

HOTEL PARTNER: A.J. CAPITAL

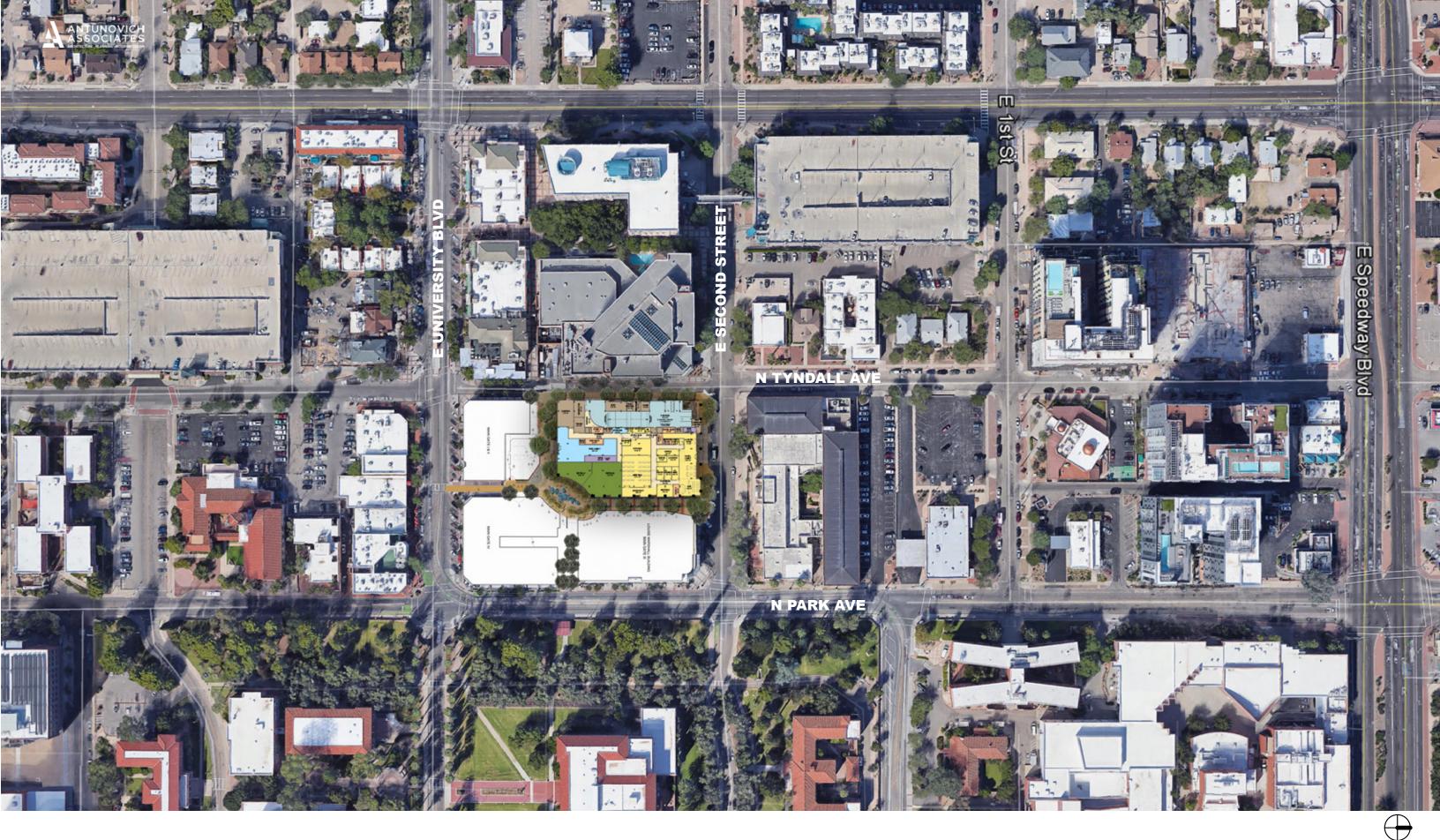








GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE





Leased Property Line for "Building" (MGD U-C-3)

**General Public Amenity** 

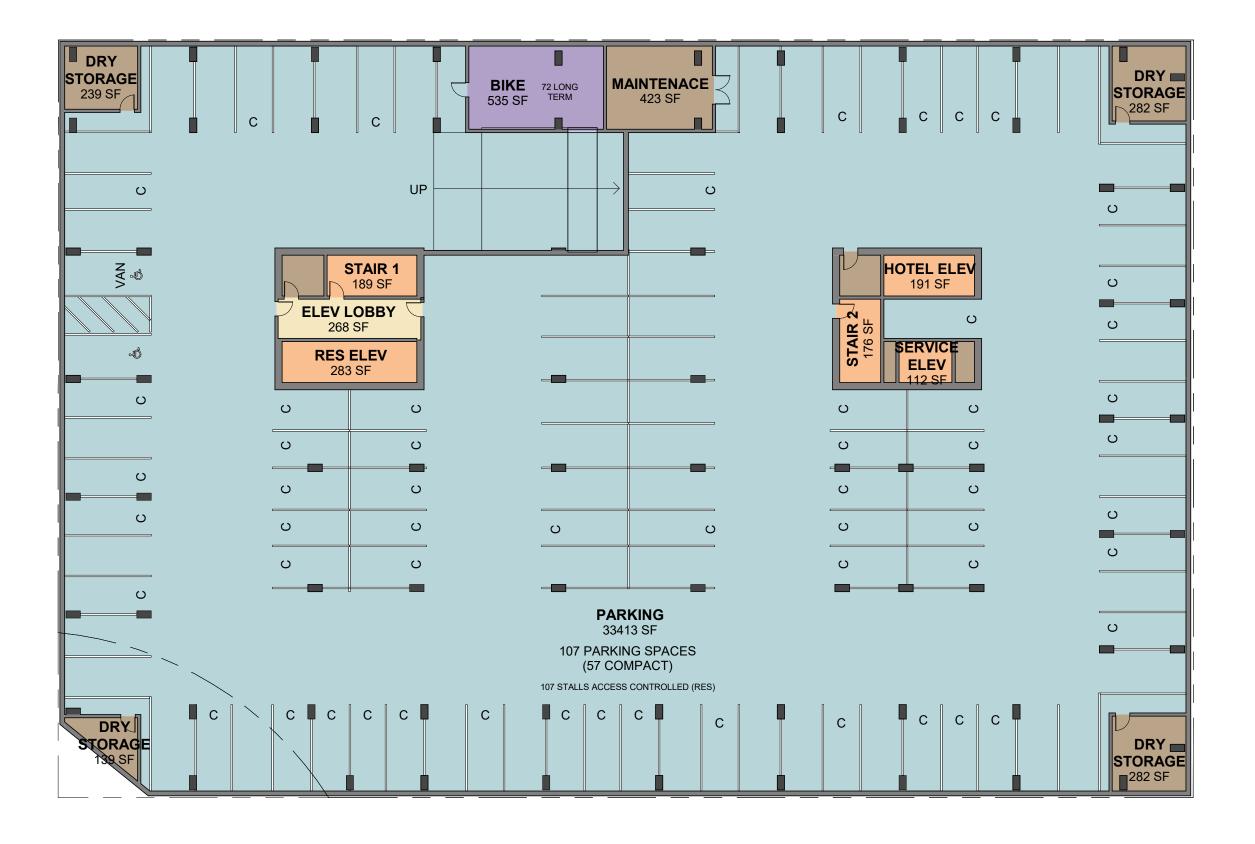
- Open Space/Plaza
- 50-Year Easement to City
- Outdoor Screen
- Stage
- Fountain
- Outdoor Seating
- Feature Art
- Info Kiosks

