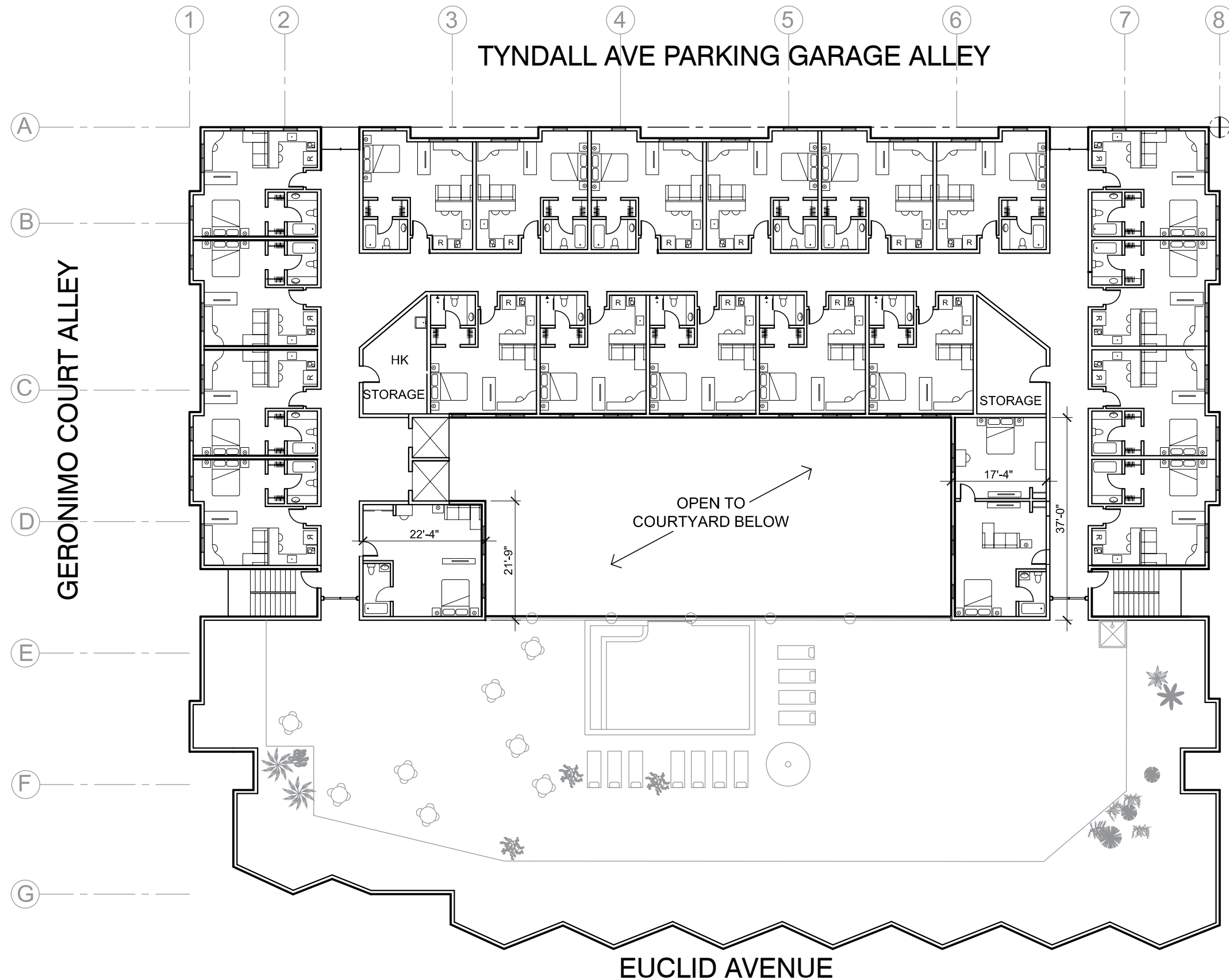
TYNDALL AVE PARKING GARAGE ALLEY

GERONIMO COURT ALLEY

4TH STREET



TYPICAL FLOOR PLAN
2018
scale: 1"=20'