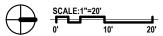










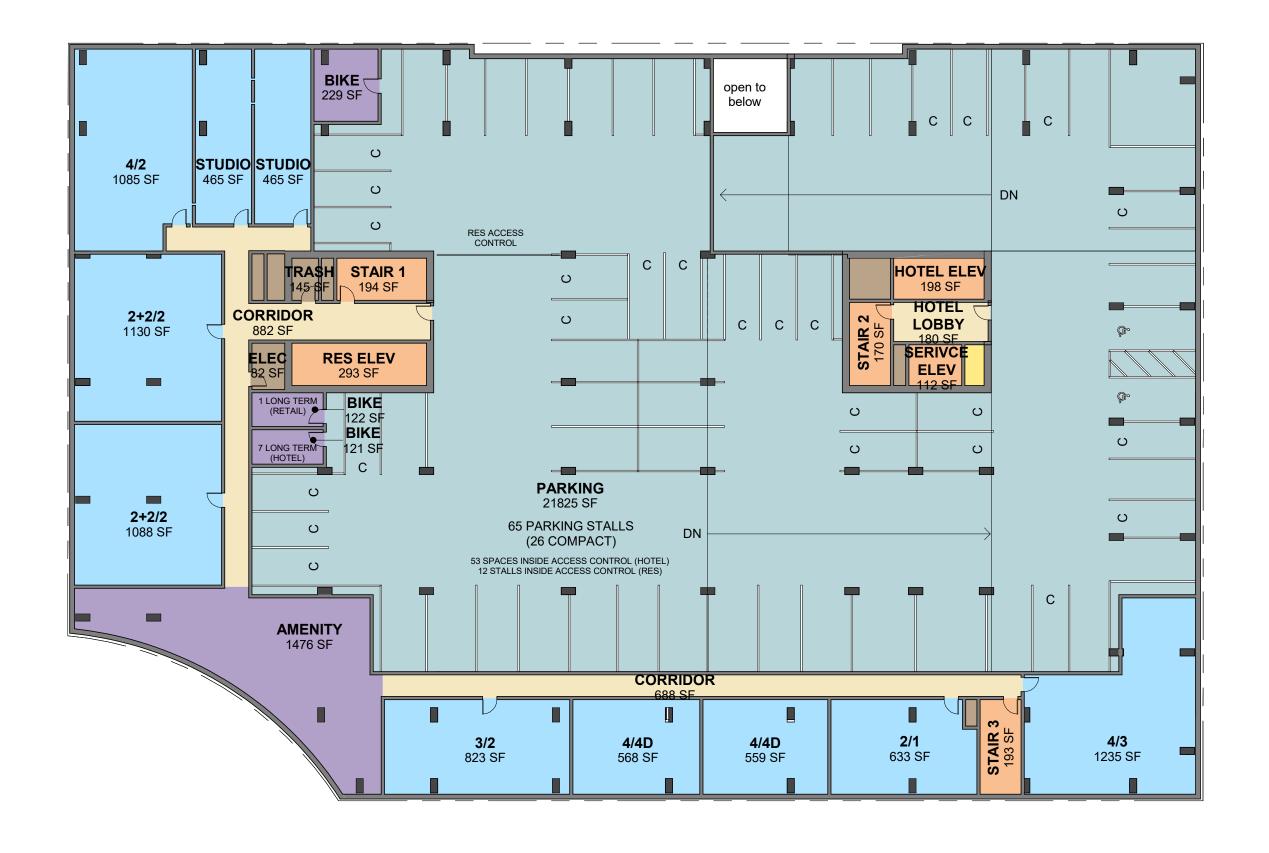
























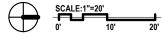










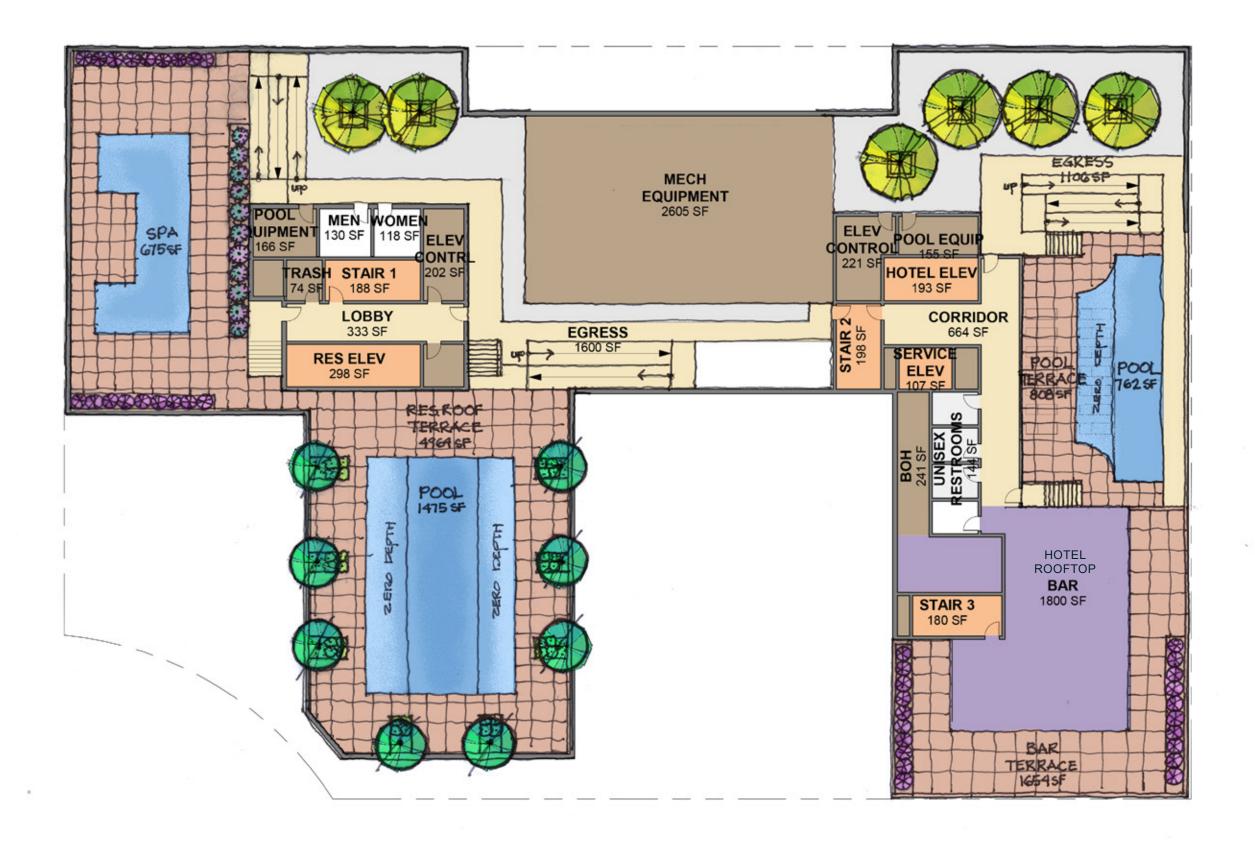






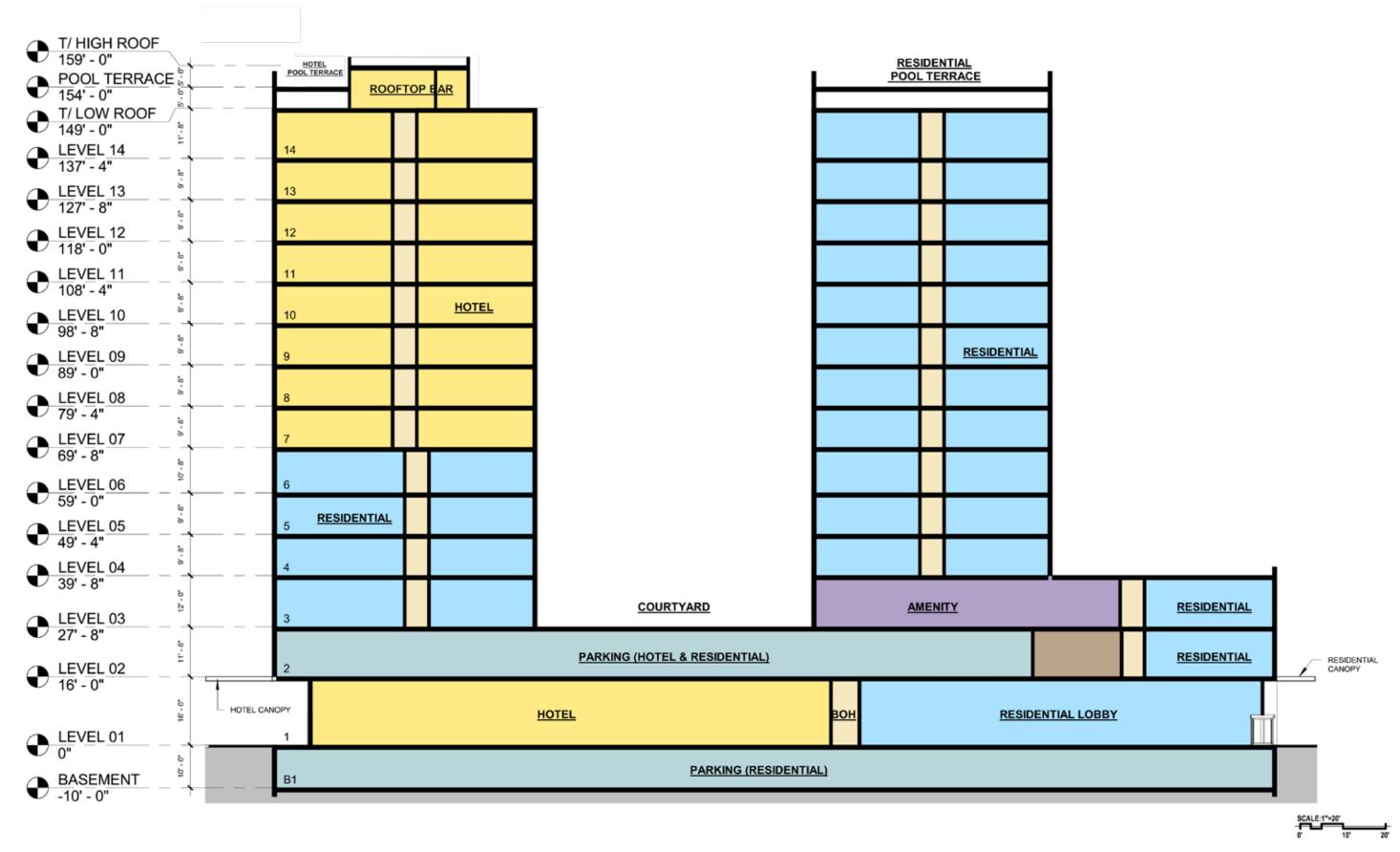




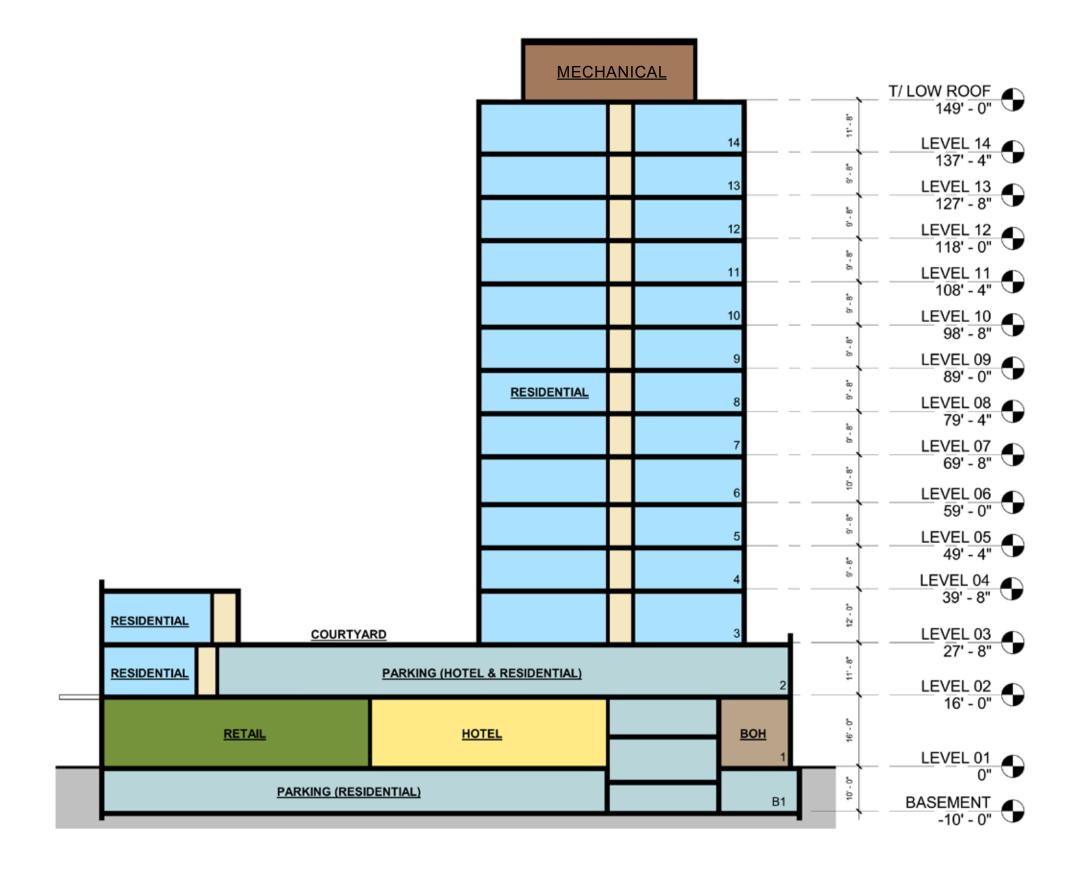
















					GRADUAT	E HOTEL A	ND COLLI	ECTIVE AT	TUCSON M	AIN GATE	- TUCSON	N, AZ - 08/18	/18							SITE AREA (AT GRADE)	35,920	SF	
				PR	OJECT SU	MMARY:	14 STOR	Y w ROOF	TOP HOTEL	BAR, AM	<b>ENITY DEC</b>	K											
					RE	SIDENTIAL - A	PARTMENT				HOTEL RE								BUILDING COMMON	PARKING & RAMPS		Total ENCLOSED	Total GSF
LEVEL	FLOOR HEIGHT	HEIGHT (above	RES COMMON, CORRIDORS	RES COMMON, ELEV-STAIR	RSF	RES AMENITIES/ FITNESS	OPEN SPACE	BALCONIES	OCCUPANTS	UNITS	HOTEL COMMON, CORRIDORS	HOTEL COMMON, ELEV-STAIR	NSF	HOTEL AMENITY	OPEN SPACE	HOTEL ROOMS	RETAIL RSF	RETAIL COMMON	BOH, LOADING, TRASH, MEP, CORR	PARKING AREA	SPACES	GSF w/o OPEN SPACE	with OPEN SPACE
ROOF	3'-0"	146'-8'	2,044	717	-	-	7,114	-	-	-	1,832	439		1,800	3,224	-	-	-	3,915	-	-	10,747	21,085
14	11'-8"	135'-0"	1,610	818	13,217	-	-	-	40	17	1,068	482	7,850			19	-	-	551	-	-	25,596	25,596
13	9'-8"	125'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-		21	-	-	551	-	-	25,596	25,596
12	9'-8"	115'-8"	1,610	818	13,217	-		-	40	17	1,199	482	7,719			21	-	-	551	-	-	25,596	25,596
11	9'-8"	106'-0"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-		21	-	-	551	-	-	25,596	25,596
10	9'-8"	96'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-		21	-	-	551	-	-	25,596	25,596
9	9'-8"	86'-8"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-		21	-	-	551	-	-	25,596	25,596
8	9'-8"	77'-0"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-		21	-	-	551	-	-	25,596	25,596
7	9'-8"	67'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,043	676		19	-	-	551	-	-	25,596	25,596
6	9'-8"	57'-8"	2,168	781	21,367		-	-	67	25		476	49	-		-	-	-	755	-	-	25,596	25,596
5	9'-8"	48'-0"	2,168	781	21,367	-	-	-	67	25		476	49	-		-	-	-	755	-	-	25,596	25,596
4	9'-8"	38'-4"	2,168	781	21,367	-	-	-	67	25		476	49	-		-	-	-	755	-	-	25,596	25,596
3	11'-2"	27'-2"	3,054	1,018	20,569	,	2,053	-	70	24		555	49	-		-	-	-	884	-	-	32,384	34,437
2	11'-2"	16'-0"	1,570	710	8,051	1,827	-	-	23	8	180	450	49	121		-	-	-	413	21,825	65	,	35,196
1	16'-0"	0	1,455	703	3,087	538	-		-	-	1,762	443	10,701	196		-	4,638	-	4,436	5,820	5	33,779	33,779
BSMNT	10'-0"		268	556	-	535	-	-			-	395	-	-		-	-	-	1,630	33,413	107	36,797	36,797
BUILDING TOTAL			27,775	12,591	201,544	9,155	9,167	-	614	243	13,235	7,566	72,153	2,793	3,224	164	4,638	-	17,951	61,058	177	430,459	442,850

BUILDING SUMMARY:	ENCLOSED GSF	% OF GSF
RESIDENTIAL:	251,065	58.32%
HOTEL:	95,747	22.24%
RETAIL:	4,638	1.08%
BUILDING COMMON:	17,951	4.17%
PARKING:	61,058	14.18%
TOTAL:	430,459	100.00%

	PARKING SUMMARY:			% of PARKING	Red	quired per MGD
Γ	RESIDENTIAL:	121	SPACES	68.4%	0.50	PER UNIT
	HOTEL:	53	SPACES	29.9%	0.32	PER HOTEL ROOM (Request for DRC, DP variance)
	RETAIL:	3	SPACES	1.7%	2.3	1 PER 2,000 SF COMMERCIAL
Γ	TOTAL:	177	SPACES	100.0%	177	CHECK TOTAL
	IOIAL:	177	SPACES	100.0%	177	CHECK TOTAL

RESIDENTIAL PARKING BY FLOOR													
USE	# SPACES	LEVEL											
RESID PRK	12	L2											
RESID PRK	2	L1											
RESID PRK	107	BASEMENT											
TOTAL	121	SPACES											



	UNIT MATRIX - 08/18/18																													
													UNIT	MATR	IX - 08	/18/18														
	COLLECTIVE AT TUCSON MAIN GATE																													
							UI	NITS													OCC	UPANTS							BATH	
LEVEL	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 ) (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL UNITS	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL OCCUPANTS	VS OCCUPANTS	LEVEL
14	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	14
13	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	13
12	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	12
11	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	11
10	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	10
9	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	9
8	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	8
7	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	7
6	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	6
5	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	5
4	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	4
3	2	1	4	1	1	1	5	0	1	1	1	3	3	24	8	4	16	4	3	3	20	0	2	2	2	3	3	70	52	3
2	0	0	1	1	0	1	2	0	0	1	0	2	0	8	0	0	4	4	0	3	8	0	0	2	0	2	0	23	16	2
1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
	0.8%	23 9.5%	55 22.6%	13 5.3%	1.6%	5 2.1%	16 6.6%	11 4.5%	12 4.9%	2 0.8%	1 0.4%	38 15.6%	61 25.1%	243 100.0%	1%	92 15%	220 36%	52 8%	12 2%	15 2%	64 10%	22 4%	24 4%	4 1%	2 0%	38 6%	61 10%	614 100%	488	4
	0.0%	3.5%	44.0%	0.3%	1.0%	4.170	0.0%	4.5%	4.3%	0.0%	0.470	15.0%	20.170	100.0%	170	15%	30%	070	270	270	10%	470	470	170	070	070	1070	100%		

\*DUPLEX BR ARE COUNTED ON THE SECOND FLOOR OF THE UNIT

						UNIT TYPE	AND BATHRO	OM RATIO						
	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL BATHROOMS
Bath Per Unit	4	4	3	2	3	3	2	2	1	1	1	1	1	
Unit Type Count	2	23	55	13	4	5	16	11	12	2	1	38	61	
Total	8.0	92.0	165.0	26.0	12.0	15.0	32.0	22.0	12.0	2.0	1.0	38.0	61.0	486

Bath-to-Occupant Ratio 79.2% Occupant-to-Bath Ratio 1.26 CHECK: 614





















- Brick
- White
- Black Steel
- Natural concrete









### **RESIDENTIAL**

- Vintage
- AsymmetryTextured
- Expressive



Curved ground plane. Plaza curving up to become part of the building.





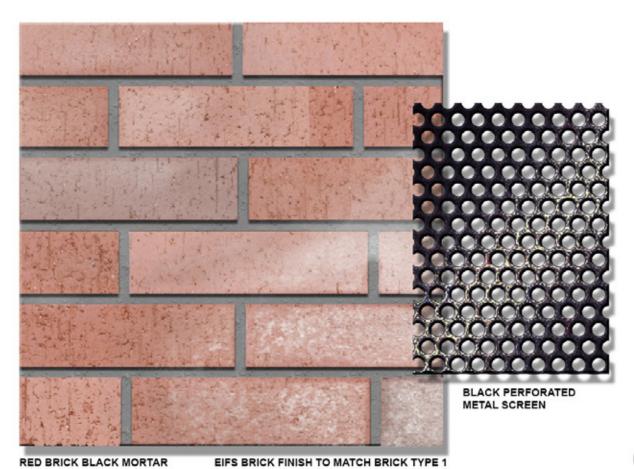


## **HOTEL TOWER**

- Clean
- Precise
  - Austere
- Perfect

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE





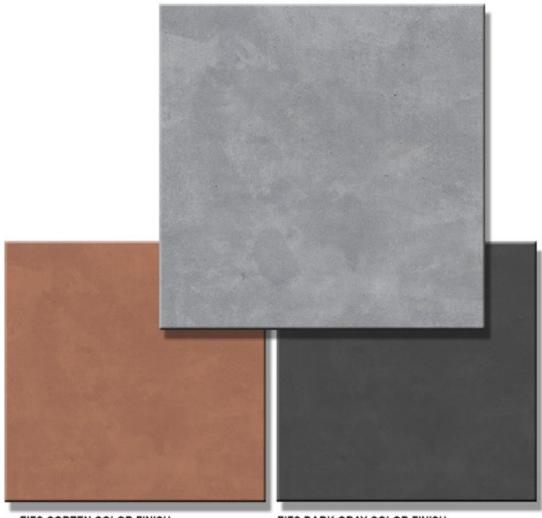




INSULATED LOW E GLASS

ALUMINUM WINDOW FRAME

#### EIFS TEXTURED NATURAL GRAY COLOR FINISH



EIFS CORTEN COLOR FINISH

EIFS DARK GRAY COLOR FINISH

## GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

Core Spaces, Up Campus, and AJ Capital Developer - Antunovich Associates Architecture, Planning, Interior Design \*

EIFS BRICK STARTING AT LEVEL 4

AND UP ON RESIDENTIAL TOWER ONLY

FACE BRICK AT PODIUM

**UP TO LEVEL** 5













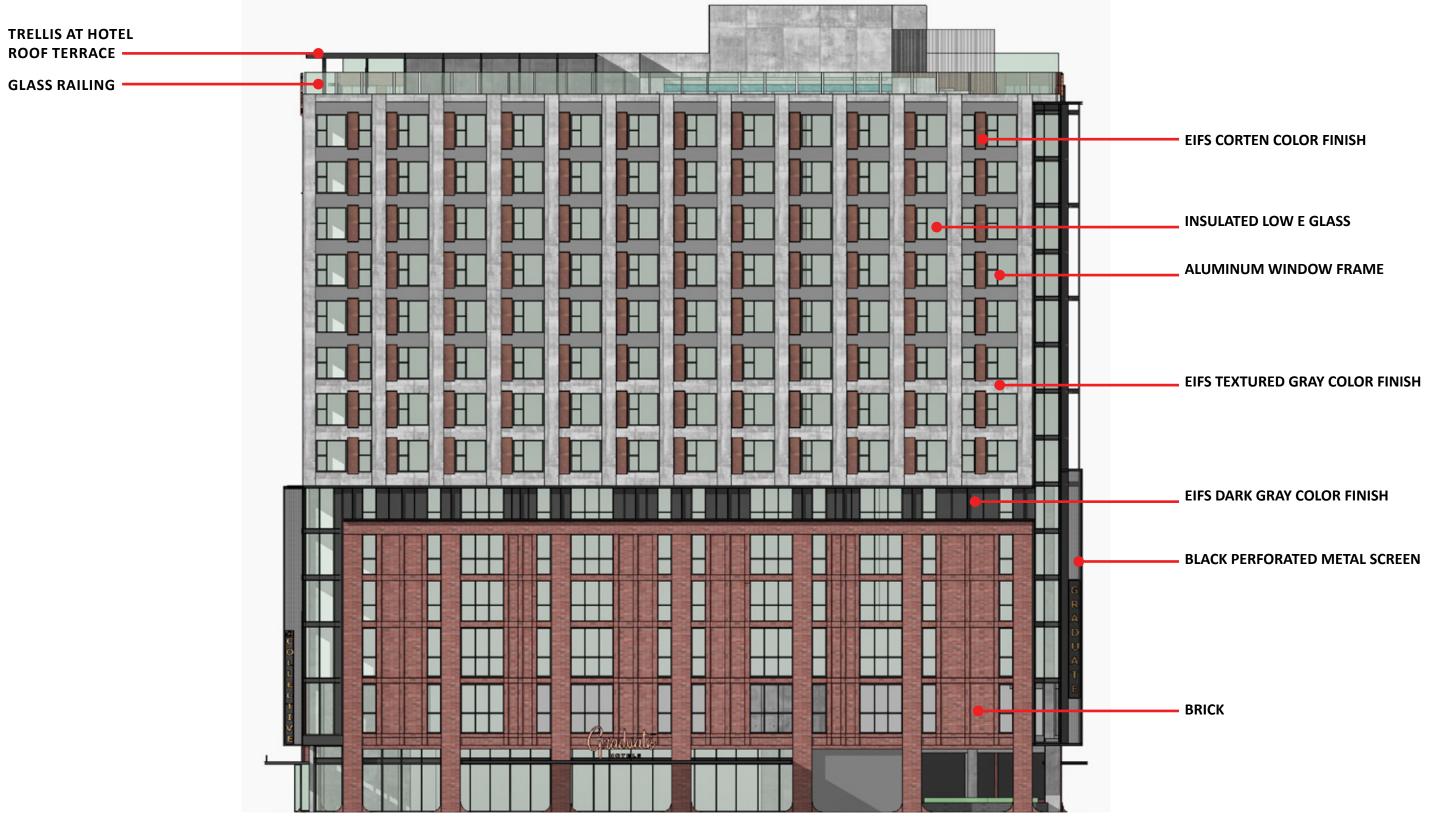


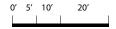








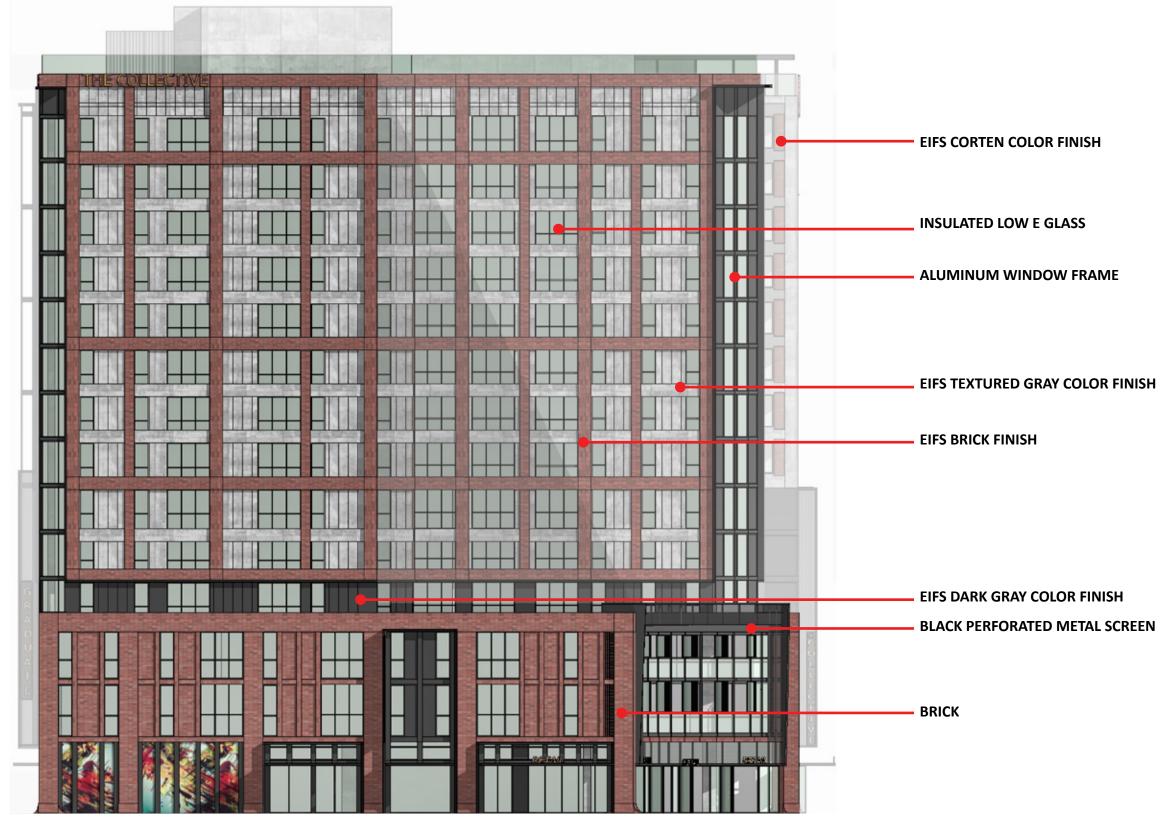


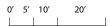




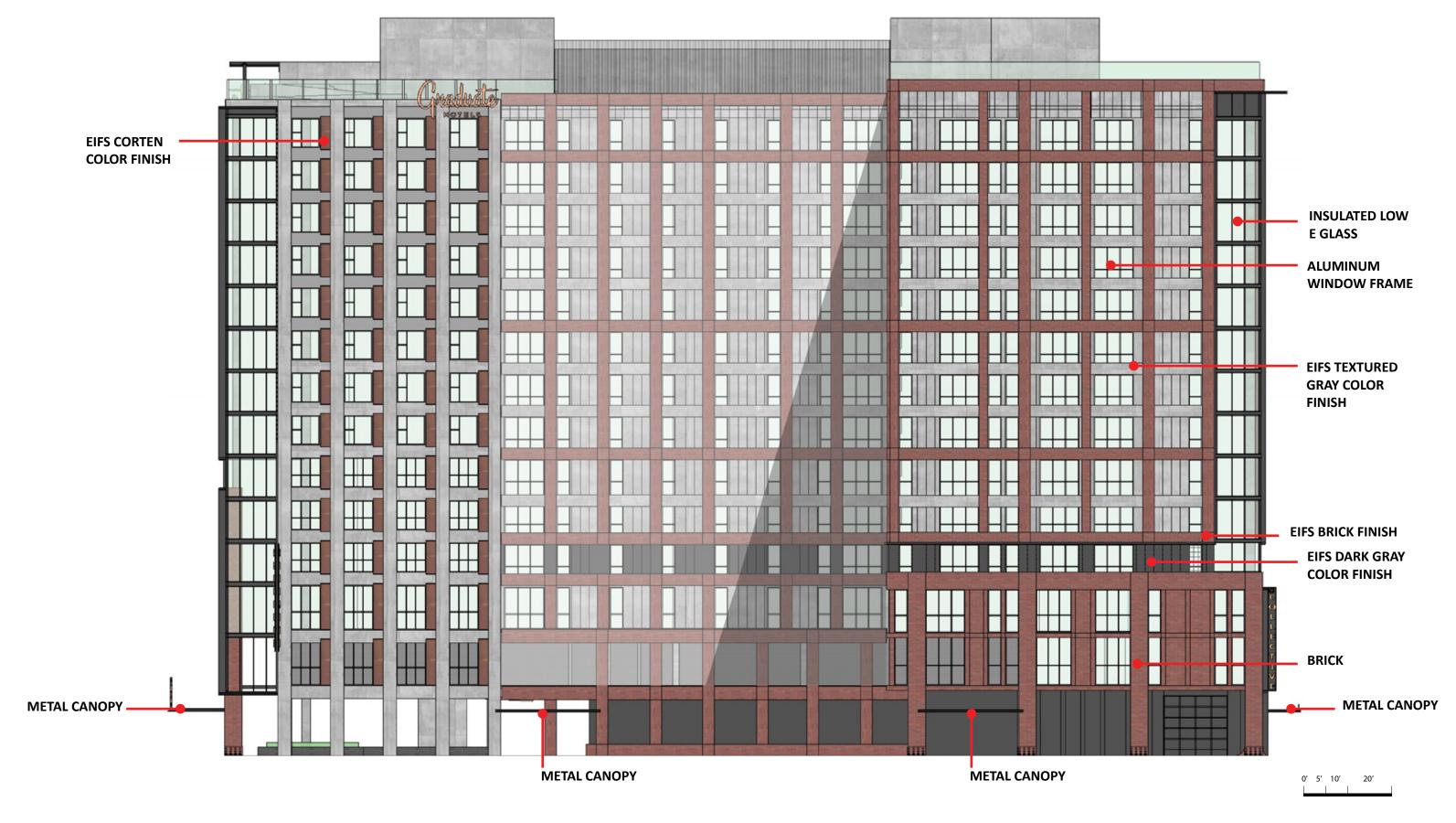
















#### # HARDSCAPE KEY NOTES

- Decorative paving at building entries Concrete sidewalk with paver banding to match existing
- Landscape planter at grade
- Raised landscape planter
- Site furnishing
- Site utility- refer to civil plans
- Site lighting- bollards
- Site lighting- integral with planters and furnishings Raised decorative planters, 24" wide Raised decorative planters/retaining wall, 24" wide

- Custom benches
- Permeable pavers
- Tree grates Grating extends into paving pattern
- Concrete steps
- Custom handrails
- Retail/restaurant patios at MG III
- Decorative concrete ramp at MG III
   Preserve in place existing paving 8' offset from existing buildings- new paving down middle of walkway between MG II & MG IV.
- 20. Circulation and ingress/egress at retail and restaurants
- 21. Musical & Interactive Fountain
- Site furnishings/planter/seating with integral light and sound
- Not used
- Movable and fixed custom site furnishings
- 25. Raised concrete stage (pavers)
- 26. Not used
- Mechanical yard screen- structure to be determined
   Overhead shade structure at Stage and Screen
- Residential Lobby Entry Plaza- decorative paving
   Desert Green Screen- native plants and succulents
- on structural support to screen mechanical and service entries & Public Art (west building facade)
- Gates at mechanical yard
- Security screen inside mechanical enclosure between equipment and commercial building entries
- Seating at residential lobby plaza
- 35. Existing plaza entry walks to South and West-minor adjustments to existing paving and landscape to transition into proposed plaza Existing mechanical/service yard
- Existing mechanical/se
   Retain existing patios
- 38. Not used
- 39. Rideshare pick up/drop off
- 40. Utilities above ground
- 41. Rail/gates separating hotel, retail-restaurant patios

#### # PUBLIC ART KEY NOTES

- 42. Public Art element to be determined
- 43. Not used

#### # AV KEY NOTES

- 44. Digital signage and wayfinding Kiosk- refer to AV
- 45. LED screen built into wall/structure
- 46. Speaker/ Surround System

# Terrace Gardens Shrubs and Groundcover

Autumn Sage Salvia greggii

Bougainvillea 'Barbara Karst' Bougainvillea glabra

Bulbine 'Tiny Tangerine Bulbine frutescens (dwarf) 5 Gal.

Dallas Red lantana Lantana 'Dallas Red'

Damianita Chrysactinia mexicana 5 Gal.

Compact Myrtle Myrtus communis 'Compacta'

Firecracker Bush Hamelia patens 'Sierra Red'

Mexican Honeysuckle Justicia spicegera

Muhlenbergia 'Autumn Glow Muhlenbergia Lindheimeri 'Autumn Glow · Trailing Rosemary

Muhlenbergia 'Regal Mist' Muhlenbergia cappilaris 'Regal Mist'











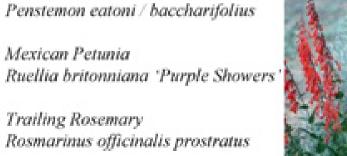






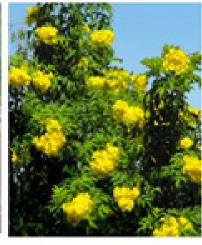












Mexican Petunia

Penstemon

Ruellia britonniana 'Purple Showers

Rosmarinus officinalis prostratus

Yellow Bells

Tecoma stans 'var. Angustata

# Plant Material Options

Trees are required to be Single Trunk Specimens Shrubs within the sight visibility triangles must be under 30" tall.

## TREE

Desert Museum Palo Verde Parkinsonia hybrid Single Trunk - 48" Box



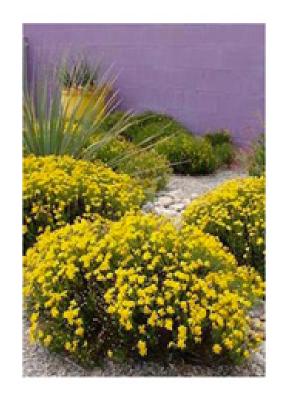
## SHRUBS AND GROUNDCOVER

Candillila Euphorbia antisyphiliica 5 Gal. Planters inside Sight Visibility Triangles

Damianita Chrysactinia mexicana 5 Gal.