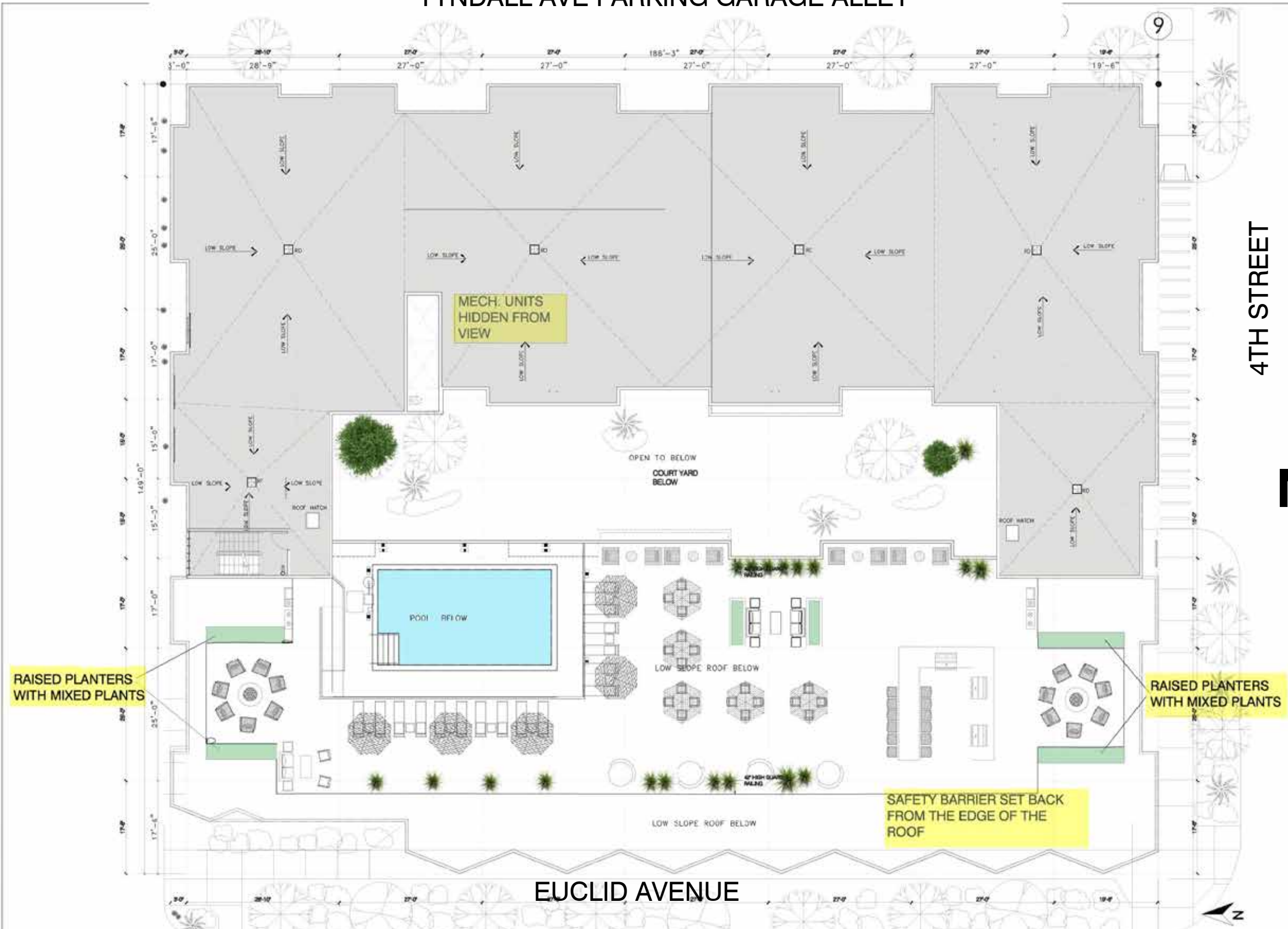


ROOF PLAN
2016
scale: 1"=20'

TYNDALL AVE PARKING GARAGE ALLEY

GERONIMO COURT ALLEY

4TH STREET



ROOF PLAN
2018
scale: 1"=20'