Red yucca Hesperaloe parviflora 5 Gal. Planters outside Sight Visibility Triangles







# Terrace Gardens Trees

Desert Museum Palo Verde Parkinsonia 'Desert Museum'

Little Leaf Ash Fraxinus greggii

Mexican Bird of Paradise Tree Caesalpinia mexicana

Palo Blanco Acacia williardiana

Texas Mountain Laurel Sophoro Secundiflora



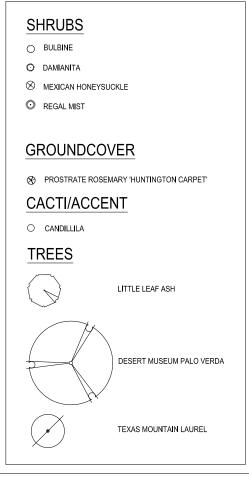




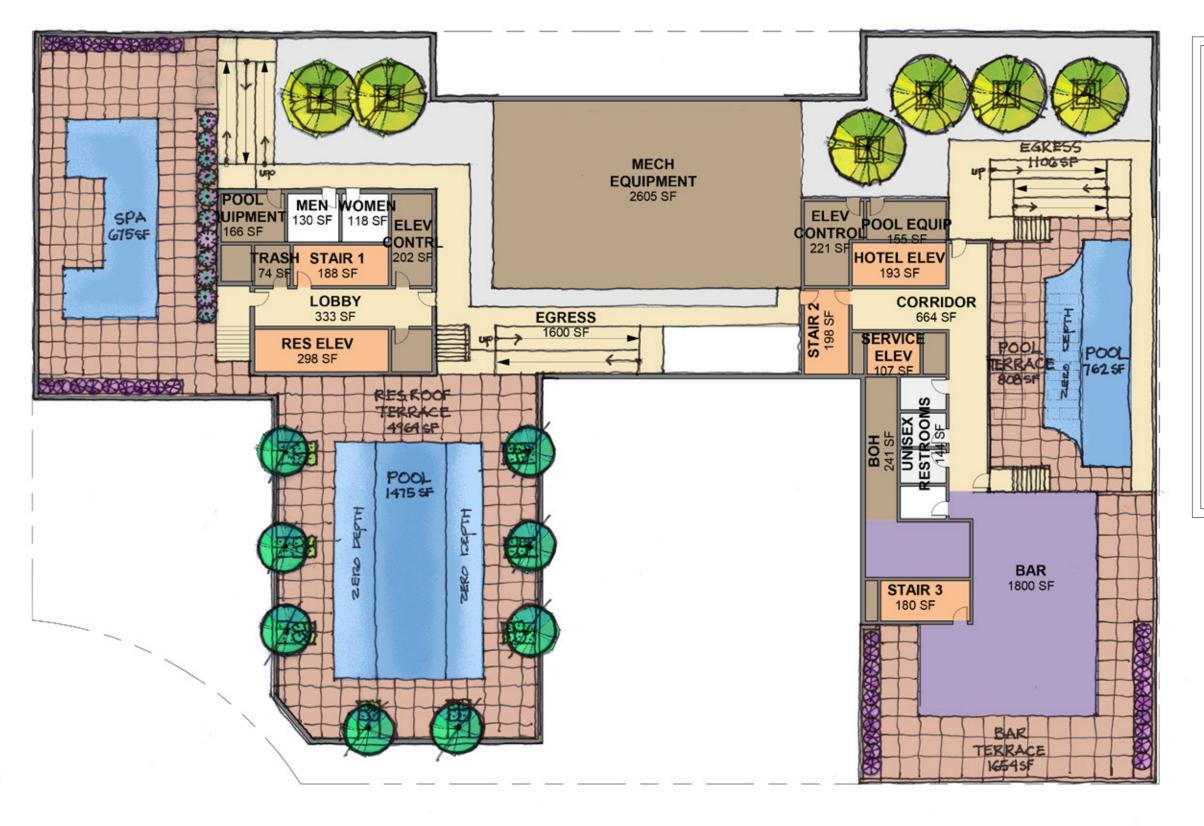


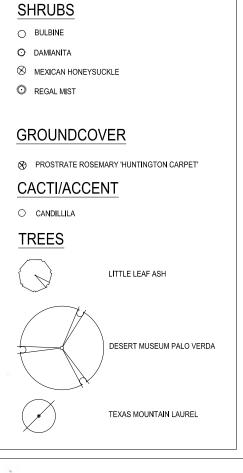






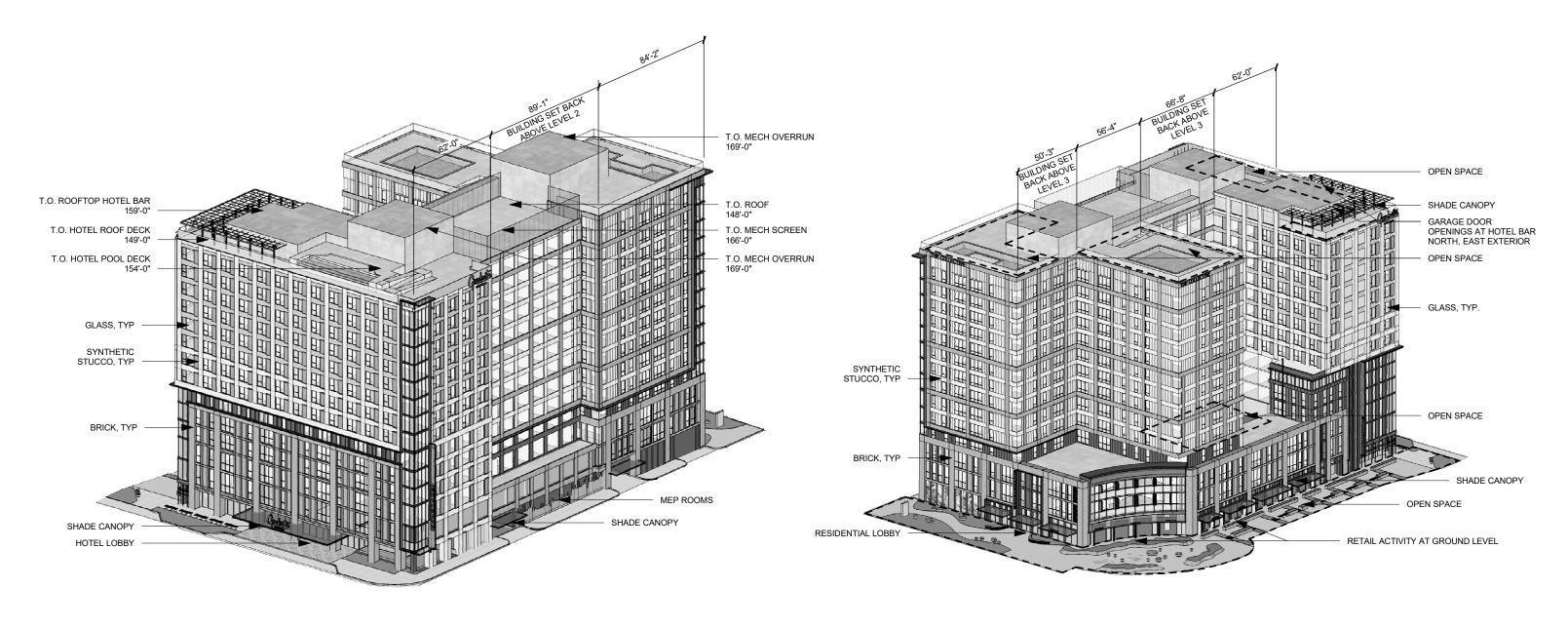






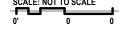






VIEW LOOKING SOUTHEAST (FROM INTERSECTION OF E 2ND ST & N TYNDAL AVE) VIEW LOOKING NORTHWEST (FROM PLAZA)

NOTE: ELEVATION HEIGHTS INDICATED FROM 0'-0" GRADE PLANE





# Main Gate District Design Standard Compliance Collective at Main Gate

# **ENVIRONMENTALLY CONSCIOUS DESIGN PRACTICES COMPLIANCE (SECTION C-16)**

(5 Minimum required from list of 16 possible design practices)

- 1. PROVIDE SHADE FOR AT LEAST 70% OF PARKING AREAS. (Ref. C-16-1)
  - Complies; See first floor plan
- 2. PROVIDE SHADE FOR AT LEAST 70% OF PEDESTRIAN AREAS. (Ref. C-16-2)
  - Complies; See Site Plan & First Floor Plan
- 3. PROVIDE DIRECT ACCESS CONNECTIONS FROM TRANSIT STOPS (Ref. C-16-3)
  - Comply, see site plan.
- 4. PROVIDE ENERGY STAR OR COOL ROOF RATED AT LEAST 0.65 REFLECTIVITY AND AT LEAST 85% EMISSIVITY. (Ref. C-16-4)
  - Will comply.
- 5. PROVIDE 100% DESERT-ADAPTED PLANT SPECIES. SPECIES CHOSEN MUST ADHERE TO THE AZ DEPT OF WATER RESOURCES TUCSON AMA DROUGHT TOLERANT/LOW WATER USE PLANT LIST. (Ref. C-16-7)
  - Will comply.
- 6. PROVIDE LOW-E GLASS BETTER THAN THE MINIMUM REQUIREMENT PER THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC). (Ref. C-16-12)
- 7. IMPLEMENT CAR SHARE USE OR INCORPORATE A TRANSIT STOP ON-SITE (Ref. C-16-14)
  - Will comply.

#### **DESIGN STANDARD COMPLIANCE (SECTION C-19)**

- 1. LIGHTING STRATEGIES WILL REDUCE OR PREVENT GLARE & LIGHT TRESPASS, CONSERVE ENERGY AND PROMOTE SAFETY AND SECURITY. (Ref. C-19.a)
  - Will comply.
- 2. BUILDING MATERIALS SHOULD BE CHOSEN FOR THEIR TACTILE EFFECTS AND USED IN A CONTRASTING MANNER. (Ref. C-19.d)
  - Complies; See renderings.
- 3. ANY BUILDING OVER 85-FT LONG MUSTBE ARTICULATED IN ORDER TO APPEAR AS A BUILDING NO LONGER THAN 85-FT. ALONG THE FRONT PROPERTY LINE. (Ref. C-19.u) Complies; See renderings and plans
- 4. DOORS AT PRIMARY PEDESTRIAN ENTRANCES MUST BE SHADED OR PROTECTED FROM THE WEATHER. (Ref. C-19.y)
  - Complies; See renderings and plans.
- 5. GLAZING SHALL BE LOW-E AND SHALL ALLOW A VISUAL CONNECTION THROUGH EITHER SIDE OF THE WINDOW. (Ref. C-19.AF)
- 6. BUILDING FACADES (2 MIN. REQUIRED) (Ref. C-19.ai)
  - SHADE STRUCTURE (Ref. C-19.ai.6)
  - CHANGES TO BUILDING PLANE SUCH AS INDENTATIONS, TEXTURES, OR ACCENT MATERIALS. (Ref. C-19.ai.7)
  - WINDOW DISPLAYS OR VISIBLE ACTIVITY ON THE GROUND FLOOR. (Ref. C-19.ai.9)

# PARKING STRUCTURE DESIGN STANDARD COMPLIANCE (SECTION C-5.c)

- 1. PARKING STRUCTURES SHALL BE DESIGNED SO THAT PARKED VEHICLES ARE SCREENED FROM VIEW AT STREET LEVEL, THROUGH INCORPORATION OF DESIGN ELEMENTS... (Ref. C-5.c.1)
  - Complies; See rendering and plans
- 2. LIGHTING WITHIN THE PARKING STRUCTURE SHALL PROVIDE FOR SAFETY AND SECURITY OF BUILDING USERS AND NO LIGHT BULBS SHALL BE DIRECTLY VISIBLE FROM OUTSIDE THE PARKING STRUCTURE. (Ref. C-5.c.4)
  - Will comply.
- 3. PARKING STRUCTURE SIGNAGE TO BE PROVIDED TO DIRECT THE VEHICULAR AND PEDESTRIAN TRAFFIC IN PROPER AND SAFE CIRCULATION WITHIN AND TO AND FROM THE PARKING STRUCTURE. (Ref. C-5.c.5)
  - Will comply.

### UTILITY FACILITIES DESIGN STANDARD COMPLIANCE (SECTION C-8)

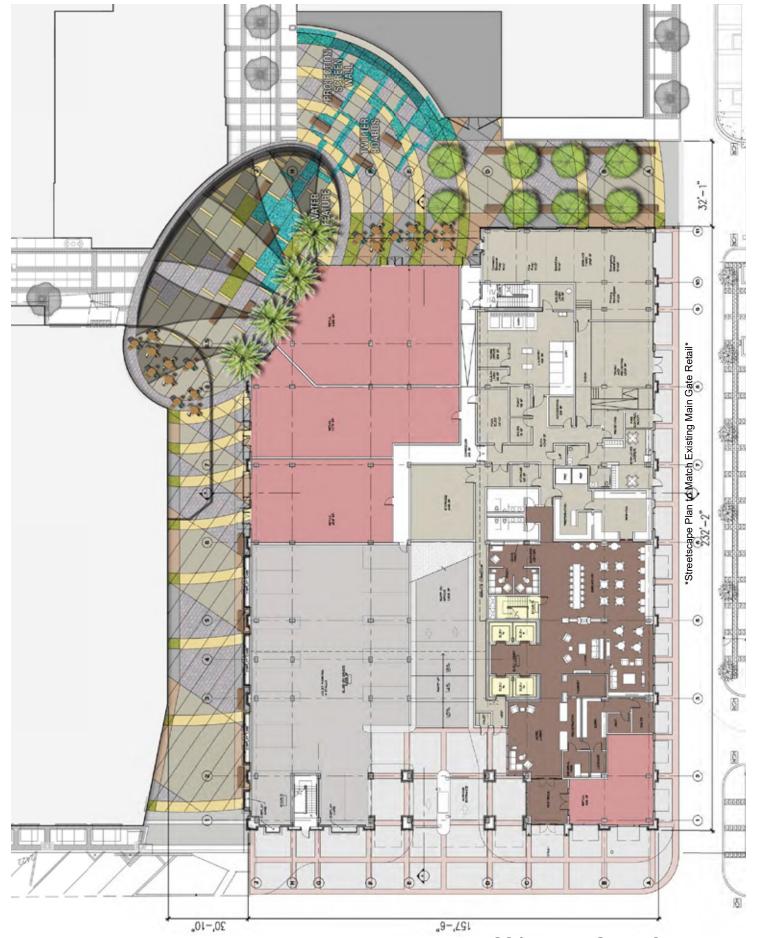
- 1. GROUND FLOOR VENTS SHALL BE ORIENTED AWAY FROM PEDESTRIAN PLAZAS AND AREAS AND BUILDING STREET FRONTAGE. (Ref. C-8.c)
  - Will comply.
- 2. NO BUILDING EQUIPMENT, ANTENNA OR SATELLITE DISHES SHALL BE LOCATED ALONG THE BUILDING FAÇADE FACING THE STREET. (Ref. C-8.d)
  - Will comply.

#### RIGHT-OF-WAY MAINTENANCE DESIGN STANDARD COMPLIANCE (SECTION C-11)

- 1. PROPERTY OWNER IS RESPONSIBLE AT ALL TIMES FOR MAINTENANCE OF LANDSCAPE, HARDSCAPE, BUILDING ARCHITECTURAL ELEMENTS AND SITE FURNISHING INSTALLED IN THE PUBLIC RIGHT-OF-WAY. (Ref. C-11.a)
  - Will comply.
- 2. PROPERTY OWNER SHALL REPLACE OR REPAIR VANDALIZED ELEMENTS WITHIN 48 HOURS. (Ref. C-11.b)
  - Will comply.
- 3. AND SHALL REPLACE DEAD OR MISSING VEGETATION WITHIN 14 DAYS TO ENSURE FULL COMPLIANCE WITH APPROVED LANDSCAPE PLANS. (Ref. C-11.c)
  - Will comply.