RAISED PLANTERS WITH MIXED PLANTS

RAISED PLANTERS WITH MIXED PLANTS

SAFETY BARRIER SET BACK FROM THE EDGE OF THE ROOF

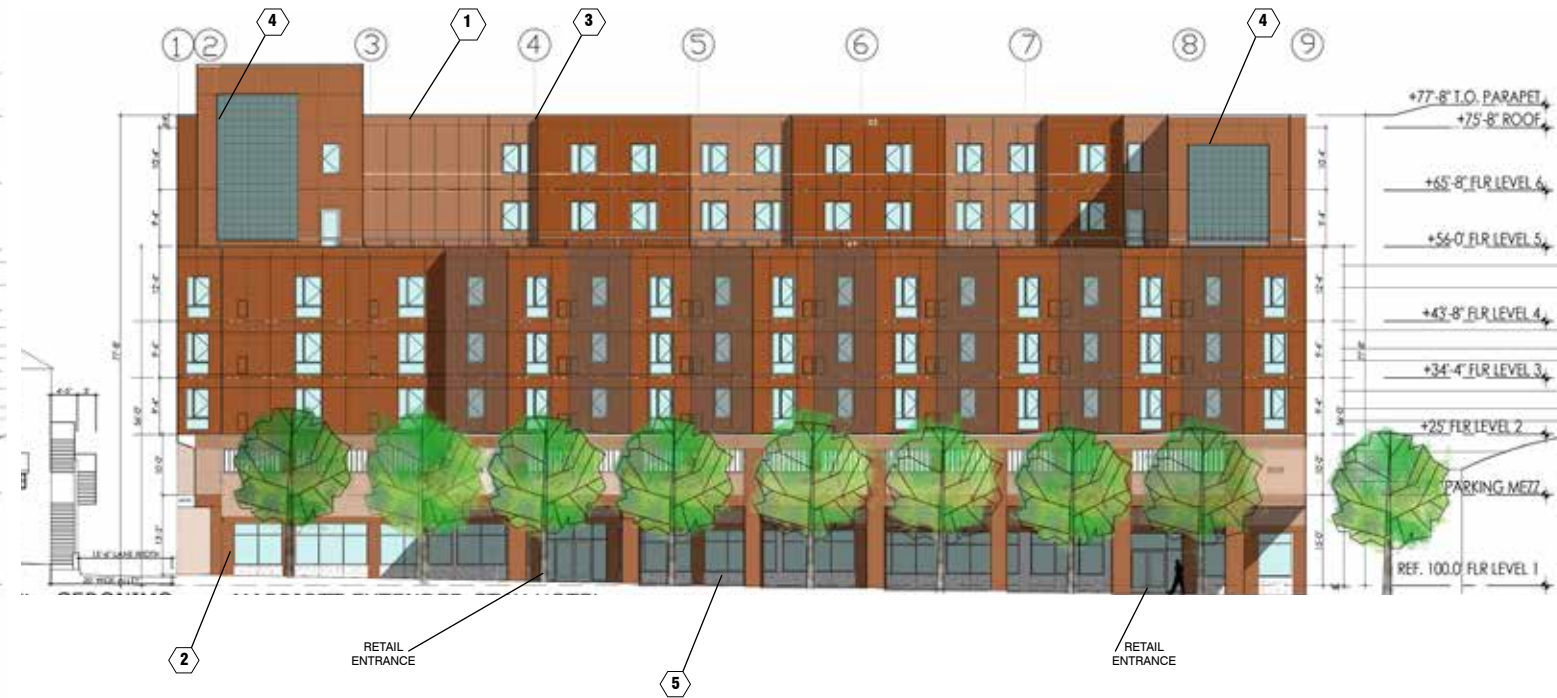
EUCLID AVENUE



WEST ELEVATION 2016- N. Euclid Ave
scale 1/16" = 1'

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



WEST ELEVATION 2018- N. Euclid Ave

KEYNOTES - CHANGES FROM 2016 SUBMISSION

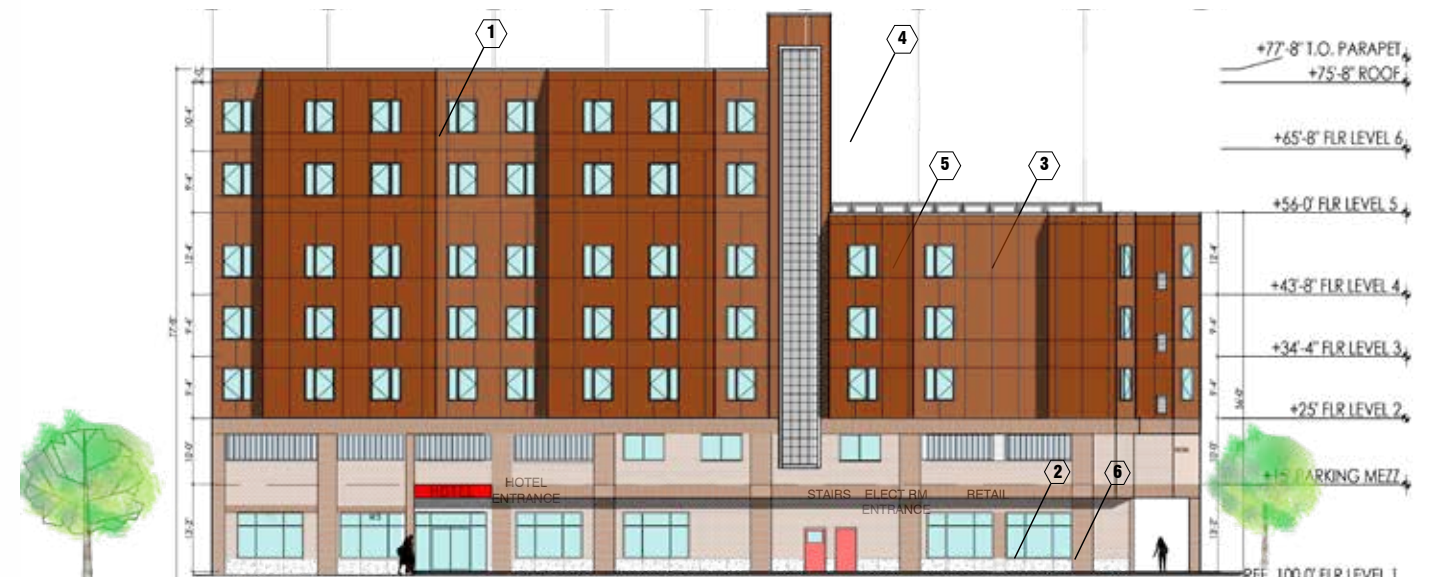
1. REDUCE HEIGHT OF SIX STORY MASS FROM 84' TO 77'-8" AFG
2. EXTEND RETAIL ALONG THE LENGTH OF EUCLID AVENUE SIDE AND ADD WINDOWS AT N.W. CORNER
3. HARDI REVEAL FIBRE CEMENT PANEL SYSTEM IN LIEU OF METAL PANELS
4. OPEN METAL GRID AT STAIRWELLS (UNCONDITIONED SPACE)
5. CONCRETE WAINSCOTT BASE-DESIGN REFINEMENT, CLEANER APPEARANCE AND ADDS TEXTURE