Extense Code  Size Enformation  No. 2015  Size Enformation  No. 2015  Size Enformation  Committed Expense  No. 2015  Committed Expense  Committed			_			
		zonina codo roas		notes	proposed	reference
Size information  Commental Zince  Comme	Zoning Codo		_		proposea	reference
National Programs  Annual Programs  Annu		2012		Tucson Onlined Development Code		
Tomoring chaseffication  Or To		No			no change	
Mar. Caller Bowst Development cerviny   so change	rediction register	140			no onange	
Statement of the statem	zoning classification	C-1		Commercial Zone		
Outstang and St. School of Commercial Build of Commercial Provincing Ass purps         Commercial Co	Overlay District			Main Gate District Development overlay	no change	amended August 7, 2012
Management   Man	Subarea	n/a			no change	
Securious Commercial C	lot area gsf	35,920	sf		no change	
Lighting Materials and Colors  Wildows and Glasting  Very	lot area acres		ac			
ses category Accomposition Permitted per District Overlay C. 2.a (20) Ses category Googn Fasteristics and Control Cont						
Local Company	use group				Commercial	C-2.a
sex estagony Group Passers   Permitted per District Onestry   C.2.a. (201)   Sex of Se				B B B.		0.0 (00)
Jack Segroy Brother Permitted per Debets Coverty 1						
Part   Partition of Partition   Partition of Partition   Partition of Partition   Partit						
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Mar FAR no no no maximum FAR in District Min bit width has no company Mar FAR no maximum for earning and earning and the company Mark of the compa	bulk and density					per C-3 Table 1 - Development Standards
Mis to development of the company of		n/a		no maximum FAR in District		i i
Max deningly  And command in the density in District  In stations max.  It is stories	Min lot area	n/a		no minimum lot area standards		
Mas censity  no maximum lod density in Dietric  159 ft 14 stories max  159 ft 77 O High Robot High	Min lot width	n/a		no minimum lot width standards		
height limit  156 B 14 stories max.  1597 Of (1. O. High freeze valence  1598 of (1. O. High freeze valence  1598 of (1. O. High freeze valence  1598 of Street freeze valence  1598 of St	Max lot coverage	n/a		no maximum lot coverage in District		
development standards	Max density	n/a		no maximum lot density in District		
development standards						
development standards					[	
Design to complement adjacent Contributing progressive	hoight limit		e	4.4 storico mov		(may) Figure 9
Design to complement adjacent Contributing properties   so comply   C-18 a	neight limit	159	π	14 STORIES MAX.	K001)	(max.) Figure 8
Design to complement adjacent Contributing properties   so comply   C-18 a	development standards		-		+	C-19 Design Standards
Intestice Preservation   Yes   Dispetites   See MEG document for full scope of Lighting   Yes   See MEG document for full scope of Building   C-19.a.c.   C-19.a	uevelopinent standards		-	Design to complement adjacent Contributing	+	0-10 Design Standards
See MCD document for full scope of Building   Comply   C-19.1 c.	Historic Preservation	Yes			to comply	C-18.g
Lighting   Yes   Requirements   Ves   See MCD document for full scope of Building Materials and Colors   Yes   See MCD document for full scope of Building Architectural Elements and Features   Yes   See MCD document for full scope of Forbiding   Architectural Elements and Features   Yes   See MCD document for full scope of Building Architectural Elements and Features   Yes   See MCD document for full scope of Duilding   Architectural Elements and Features   Yes   See MCD document for full scope of Duilding   Yes   See MCD document for full scope of Duilding   Yes   See MCD document for full scope of Duilding   Yes   See MCD document for full scope of Duilding   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   See MCD document for full scope of Building   Yes   Yes   See MCD document for full scope of Building   Yes   Yes   See MCD document for full scope of Building   Yes		165		See MGD document for full scope of Lighting		g
See MCD document for full scope of Building Altchilactural Elements and Features Yes Building Articulation Yes Windows and Glazing Yes Windows and Glazing Yes Building Features Yes Windows and Glazing Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Building Yes See MCD document for full scope of Sirestscope Yes Perduces effective visual build yes of Scope of Building Yes See MCD document for full scope of Sirestscope Yes Perduces effective visual build yes of Scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sirestscope Yes See MCD document for full scope of Sires	Lighting	Yes	L	requirements	to comply	C-19.ac
Architectural Elements and Features  Yes  Building Articulation  Yes  Building Facades  Yes  Sen MGD document for full scope of Door  Yes  Building Facades  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Door  Yes  Sen MGD document for full scope of Studding  Yes  Sen MGD document for full scope of Studding  Yes  Sen MGD document for full scope of Studding  Yes  Yes  Sen MGD document for full scope of Studding  Yes  Yes  Sen MGD document for full scope of Studding  Yes  Yes  Yes  Sen MGD document for full scope of Studding  Yes  Yes  Yes  Yes  Yes  Yes  Yes  Ye						
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Building Articulation Yes See MIGD document for full scope of Building Doors Yes Windows and Glazing Yes Height & Massa Yransition Yes Second Yes Frydall Yes Second Yes Frydall Yes Second Yes Frydall Yes Glazing Yes Glazin						
Bailding Articulation  Yes	Architectural Elements and Features	Yes			to comply	C-19.Ir
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Doors	Building Articulation	res			to comply	C-19.SX
Windows and Glazing  Wes  Glazing requirements  Size MGD document for full scope of Building Facadar requirements  Size MGD document for full scope of Streetscape  Yes  Streetscape  Yes  Height & Mass Transition  Tyndall  Yes  Se MGD document for full scope of Streetscape  Yes  Height & Mass Transition  Tyndall  Yes  Se MGD document for full scope of Streetscape  Yes  Height & Mass Transition  Tyndall  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Se MGD document for full scope of Streetscape  Yes  Tyndall	Doors	Yes			to comply	C-19.vae
Building Facades  Yes See MGD document for full scope of Streetscape Yes Height & Mass Transition Yes Tyndall Yes Tyndall Yes Second Yes Environmentally Conscious Design Practices  Wes Minimum setbacks Ton (street) None One One One One One One One One One O				See MGD document for full scope of Window and		1
Building Facades  Yes  See MCD document for full scope of Streetscape requirements  See MCD document for full scope of Streetscape requirements  Yes  See MCD document for full scope of Streetscape requirements  Yes  Second Yes  Include (5) or more of 16 concepts - see MGD to comply  C-18  Include (5) or more of 16 concepts - see MGD to comply  C-16  Include (5) or more of 16 concepts - see MGD to comply  C-16  Include (5) or more of 16 concepts - see MGD to comply  C-17 a.b. p. Figure 6  Complies with massing of 2015 project approximately to comply  C-18  Include (5) or more of 16 concepts - see MGD to comply  C-18  Include (5) or more of 16 concepts - see MGD to comply  C-18  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  To comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Include (5) or more of 16 concepts - see MGD to comply  Der C-3 Table 1 - Development Standards  Der C-3 Table 1 - Development Standards  Der C-3 Table 1 - Development Standards  Der C	Windows and Glazing	Yes			to comply	C-19.afah
See MSD document for full scope of Streetscape   See MSD document for full scope of Streetscape   Height & Mass Transition						
Streetscape Yes Include offective visual bulk over 2 stories (26 ft.) to comply Second Yes Include (5) or more of 16 concepts - see MGD To comply Second Second Yes Second Occupies with massing of 2015 project approximate to comply C-16 C-16 C-17 a. b. Figure 6 Complex with massing of 2015 project approximate to comply C-18 ai Second Complex Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai C-18 ai Second Complex with massing of 2015 project approximate to comply C-18 ai C-19 ai Complex with massing of 2015 project approximate to comply C-18 ai C-18 ai C-19 ai C-18 ai Complex with massing of 2015 project approximate to comply C-18 ai C-19 ai C-10 a	Building Facades	Yes			to comply	C-19.ai
reduce affective visual bulk over 2 stories (26 ft.) to comply to comply and						
Tyndall Yes 25% of street front setback atleast 12-ft. to comply Second Yes 25% of street front setback atleast 12-ft. not provided Complies with massing of 2015 project approximately Conscious Design Practices Yes Include (5) or more of 16 concepts - see MGD document for full list to comply C-16 comply C-16 comply Practices Include (5) or more of 16 concepts - see MGD document for full list to comply Der C-3 Table 1 - Development Standards Other Infa none to comply Der C-3 Table 1 - Development Standards Other Infa none to comply Der C-3 Table 1 - Development Standards Other Infa none to comply Der C-3 Table 1 - Development Standards Other Infa none to comply Der C-3 Table 1 - Development Standards Other Infa none to comply Der C-3 Table 1 - Development Standards Der C-16 Development Standards Der C-16 Development Standards Der C-16 Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Space Der Dusting Der C-3 Table 1 - Development Standards Der Der Der Development Standards Der						
Second Yes   25% of street front setback atleast 12-ft.   not provided   Compiles with massing of 2015 project approint provided   C						C-17.a, b; Figure 6
Include (5) or more of 16 concepts - see MGD   to comply   C-16						Complies with massing of 2015 project approval
Practices  Yes document for full list to comply  Intimum setbacks  Front (street)  Intimum setbacks  Front (street)  Intimum setbacks  Int		res			not provided	Compiles with massing of 2015 project approval
minimum setbacks front (street) n/a none to comply per C-3 Table 1 - Development Standards other n/a none to comply per C-3 Table 1 - Development Standards maximum setbacks n/a none to comply per C-3 Table 1 - Development Standards maximum setbacks n/a none to comply per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none per C-3 Table 1 - Development Standards n/a none to comply per C-3 Table 1 - Development Standards n/a none per C-3 Table 1 - Development Standards none per C-3 Table 1 - Development Standards n/a none per C-3		Yes			to comply	C-16
front (street)						
other n/a none to comply oper C-3 Table 1 - Development Standards stade n/a none to comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards of the comply oper C-3 Table 1 - Development Standards oper C-3 Tab	minimum setbacks					
side none to comply per C-3 Table 1 - Development Standards maximum setbacks front (street) Yes none to comply per C-3 Table 1 - Development Standards other none to comply per C-3 Table 1 - Development Standards side n/a none to comply per C-3 Table 1 - Development Standards side n/a none to comply per C-3 Table 1 - Development Standards side none to comply per C-3 Table 1 - Development Standards side none to comply per C-3 Table 1 - Development Standards side none to comply per C-3 Table 1 - Development Standards per C-3 Table 1 - Development Standards none per C-3 Table 1 - Development Standards none per C-3 Table 1 - Development Standards per C-3 Table 1 - Development Standards none p		n/a		none	to comply	per C-3 Table 1 - Development Standards
maximum setbacks front (street) fron	other	n/a		none		
front (street) Yes none to comply per C-3 Table 1 - Development Standards other none to comply per C-3 Table 1 - Development Standards none to comply per C-3 Table 1 - Development Standards on none to comply per C-3 Table 1 - Development Standards per C-3 Table 1 - Development Standards on minimum perimeter yard width per C-3 Table 1 - Development Standards on minimum perimeter yard width per C-3 Table 1 - Development Standards on per C-3 Table 1 - De		n/a		none	to comply	per C-3 Table 1 - Development Standards
other side						
minimum perimeter yard  n/a no minimum perimeter yard width  per C-3 Table 1 - Development Standards  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-3 Table 1 - Development Standards  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-3 Table 1 - Development Standards  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-3 Table 1 - Development Standards  per C-4 Da Sandaria  per C-3 Table 1 - Development Standards  per C-4 Da Sandaria  per C-4 Da Sandaria  per C-3 Table 1 - Development Standaria  per C-3 Tab						
minimum perimeter yard  n/a  no minimum perimeter yard width  per C-3 Table 1 - Development Standards  per C-4 - Development Standards  per C-5 - Develop Standards  per C-5 - Develop Standards  per C-5 - Develop Standards  p			_			
open space         per C-3 Table 1 - Development Standards           residential         yes         25 sf per DU - 6,075 sf required         9,167 sf provided         243 x 25 = 6,075 sf           retail / hotel         yes         15% of the site area - 4,390 sf required         4,638 sf provided         35,920 sf x 15% = 5,388 sf           Minimum sidewalik width         yes         On Tyndall: 5 ft clear         to comply         C-4.b.4           vehicle parking         C-5.a         C-5.a         C-5.a           min parking for Residential         yes         1.0 space per DU         0.51 space/unit         243 Dwelling Units; 122 spaces required           max parking for Residential         yes         1.0 space per DU         (123 spaces)         1.0 space per DU         (123 spaces)           min parking for Residential         yes         1 spaces per 1,000 sf of GFA         0.31 space/key         95,747 sf GFA; 96 spaces required           max parking for Hotel         yes         5 spaces per 1,000 sf of GFA         (51 spaces)         Per PIA           min parking for retail         yes         2,000 sf GFA         3 spaces         4,638 sf retail proposed; 4,638 / 2,000 = 2.32           bicycle parking         bicycle parking         to comply         C-5.b - Additional bike storage in units           min. of the greater of 0.3 spaces per DU	side	n/a	_	none	to comply	per C-3 Table 1 - Development Standards
open space         per C-3 Table 1 - Development Standards           residential         yes         25 sf per DU - 6,075 sf required         9,167 sf provided         243 x 25 = 6,075 sf           retail / hotel         yes         15% of the site area - 4,390 sf required         4,638 sf provided         35,920 sf x 15% = 5,388 sf           Minimum sidewalik width         yes         On Tyndall: 5 ft clear         to comply         C-4.b.4           vehicle parking         C-5.a         C-5.a         C-5.a           min parking for Residential         yes         1.0 space per DU         0.51 space/unit         243 Dwelling Units; 122 spaces required           max parking for Residential         yes         1.0 space per DU         (123 spaces)         1.0 space per DU         (123 spaces)           min parking for Residential         yes         1 spaces per 1,000 sf of GFA         0.31 space/key         95,747 sf GFA; 96 spaces required           max parking for Hotel         yes         5 spaces per 1,000 sf of GFA         (51 spaces)         Per PIA           min parking for retail         yes         2,000 sf GFA         3 spaces         4,638 sf retail proposed; 4,638 / 2,000 = 2.32           bicycle parking         bicycle parking         to comply         C-5.b - Additional bike storage in units           min. of the greater of 0.3 spaces per DU	minimum perimeter yeard		-	no minimum perimeter yerd width	+	ner C-3 Table 1 - Dayalanmant Standards
Pesidential	mmum perimeter yard	n/a		no mannum penneter yard width	+	per 0-3 rable i - Development Standards
Pesidential	open space				+	per C-3 Table 1 - Development Standards
retail / hotel  yes 15% of the site area - 4,390 sf required  A,638 sf provided 35,920 sf x 15% = 5,388 sf  Minimum sidewalk width  yes On Tyndall: 5 ft clear to comply C-4,b.4  On Second: 5 ft clear  C-4,b.4   **C-4,b.4*  **C-4,b.4*  **C-4,b.4*  **Vehicle parking min parking for Residential yes 1.0 space per DU (123 spaces) min parking for Residential yes 1 spaces per 1,000 sf of GFA (51 space)  min parking for Hotel yes 5 spaces per 1,000 sf of GFA (51 space)  min parking for retail yes 2,000 sf GFA  **Spaces of 1 space per DU or 3 spaces of 1 spaces per DU or 3 spaces of 1 spaces per DU or 3 spaces of 1 spaces per DU or 3 spaces of 1 space per DU or 3 spaces of 1 space per DU or 3 spaces or 1 space per Spaces or 1 space per Spaces or 1 space per DU or 3 spaces or 1 space per DU or 3 spaces or 1 space per Spaces or 1 space per DU or 3 spaces or 1 space per DU or 3 spaces or 1 space per DU or 3 spaces or 1 space per Spaces or 1 space p		VAC		25 sf per DU - 6,075 sf required	9.167 sf provided	
Minimum sidewalk width  yes On Tyndall: 5 ft clear On Second: 5 ft clear  C-4.b.4  vehicle parking min parking for Residential max parking for Residential max parking for Hotel max parking for retail  bicycle parking min parking for Residential yes 1,0 space per DU 1,0 space pe		,				
Vehicle parking min parking for Residential max parking for Residential max parking for Residential max parking for Hotel min. of the greater of 2 spaces or 1 space per 2,000 sf GFA  to comply  243 DU x 0.3 = 73 bike spaces required min. of the greater of 2 spaces or 1 space per short-term parking for Retail  yes spaces min. of the greater of 2 spaces or 1 space per short-term parking for Retail  yes 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required min. of the greater of 2 spaces or 1 space per 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required min. of the greater of 2 spaces or 1 space per 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required for Hotel for		•			· ·	
vehicle parking     C-5.a       min parking for Residential     yes     0.50 space per DU     0.51 space/unit     243 Dwelling Units; 122 spaces required       max parking for Residential     yes     1.0 space per DU     (123 spaces)       min parking for Hotel     yes     1 spaces per 1,000 sf of GFA     0.31 space/key     95,747 sf GFA; 96 spaces required       max parking for Hotel     yes     5 spaces per 1,000 sf of GFA     (51 spaces)     Per PIA       min. of the greater of 2 spaces or 1 space per 2,000 sf GFA     3 spaces     4,638 sf retail proposed; 4,638 / 2,000 = 2.32       bicycle parking     to comply     C-5.b - Additional bike storage in units       short-term parking for Residential     yes     spaces     to comply     243 DU x 0.3 = 73 bike spaces required       long-term parking for Residential     yes     spaces     to comply     244 DU x 0.3 = 73 bike spaces required       win. of the greater of 2 spaces or 1 space per short-term parking for Retail     yes     5,000 sf GFA     to comply     4,638 sf retail provided; 2 spaces required       long-term parking for Retail     yes     1,000 sf GFA     to comply     4,638 sf retail provided; 2 spaces required       long-term parking for Retail     yes     1,000 sf GFA     to comply     4,638 sf retail provided; 2 spaces required		,				
min parking for Residential max parking for Residential max parking for Hotel min parking for Hotel min parking for Hotel min parking for Residential min parking for Resident						
max parking for Residential  min parking for Hotel  max parking for Hotel  min of the greater of 2 spaces or 1 space per 2,000 sf GFA  min. of the greater of 2 spaces or 1 space per 2,000 sf GFA  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 2 spaces or 1 space per  short-term parking for Residential  yes  short-term parking for Retail  yes  short-term parking						
min parking for Hotel max parking for Hotel max parking for Hotel min parking for Hotel min parking for Hotel min parking for Hotel min parking for retail  bicycle parking min of the greater of 2 spaces or 1 space per 2,000 sf GFA  spaces  discovered parking min of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 0.3 spaces per DU or 3 spaces min. of the greater of 2 spaces or 1 space per short-term parking for Retail yes food of GFA to comply  4,638 sf retail provided; 2 spaces required min. of the greater of 2 spaces or 1 space per short-term parking for Retail yes 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required min. of the greater of 2 spaces or 1 space per 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required		yes				243 Dwelling Units; 122 spaces required
max parking for Hotel  yes  5 spaces per 1,000 sf of GFA  min. of the greater of 2 spaces or 1 space per 2,000 sf GFA  in of the greater of 2 spaces or 1 space per 2,000 sf GFA  spaces  bicycle parking  to comply  c-5.b - Additional bike storage in units  min. of the greater of 0.3 spaces per DU or 3 spaces  in of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  243 DU x 0.3 = 73 bike spaces required  min. of the greater of 2 spaces or 1 space per short-term parking for Retail  yes  5,000 sf GFA  min. of the greater of 2 spaces or 1 space per 100ng-term parking for Retail  yes  1,638 sf retail provided; 2 spaces required  4,638 sf retail provided; 2 spaces required  win. of the greater of 2 spaces or 1 space per 12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  4,638 sf retail provided; 2 spaces required  comply  4,638 sf retail provided; 2 spaces required						
min parking for retail  yes						
min parking for retail  yes 2,000 sf GFA  3 spaces  4,638 sf retail proposed; 4,638 / 2,000 = 2.32  bicycle parking  to comply  C-5.b - Additional bike storage in units  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  243 DU x 0.3 = 73 bike spaces required  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  244 DU x 0.3 = 73 bike spaces required  min. of the greater of 2 spaces or 1 space per short-term parking for Retail  yes 5,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per long-term parking for Retail  yes 12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  fooding  C-6.1	max parking for Hotel	yes	_		(51 spaces)	Per PIA
bicycle parking  min. of the greater of 0.3 spaces per DU or 3 short-term parking for Residential  yes spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  243 DU x 0.3 = 73 bike spaces required  min. of the greater of 2 spaces or 1 space per short-term parking for Retail  yes 5,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per 12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  Min. of the greater of 2 spaces or 1 space per 12,000 sf GFA  To comply  4,638 sf retail provided; 2 spaces required  C-6.1	min parking for rateil				3 epaces	4 638 of retail proposed: 4 639 / 2 000 = 2 32 ex
min. of the greater of 0.3 spaces per DU or 3 short-term parking for Residential yes spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  243 DU x 0.3 = 73 bike spaces required  min. of the greater of 2 spaces or 1 space per short-term parking for Retail yes 5,000 sf GFA  min. of the greater of 2 spaces or 1 space per to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per to comply 4,638 sf retail provided; 2 spaces required	min parking for fetall	yes	-	L,000 81 01 A	o apaces	7,000 or retail proposed, 4,000 / 2,000 - 2.32 spaces
min. of the greater of 0.3 spaces per DU or 3 short-term parking for Residential yes spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  min. of the greater of 0.3 spaces per DU or 3 spaces  to comply  243 DU x 0.3 = 73 bike spaces required  min. of the greater of 2 spaces or 1 space per short-term parking for Retail yes 5,000 sf GFA  min. of the greater of 2 spaces or 1 space per to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per to comply 4,638 sf retail provided; 2 spaces required	bicvcle parking				to comply	C-5.b - Additional bike storage in units
short-term parking for Residential  long-term parking for Residential  yes  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 0.3 spaces per DU or 3  spaces  min. of the greater of 2 spaces or 1 space per  short-term parking for Retail  yes  5,000 sf GFA  min. of the greater of 2 spaces or 1 space per  12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per  12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  A,638 sf retail provided; 2 spaces required  Ioading			<u> </u>	min. of the greater of 0.3 spaces per DU or 3		/ damenar sine storage in unito
min. of the greater of 0.3 spaces per DU or 3   244 DU x 0.3 = 73 bike spaces required   min. of the greater of 2 spaces or 1 space per   4,638 sf retail provided; 2 spaces required   min. of the greater of 2 spaces or 1 space per   4,638 sf retail provided; 2 spaces required   4,638 sf retail p	short-term parking for Residential	yes	L		to comply	243 DU x 0.3 = 73 bike spaces required
min. of the greater of 2 spaces or 1 space per 5,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required long-term parking for Retail yes 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required long-term parking for Retail yes 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required loading C-6.1	·					
short-term parking for Retail  yes  5,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  min. of the greater of 2 spaces or 1 space per  12,000 sf GFA  to comply  4,638 sf retail provided; 2 spaces required  to comply  4,638 sf retail provided; 2 spaces required  C-6.1	long-term parking for Residential	yes		spaces	to comply	244 DU x 0.3 = 73 bike spaces required
long-term parking for Retail  yes min. of the greater of 2 spaces or 1 space per 12,000 sf GFA  to comply 4,638 sf retail provided; 2 spaces required  loading C-6.1					1 . T	
long-term parking for Retail yes 12,000 sf GFA to comply 4,638 sf retail provided; 2 spaces required    loading	short-term parking for Retail	yes			to comply	4,638 sf retail provided; 2 spaces required
loading C-6.1	long term parking for Poteil				to comply	4 638 of retail provided: 2 change required
	iong-term parking for Ketall	yes	-	12,000 SI GFA	ю соттріу	+,000 Si retali provided; ∠ spaces required
	loading		_		+	C-6.1
And the state of t		1/00		atleast 12 ft x 24 ft	to comply	
	o ooot loading 2016	yes		MINOR IZ IL A ZT IL	comply	assess nom ryndan
			Н			