NORTH ELEVATION 2016 -
Alley - Hotel Entrance

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



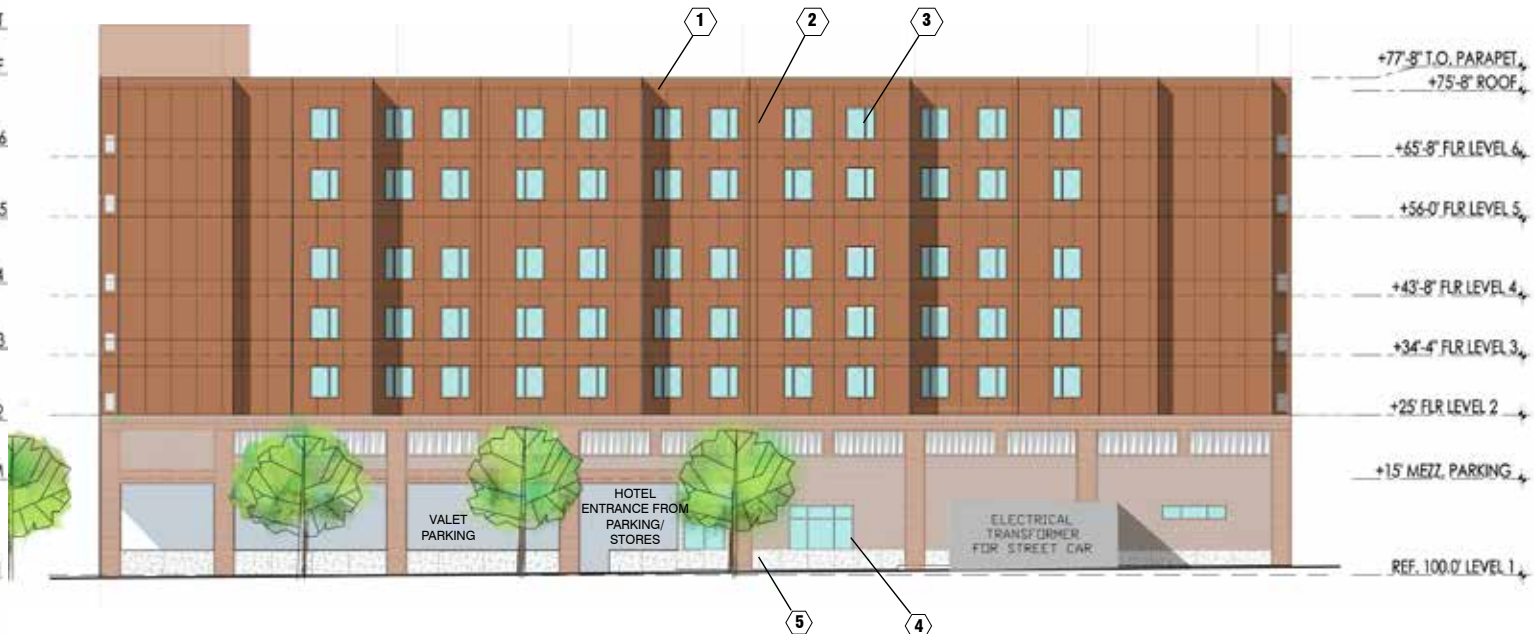
NORTH ELEVATION 2018
-Geronimo Court Alley
Hotel Entrance

KEYNOTES - CHANGES FROM 2016 SUBMISSION

1. REDUCE HEIGHT OF SIX STORY MASS FROM 84' TO 77'-8" AFG
2. MOVED LOADING & TRASH PICK UP TO 4TH STREET, CREATING AN ATTRACTIVE PEDESTRIAN PASSAGE WAY.
3. HARDI REVEAL FIBRE CEMENT PANEL SYSTEM IN LIEU OF METAL PANELS
4. OPEN METAL GRID AT STAIRWELLS
5. WINDOWS-WINDOW SILL RAISED TO MEET MARRIOTT DESIGN REQUIREMENTS; TO ALLOW FURNITURE TO BE PLACED UNDER WINDOW
6. CONCRETE WAINSCOTT-ESTABLISHES THE BASE & CLEANER APPEARANCE.



EAST ELEVATION 2016- Tyndale Alley



EAST ELEVATION 2018 - Tyndale Garage Alley

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM

KEYNOTES - CHANGES FROM 2016 SUBMISSION

1. REDUCE HEIGHT OF SIX STORY MASS FROM 84' TO 77'-8" AFG
2. HARDI REVEAL FIBRE CEMENT PANEL SYSTEM IN LIEU OF METAL PANELS
3. WINDOWS-WINDOW SILL RAISED TO MEET MARRIOTT DESIGN REQUIREMENTS; TO ALLOW FURNITURE TO BE PLACED UNDER WINDOW - TYNDALL GARAGE VIEW
4. MEETING ROOM WINDOWS
5. CONCRETE WAINSCOTT-ESTABLISH THE BUILDING BASE AND GIVES A CLEANER APPEARANCE-DESIGN REFINEMENT

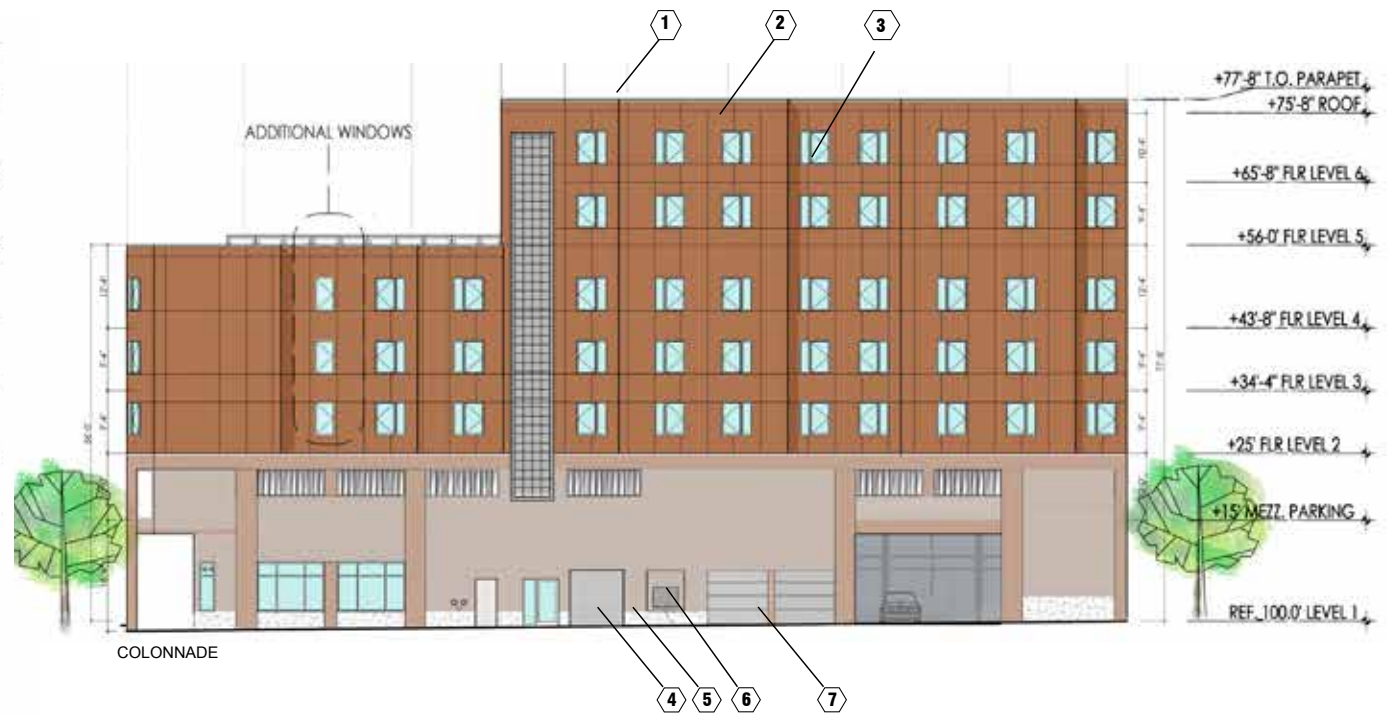




SOUTH ELEVATION 2016 - 4TH STREET

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



SOUTH ELEVATION 2018 - 4th Street

KEYNOTES - CHANGES FROM 2016 SUBMISSION

1. REDUCE HEIGHT OF SIX STORY MASS FROM 84' TO 77'-8" AFG
2. HARDI REVEAL FIBRE CEMENT PANEL SYSTEM IN LIEU OF METAL PANELS
3. WINDOWS-WINDOW SILL RAISED TO MEET MARRIOTT DESIGN REQUIREMENTS; TO ALLOW FURNITURE TO BE PLACED UNDER WINDOW -
4. LOADING & TRASH CONSOLIDATED INTO ONE EXIT
5. CONCRETE WAINSCOTT-ESTABLISH THE BUILDING BASE AND GIVES A CLEANER APPEARANCE-DESIGN REFINEMENT
6. GAS METER (RECESSED)
7. CAR ELEVATOR DOORS



WEST ELEVATION 2018- N. Euclid Ave
scale 1/16" = 1'



NORTH ELEVATION 2018- ALLEY
scale 1/16" = 1'

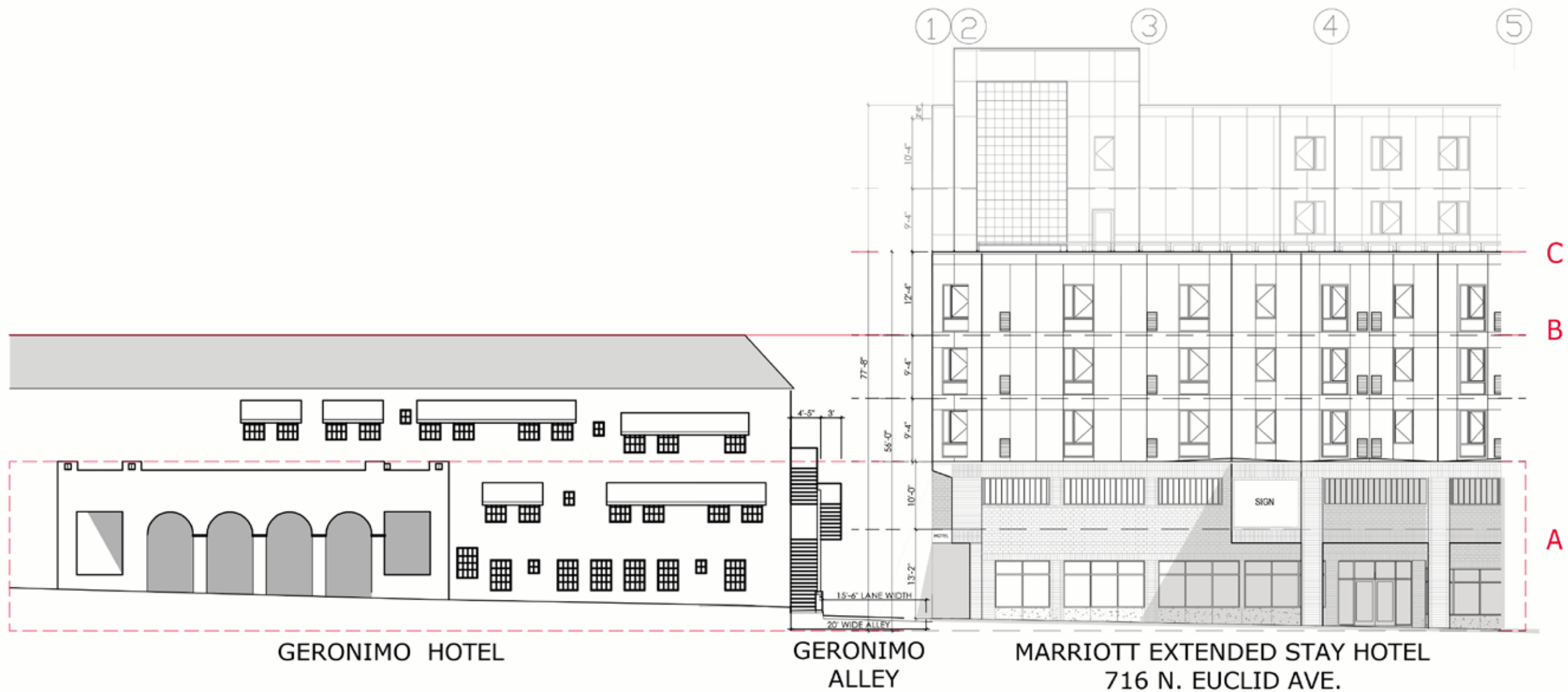


EAST ELEVATION 2018-TYNDALE ALLEY
 scale 1/16" = 1'



SOUTH

SOUTH ELEVATION 2018-4TH STREET
scale 1/16" = 1'



RELATIONSHIP BETWEEN NEIGHBORHOOD AND MARRIOTT EXTENDED STAY HOTEL

- ☒ Continues the theme of the covered colonade shown on the Geronimo Hotel (A)
- ☒ Aligns the top of the brick facade with the top of the Geronimo Hotel Colonade (B)
- ☒ The hotel setback and outdoor terrace floor level match height of the Tyndall Garage (C)
- ☒ The brick facade relates to the University/Main Gate other historic buildings

CHANGES FROM 2016 PRESENTATION

SITE: 27,750 SF .64 ACRES

2016

2018

GROUND FLOOR	26,250 SF
PARKING PLENUM	26,440 SF
2ND FLOOR	26,745 SF
3RD FLOOR	23,560 SF
4TH FLOOR	23,560 SF
5TH FLOOR	13,365 SF
6TH FLOOR	13,365 SF
TOTAL	153,287 SF
BASEMENT	16,941 SF

GROUND FLOOR	27,082 SF
PARKING PLENUM	27,124 SF
2ND FLOOR	22,991 SF
3RD FLOOR	22,891 SF
4TH FLOOR	22,891 SF
5TH FLOOR	12,621 SF
6TH FLOOR	12,621 SF
TOTAL	148,221 SF
BASEMENT	3,180 SF

F.A.R. 5.52
 153,287 SF
 27,750 SF

F.A.R. 5.34
 148,221 SF
 27,750 SF

ROOM COUNTS

ROOM COUNTS

112 ONE BED SUITES
 21 TWO BED SUITES
 7 DOUBLE SUITES (2 BEDROOM)

 140 ROOMS TOTAL

10 ONE BED SUITES
 3 TWO BED SUITES
 75 STUDIO KING
 51 STUDIO QUEEN

 139 ROOMS TOTAL

PARKING

PARKING

PARKING REQUIRED
 SUITES 140 X 1.0 = 140.00
 STAFF = 03.00
 TOTAL REQUIRED = 143.00 X 0.7 = 101 REQ'D.
 PARKING PROVIDED = 104 (2 HC included)

PARKING REQUIRED
 SUITES 139 X 1.0 = 139.00
 STAFF = 03.00
 TOTAL REQUIRED = 142.00 X 0.7 = 100 REQ'D.
 PARKING PROVIDED = 92 ON SITE (2 HANDICAP INCL.)
 + 8 ADD'L. OFF-SITE VALET PARKING = 100





7•ONE•4

Tucson, AZ December 18, 2018



9834-105 Street
Edmonton, AB t5k 1A6
Office: (780) 423 3424
Fax: (780) 425 0536

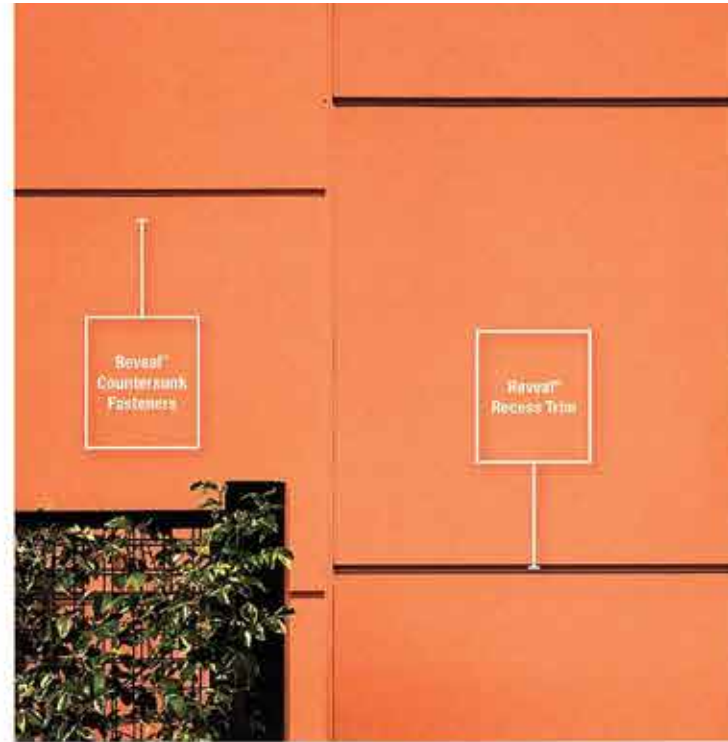


VINT & ASSOCIATES ARCHITECTS, INC.
312 E. 6th St., Tucson, AZ 85705 (520)882-5232



View of hotel from University Blvd -Geronimo Plaza

MATERIALS



Fashion geometric dimensions defined by pronounced channels

REVEAL® RECESS TRIM

This trim creates a clean, streamlined look that features deep channel lines. Available primed.



REVEAL™ COUNTERSUNK FASTENERS

Emphasize the beauty of the smooth, flat Reveal Panel with concealed fasteners. Reveal™ Countersunk Fasteners are compatible with primed Reveal Panel.



REVEAL PANEL SYSTEM BY HARDIE

- Sharp express joint look with deep shadow lines
- Two different trim profiles
- Exposed or countersunk fasteners
- Engineered for Climate® to stand up to the demands of your project's specific climate
- Proven performance with James Hardie fiber cement panels coupled with durable aluminum trims



STEEL GRATING AND LOUVERS

- Unconditioned, open stairwells will be shaded by steel grating
- Parking Plenum is surrounded by steel louvers which shades parking and allows air to flow freely.
- Hard wearing and low maintenance solutions
- Maintains its appearance over time



BRICK WAINSCOTT

- Relates to the University of Arizona and University Blvd use of brick.
- Hard wearing and low maintenance
- Maintains its appearance over time



THIN BRICK

H.C. Muddox Thin Brick is a simplified and economical solution to designers and owners that want to achieve the aesthetics of brick, especially as a light weight brick option in high seismic areas. Thin brick offers qualities such as beauty, durability, and low maintenance that are inherent to the brick. Thin brick can be applied to many backup systems such as framed wall, GFRC, metal panels, CMU and concrete. Thin brick embedded in precast concrete is an effective solution for time sensitive project schedules. Thin brick is extensively used in a variety of interior applications such as stores, malls, restaurants and wine cellars.

SPECIFICATIONS

Thin brick thickness varies - 1/2" thickness for wirecut and 5/8" thickness for smooth textures.
H.C. Muddox Thin Brick meets or exceeds ASTM-C1088 Type TBS or TBX.

Thin Brick Standard

Thin Brick Mini Mod

Thin Brick Modular

Thin Brick Norman

Jumbo Thin Brick

90° Corner Thin Brick

Lintel Corner Thin Brick

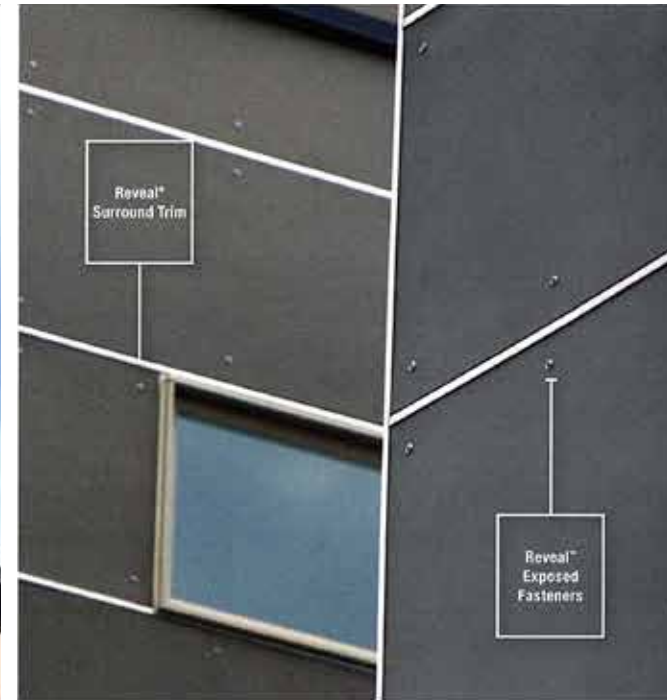


STRUCTURAL FACE & THIN BRICK COLORS



REVEAL
Panel System

Our fully integrated
panel system expands
MODERN MULTI-FAMILY DESIGN OPTIONS



Beauty meets brilliance

- Select from up to 24 ColorPlus Technology finishes ranging from deep hues to earth tones to classic shades of gray
- Multi-coat, baked-on finish delivers exceptional color consistency, color retention and UV resistance
- ColorPlus panels arrive on your job site ready for year-round installation
- 15-year ColorPlus limited finish warranty from a single, trusted manufacturer

Make a dramatic statement framed
by raised, aluminum trim

REVEAL™ SURROUND TRIM

This exposed trim frames the Reveal Panel to add dimension to your design. Available primed or with a clear anodized finish.



REVEAL™ EXPOSED FASTENERS

Create visual interest with texture and patterns. These durable, stainless steel fasteners add an industrial touch.

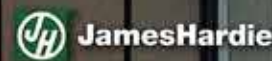


Rock-solid reliability

- Proven performance you've come to expect from James Hardie® fiber cement products
- Engineered for Climate® to help protect the beauty of your buildings despite what nature brings
- Complete panel system helps ensure you get the right products in the right quantity at the right time
- Detailed installation guides and support from James Hardie Installation Specialists to maximize efficiency
- 30-year non-prorated, limited siding warranty

Learn more about our modern design possibilities.
Visit jameshardiepros.com

© 2017 James Hardie Building Products Inc. All Rights Reserved. TM, SM, and ® denote trademarks or registered trademarks of James Hardie Technology Limited. 05M1705 02/17



9834-105 Street
Edmonton, AB t5k 1A6
Office: (780) 423 3424
Fax: (780) 425 0536



VINT & ASSOCIATES ARCHITECTS, INC.
312 E. 6th St., Tucson, AZ 85705 (520)882-5232