2015 APPROVED SITE PLAN

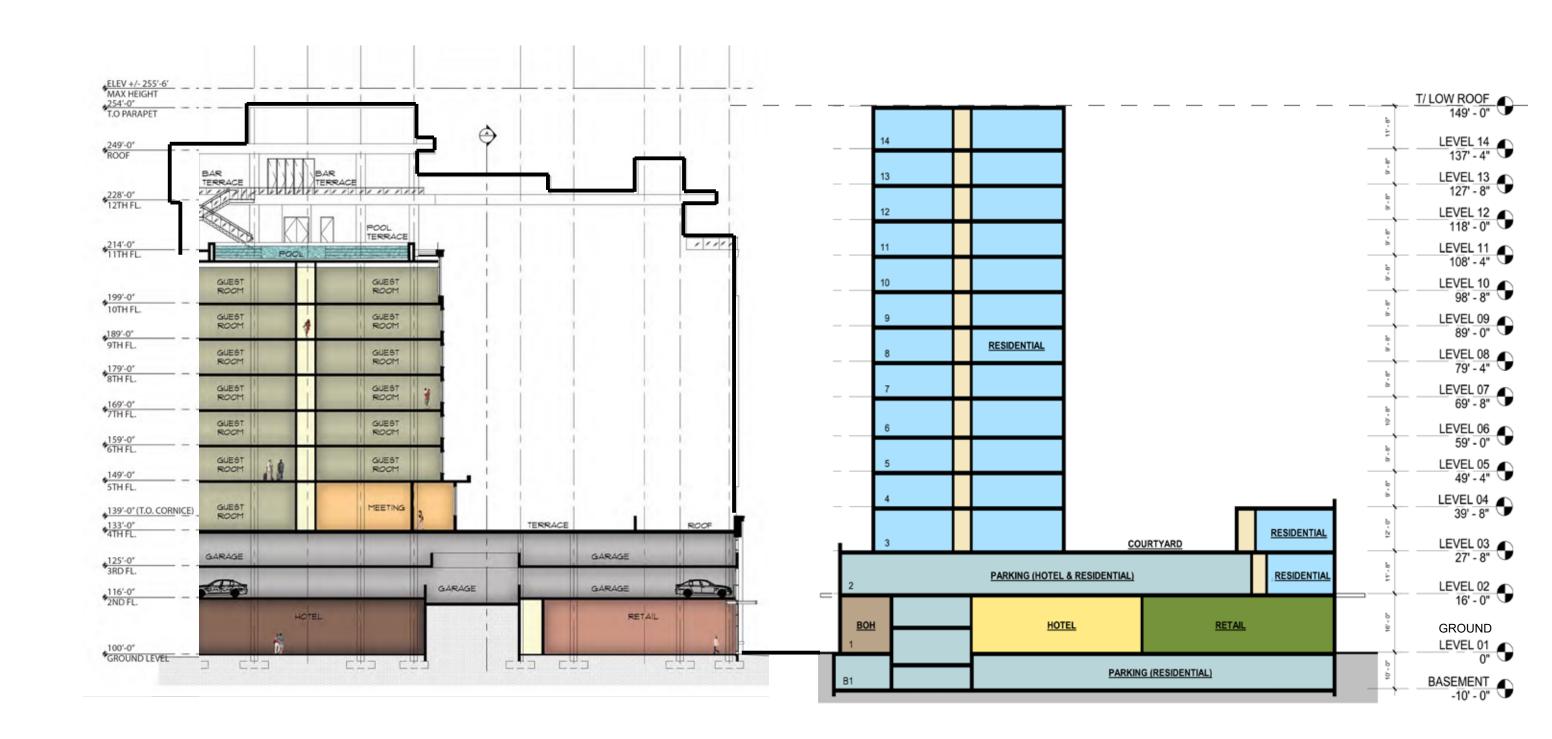
**2018 REVISED SITE PLAN** 

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION





**2018 REVISED BIRD'S EYE** 



**2015 APPROVED SECTION** 

**2018 UPDATED SECTION** 

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

**DRC PRESENTATION** 

**BUILDING SECTION OLD AND NEW** 





**2015 APPROVED PLAN NW CORNER VIEW** 

**2018 UPDATED PLAN NW CORNER VIEW** 





2015 APPROVED PLAN SE CORNER VIEW (PLAZA)

2018 UPDATED PLAN SE CORNER VIEW (PLAZA)





**2015 APPROVED PLAN NE VIEW** 

**2018 UPDATED PLAN NE VIEW** 



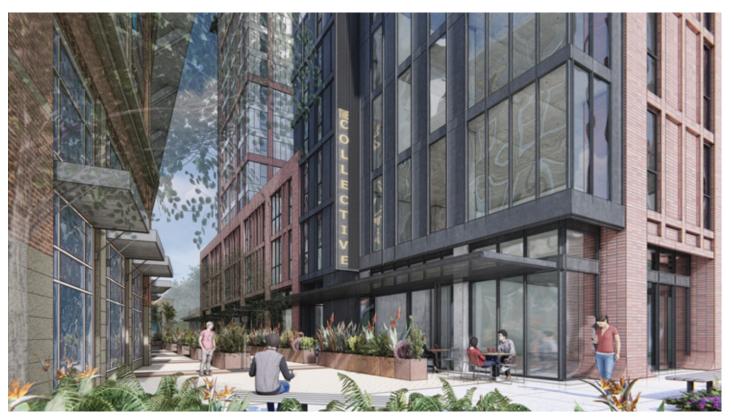


**2015 APPROVED PLAN SW CORNER VIEW AT TYNDALL** 

**2018 UPDATED PLAN SW CORNER VIEW AT TYNDALL** 

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION





2015 APPROVED PLAN EAST WALKWAY LOOKING SOUTH 2018 UPDATED PLAN EAST WALKWAY LOOKING SOUTH

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRES