

Graduate
HOTELS
AND
THE
COLLECTIVE
APARTMENTS



D R C P R E S E N T A T I O N T U C S O N M A I N G A T E M I X E D - U S E

HOTEL PARTNER:

A.J. CAPITAL



CORE



GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

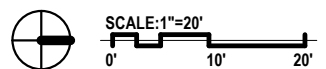
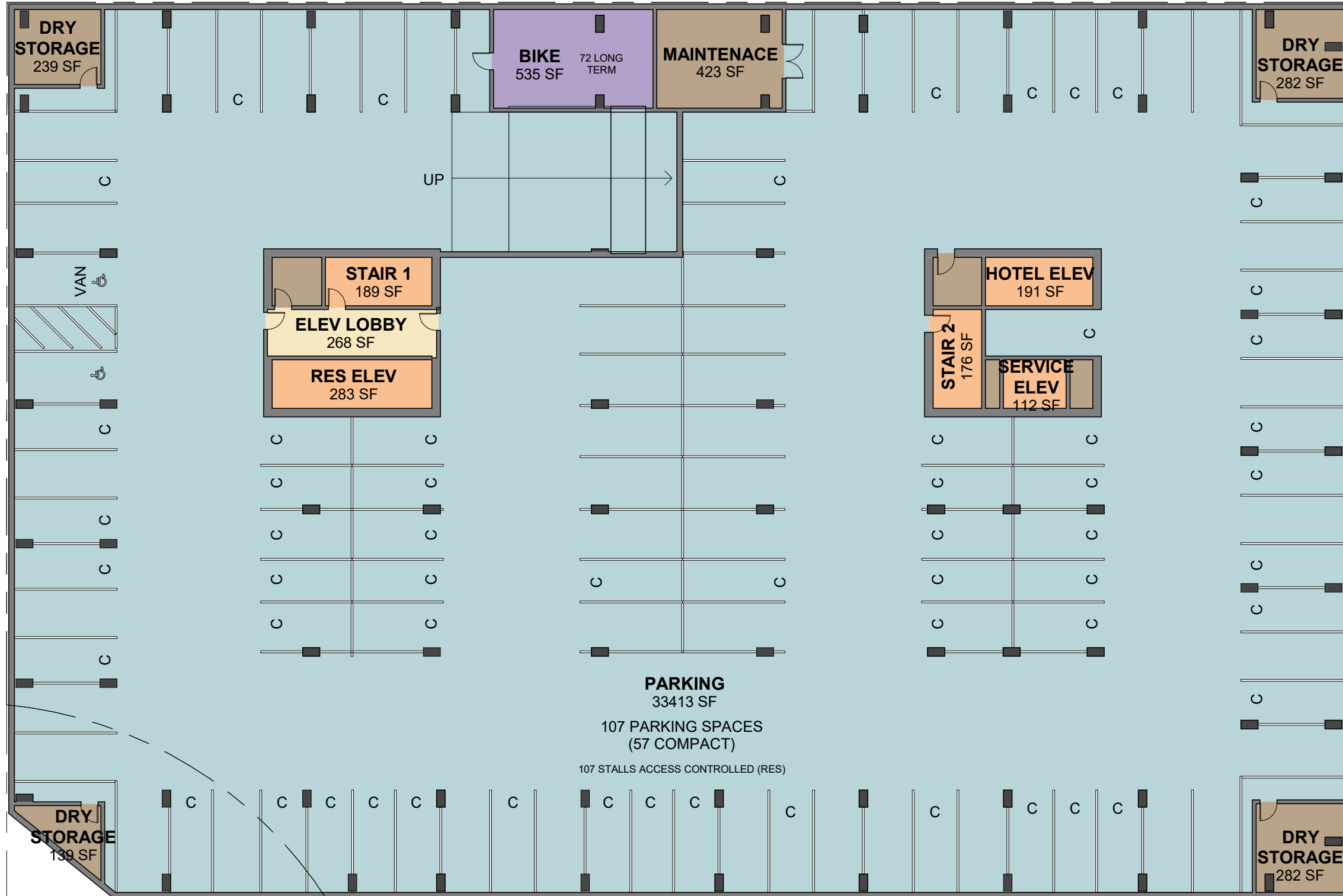


Leased Property Line for "Building" (MGD U-C-3)

General Public Amenity

- Open Space/Plaza
- 50-Year Easement to City
- Outdoor Screen
- Stage
- Fountain
- Outdoor Seating
- Feature Art
- Info Kiosks



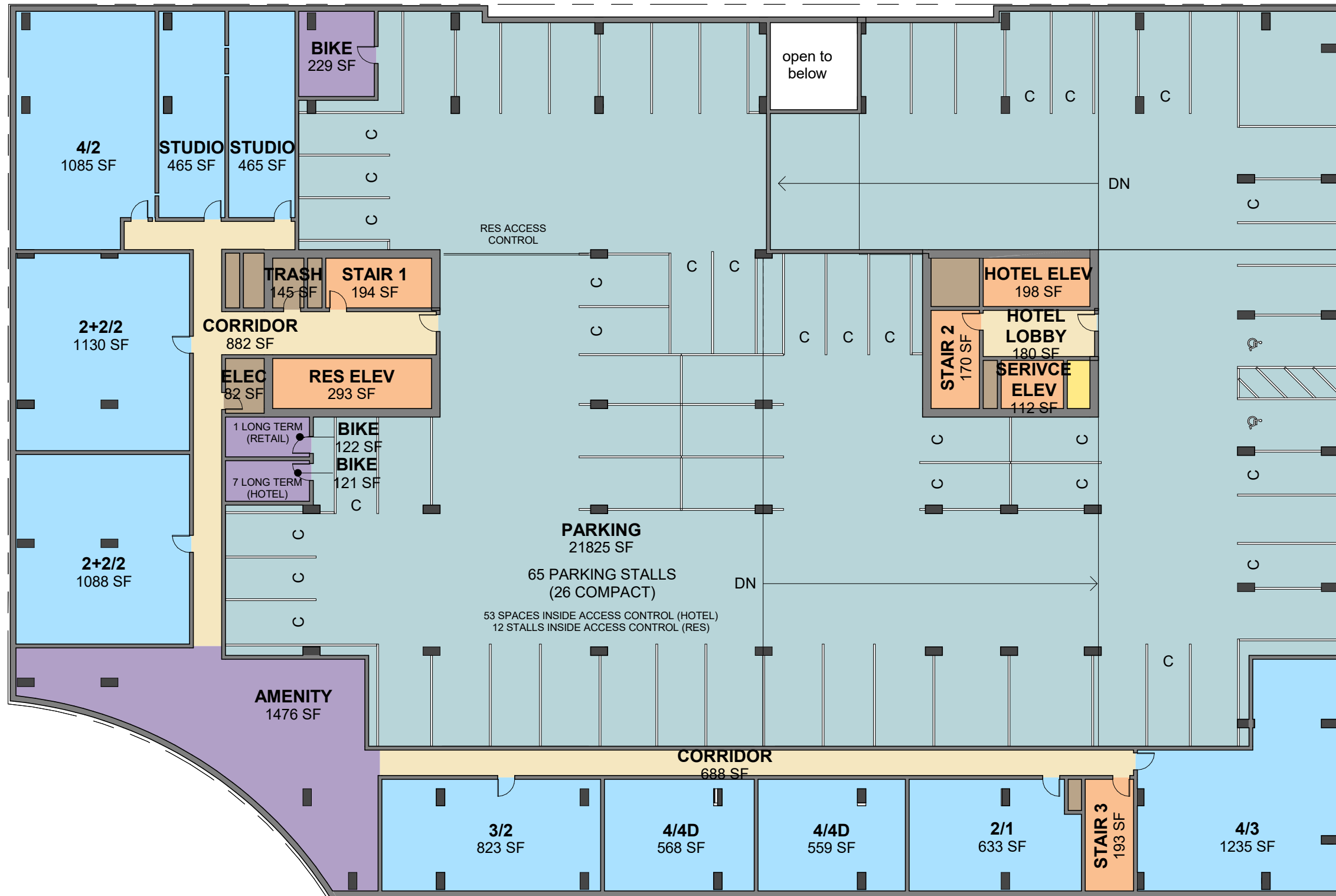




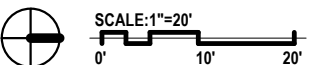
ALL GROUND FLOOR LANDSCAPING TO BE COORDINATED WITH PUBLIC AMENITY LANDSCAPING DESIGN

LEASED PROPERTY LINE



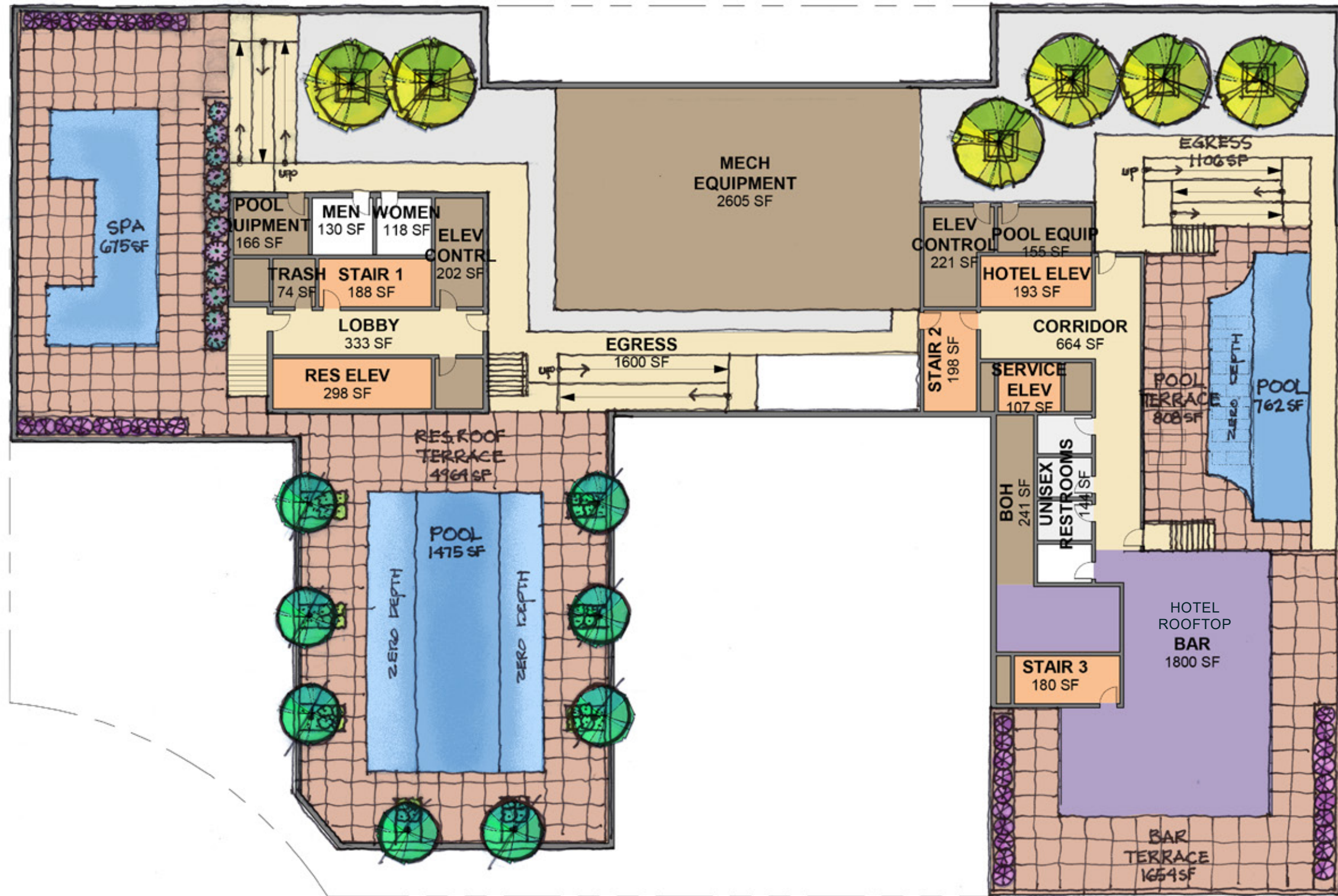


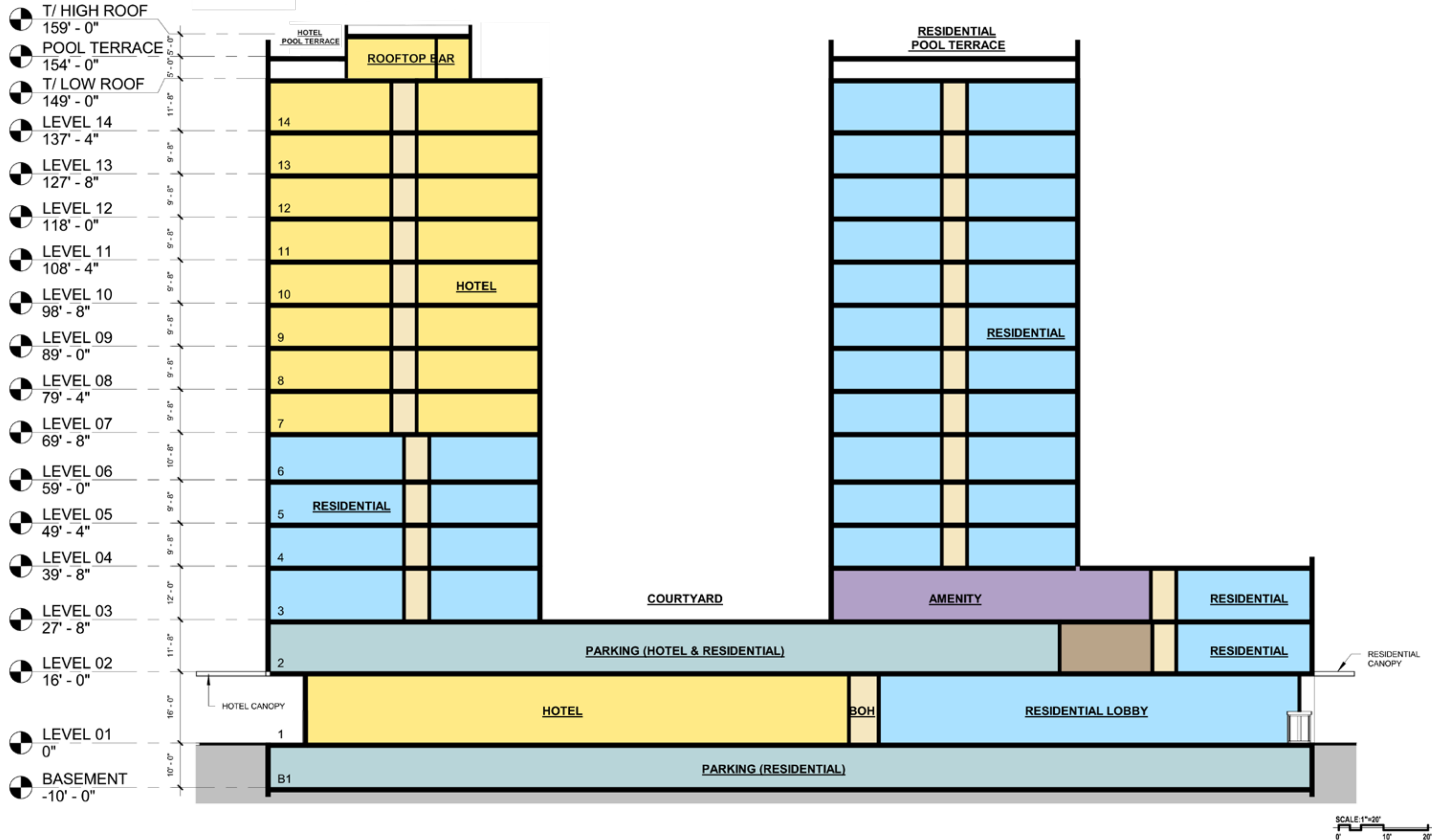












GRADUATE HOTEL AND COLLECTIVE AT TUCSON MAIN GATE - TUCSON, AZ - 08/18/18

SITE AREA (AT GRADE)	35,920	SF
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PROJECT SUMMARY: 14 STORY w ROOFTOP HOTEL BAR, AMENITY DECK

LEVEL	FLOOR HEIGHT	HEIGHT (above Grade 24.5)	RESIDENTIAL - APARTMENT								HOTEL						RETAIL		BUILDING COMMON BOH, LOADING, TRASH, MEP, CORR	PARKING & RAMPS		Total ENCLOSED GSF w/o OPEN SPACE	Total GSF with OPEN SPACE	
			RES COMMON, CORRIDORS	RES COMMON, ELEV-STAIR	RSF	RES AMENITIES/FITNESS	OPEN SPACE	BALCONIES	OCCUPANTS	UNITS	HOTEL COMMON, CORRIDORS	HOTEL COMMON, ELEV-STAIR	NSF	HOTEL AMENITY	OPEN SPACE	HOTEL ROOMS	RETAIL RSF	RETAIL COMMON		PARKING AREA	SPACES			
ROOF	3'-0"	146'-8"	2,044	717	-	-	7,114	-	-	-	-	1,832	439	-	1,800	3,224	-	-	-	3,915	-	-	10,747	21,085
14	11'-8"	135'-0"	1,610	818	13,217	-	-	-	40	17	1,068	482	7,850	-	-	19	-	-	551	-	-	25,596	25,596	
13	9'-8"	125'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
12	9'-8"	115'-8"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
11	9'-8"	106'-0"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
10	9'-8"	96'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
9	9'-8"	86'-8"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
8	9'-8"	77'-0"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,719	-	-	21	-	-	551	-	-	25,596	25,596	
7	9'-8"	67'-4"	1,610	818	13,217	-	-	-	40	17	1,199	482	7,043	676	-	19	-	-	551	-	-	25,596	25,596	
6	9'-8"	57'-8"	2,168	781	21,367	-	-	-	67	25	-	476	49	-	-	-	-	-	755	-	-	25,596	25,596	
5	9'-8"	48'-0"	2,168	781	21,367	-	-	-	67	25	-	476	49	-	-	-	-	-	755	-	-	25,596	25,596	
4	9'-8"	38'-4"	2,168	781	21,367	-	-	-	67	25	-	476	49	-	-	-	-	-	755	-	-	25,596	25,596	
3	11'-2"	27'-2"	3,054	1,018	20,569	6,255	2,053	-	70	24	-	555	49	-	-	-	-	-	884	-	-	32,384	34,437	
2	11'-2"	16'-0"	1,570	710	8,051	1,827	-	-	23	8	180	450	49	121	-	-	-	-	413	21,825	65	35,196	35,196	
1	16'-0"	0	1,455	703	3,087	538	-	-	-	-	1,762	443	10,701	196	-	-	-	-	4,436	5,820	5	33,779	33,779	
BSMNT	10'-0"		268	556	-	535	-	-	-	-	-	395	-	-	-	-	-	-	1,630	33,413	107	36,797	36,797	
BUILDING TOTAL			27,775	12,591	201,544	9,155	9,167	-	614	243	13,235	7,566	72,153	2,793	3,224	164	4,638	-	17,951	61,058	177	430,459	442,850	

BUILDING SUMMARY:	ENCLOSED GSF	% OF GSF
RESIDENTIAL:	251,065	58.32%
HOTEL:	95,747	22.24%
RETAIL:	4,638	1.08%
BUILDING COMMON:	17,951	4.17%
PARKING:	61,058	14.18%
TOTAL:	430,459	100.00%

PARKING SUMMARY:	% of PARKING	Required per MGD
RESIDENTIAL:	121 SPACES	68.4% 0.50 PER UNIT
HOTEL:	53 SPACES	29.9% 0.32 PER HOTEL ROOM (Request for DRC, DP variance)
RETAIL:	3 SPACES	1.7% 2.3 1 PER 2,000 SF COMMERCIAL
TOTAL:	177 SPACES	100.0% 177 CHECK TOTAL

RESIDENTIAL PARKING BY FLOOR		
USE	# SPACES	LEVEL
RESID PRK	12	L2
RESID PRK	2	L1
RESID PRK	107	BASEMENT
TOTAL	121 SPACES	

UNIT MATRIX - 08/18/18

COLLECTIVE AT TUCSON MAIN GATE

LEVEL	UNITS														OCCUPANTS														BATH	LEVEL
	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL UNITS	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL OCCUPANTS	VS OCCUPANTS	
14	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	14
13	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	13
12	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	12
11	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	11
10	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	10
9	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	9
8	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	8
7	0	2	4	1	0	0	0	1	1	0	0	3	5	17	0	8	16	4	0	0	0	2	2	0	0	3	5	40	33	7
6	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	6
5	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	5
4	0	2	6	1	1	1	3	1	1	0	0	3	6	25	0	8	24	4	3	3	12	2	2	0	0	3	6	67	52	4
3	2	1	4	1	1	1	5	0	1	1	1	3	3	24	8	4	16	4	3	3	20	0	2	2	2	3	3	70	52	3
2	0	0	1	1	0	1	2	0	0	1	0	2	0	8	0	0	4	4	0	3	8	0	0	2	0	2	0	23	16	2
1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
	2	23	55	13	4	5	16	11	12	2	1	38	61	243	8	92	220	52	12	15	64	22	24	4	2	38	61	614	488	
	0.8%	9.5%	22.6%	5.3%	1.6%	2.1%	6.6%	4.5%	4.9%	0.8%	0.4%	15.6%	25.1%	100.0%	1%	15%	36%	8%	2%	2%	10%	4%	4%	1%	0%	6%	10%	100%		

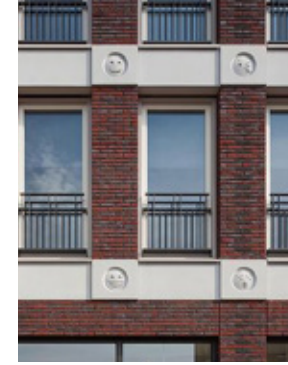
*DUPLEX BR ARE COUNTED ON THE SECOND FLOOR OF THE UNIT

UNIT TYPE AND BATHROOM RATIO														
	4/4 D (4 BR / 4 BA)	4/4 (4 BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2 (4 BR / 2 BA)	3/3 (3BR / 3BA)	3/2 (3 BR / 2 BA)	2+2/2 (2 BR / 2 BA)	2/2 B (2 BR / 2 BA)	2/1 B (2BR / 1BA)	2/1 (2BR / 1BA)	1+1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL BATHROOMS
Bath Per Unit	4	4	3	2	3	3	2	2	1	1	1	1	1	
Unit Type Count	2	23	55	13	4	5	16	11	12	2	1	38	61	
Total	8.0	92.0	165.0	26.0	12.0	15.0	32.0	22.0	12.0	2.0	1.0	38.0	61.0	486

CHECK: 614

Bath-to-Occupant Ratio 79.2%
Occupant-to-Bath Ratio 1.26





RESIDENTIAL

- Vintage
- Asymmetry
- Textured
- Expressive

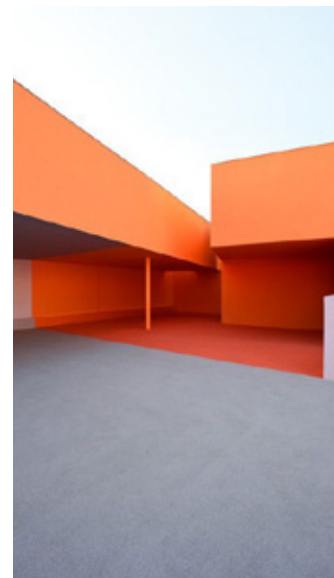


Curved ground plane. Plaza curving up to become part of the building.



COLOR PALETTE

- Brick
- White
- Black Steel
- Natural concrete



HOTEL TOWER

- Clean
- Precise
- Austere
- Perfect



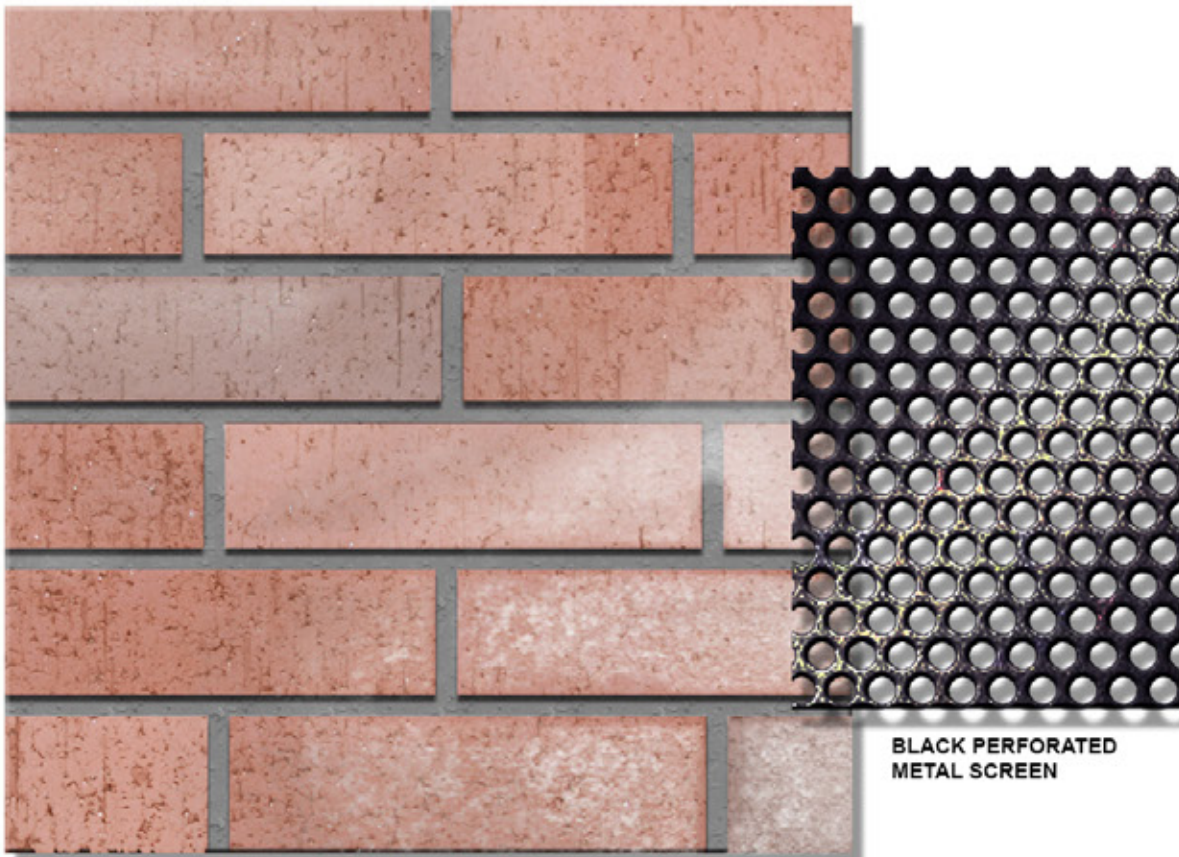


INSULATED LOW E GLASS



ALUMINUM WINDOW FRAME

EIFS TEXTURED NATURAL GRAY COLOR FINISH



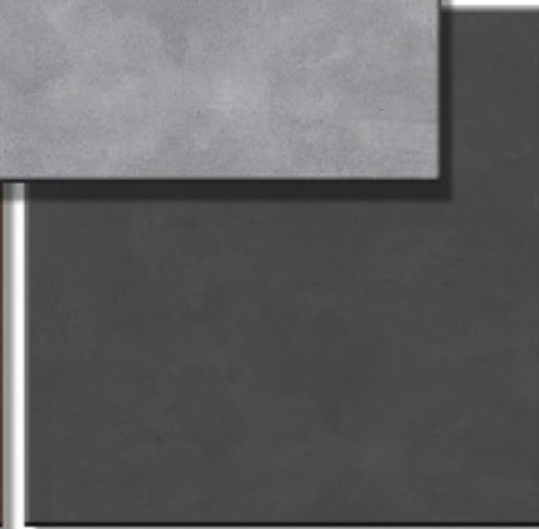
BLACK PERFORATED METAL SCREEN

RED BRICK BLACK MORTAR
FACE BRICK AT PODIUM
UP TO LEVEL 5

EIFS BRICK FINISH TO MATCH BRICK TYPE 1
EIFS BRICK STARTING AT LEVEL 4
AND UP ON RESIDENTIAL TOWER ONLY



EIFS CORTEN COLOR FINISH



EIFS DARK GRAY COLOR FINISH

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

Core Spaces, Up Campus, and AJ Capital Developer · Antunovich Associates Architecture, Planning, Interior Design*



GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

CONCEPT VIEW



GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

CONCEPT VIEW







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GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

CONCEPT VIEW

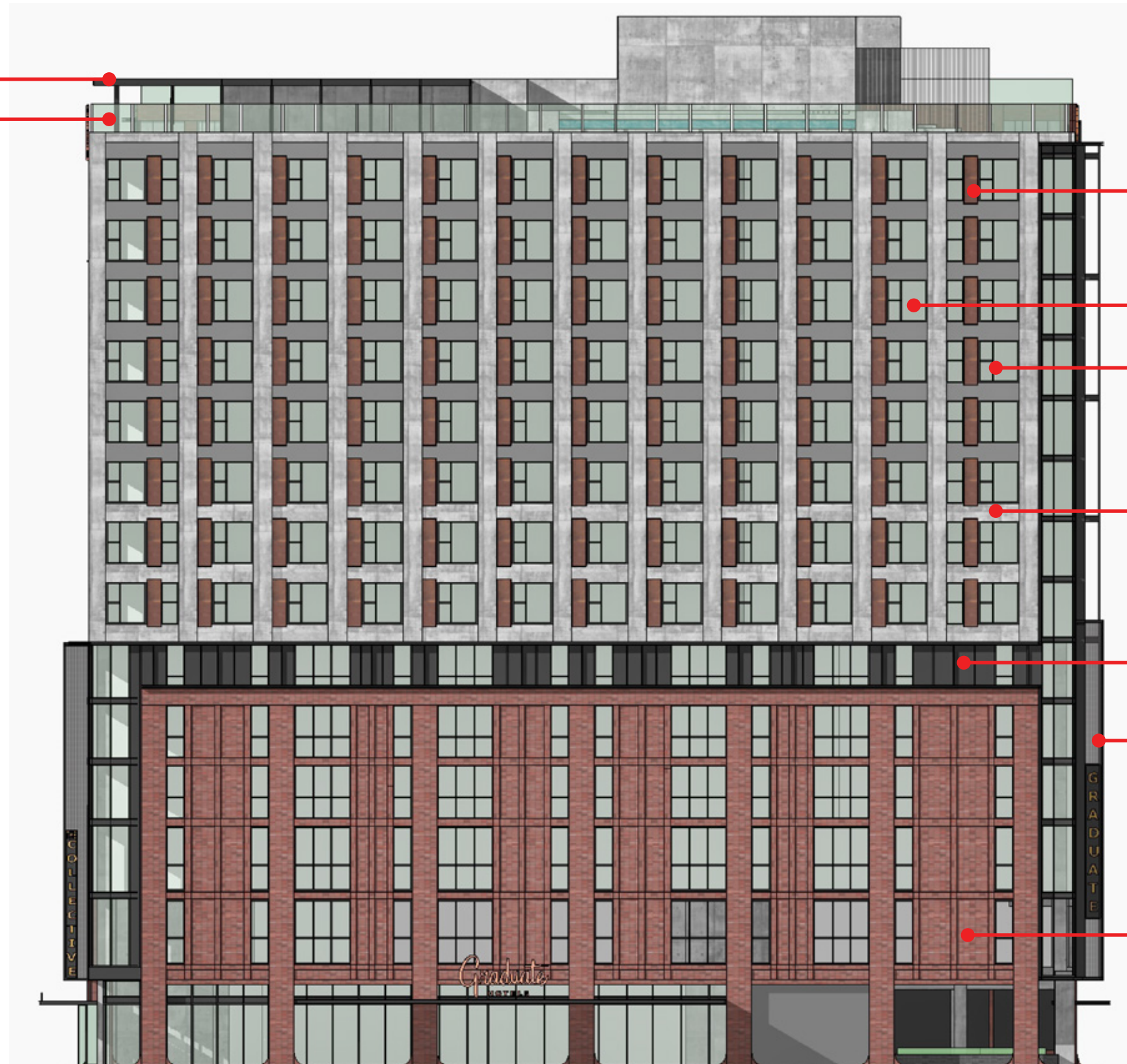


GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

CONCEPT VIEW

TRELLIS AT HOTEL
ROOF TERRACE
GLASS RAILING



EIFS CORTEN COLOR FINISH

INSULATED LOW E GLASS

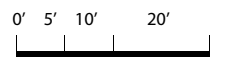
ALUMINUM WINDOW FRAME

EIFS TEXTURED GRAY COLOR FINISH

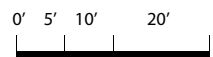
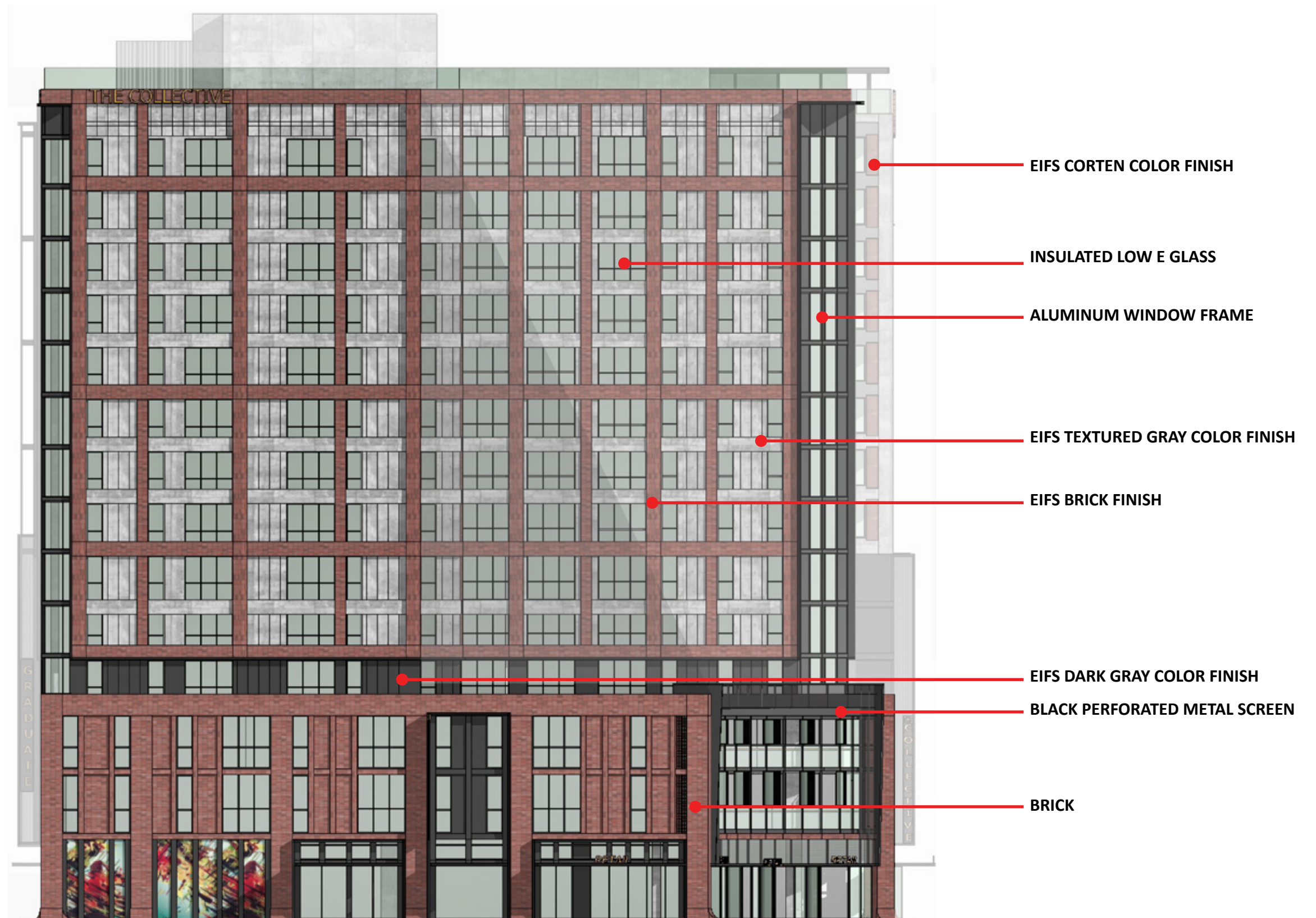
EIFS DARK GRAY COLOR FINISH

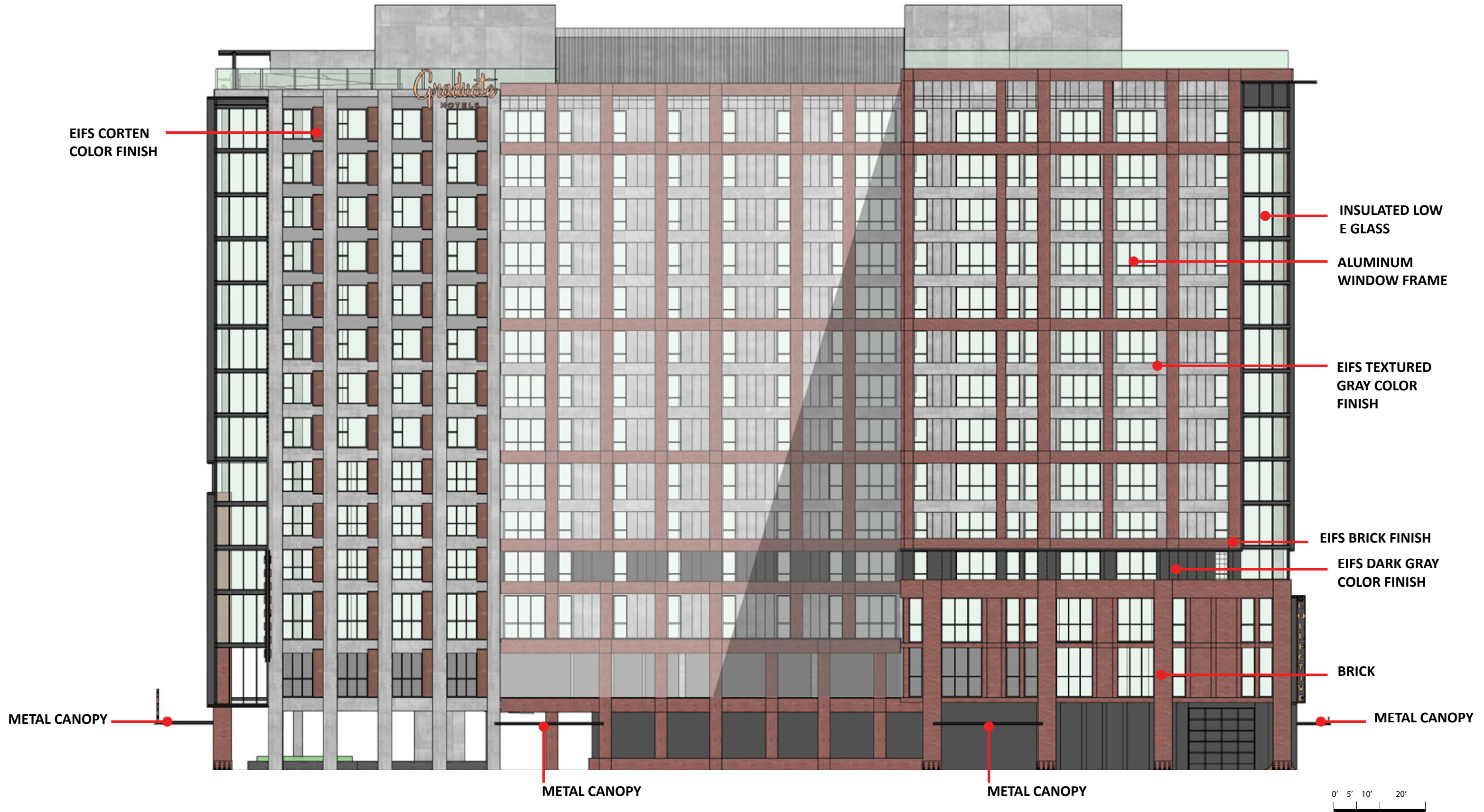
BLACK PERFORATED METAL SCREEN

BRICK











- # HARDSCAPE KEY NOTES**
1. Decorative paving at building entries
 2. Concrete sidewalk with paver banding to match existing
 3. Landscape planter at grade
 4. Raised landscape planter
 5. Site furnishing
 6. Site utility- refer to civil plans
 7. Site lighting- bollards
 8. Site lighting- integral with planters and furnishings
 9. Raised decorative planters, 24" wide
 10. Raised decorative planters/retaining wall, 24" wide
 11. Custom benches
 12. Permeable pavers
 13. Tree grates
 14. Grating extends into paving pattern
 15. Concrete steps
 16. Custom handrails
 17. Retail/restaurant patios at MG III
 18. Decorative concrete ramp at MG III
 19. Preserve in place existing paving 8' offset from existing buildings- new paving down middle of walkway between MG II & MG IV.
 20. Circulation and ingress/egress at retail and restaurants
 21. Musical & Interactive Fountain
 22. Site furnishings/planter/seating with integral light and sound
 23. Not used
 24. Movable and fixed custom site furnishings
 25. Raised concrete stage (pavers)
 26. Not used
 27. Mechanical yard screen- structure to be determined
 28. Overhead shade structure at Stage and Screen
 29. Not used
 30. Residential Lobby Entry Plaza- decorative paving
 31. Desert Green Screen- native plants and succulents on structural support to screen mechanical and service entries & Public Art (west building facade)
 32. Gates at mechanical yard
 33. Security screen inside mechanical enclosure between equipment and commercial building entries
 34. Seating at residential lobby plaza
 35. Existing plaza entry walks to South and West- minor adjustments to existing paving and landscape to transition into proposed plaza
 36. Existing mechanical/service yard
 37. Retain existing patios
 38. Not used
 39. Rideshare pick up/drop off
 40. Utilities above ground
 41. Rail/gates separating hotel, retail-restaurant patios
- # PUBLIC ART KEY NOTES**
42. Public Art element to be determined
 43. Not used
- # AV KEY NOTES**
44. Digital signage and wayfinding Kiosk- refer to AV plans
 45. LED screen built into wall/structure
 46. Speaker/ Surround System

**Terrace Gardens
Shrubs and Groundcover**

*Autumn Sage
Salvia greggii*

*Bougainvillea 'Barbara Karst'
Bougainvillea glabra*

*Bulbine 'Tiny Tangerine'
Bulbine frutescens (dwarf) 5 Gal.*

*Dallas Red lantana
Lantana 'Dallas Red'*

*Damianita
Chrysactinia mexicana 5 Gal.*

*Compact Myrtle
Myrtus communis 'Compacta'*

*Firecracker Bush
Hamelia patens 'Sierra Red'*

*Mexican Honeysuckle
Justicia spicifera*

*Muhlenbergia 'Autumn Glow'
Muhlenbergia Lindheimeri 'Autumn Glow'*

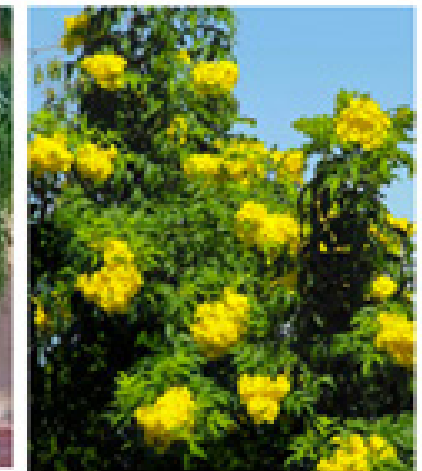
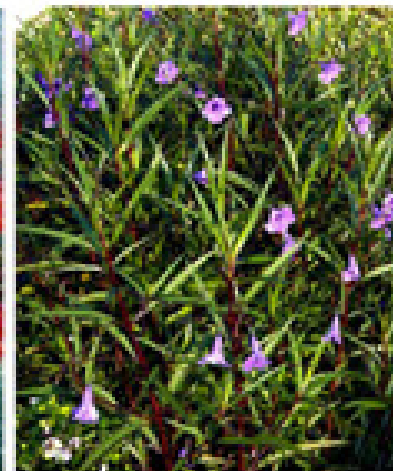
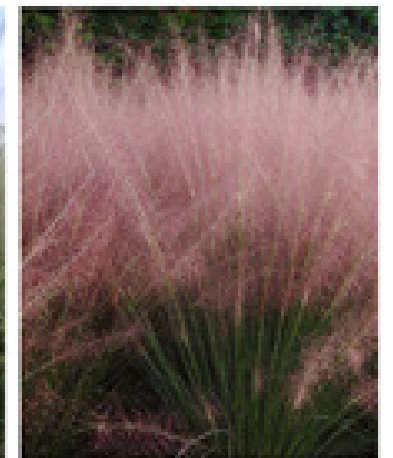
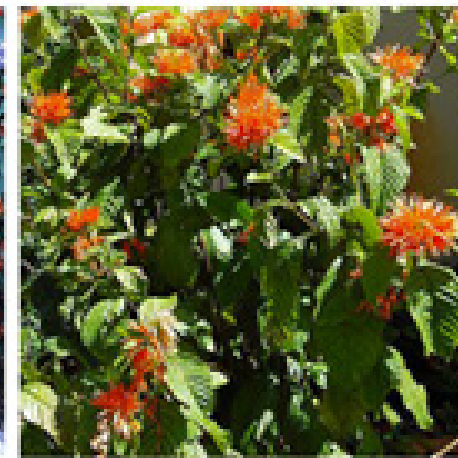
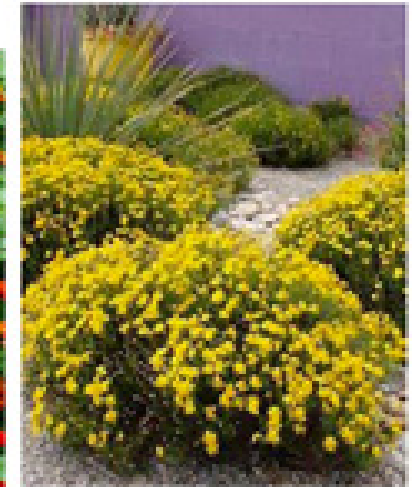
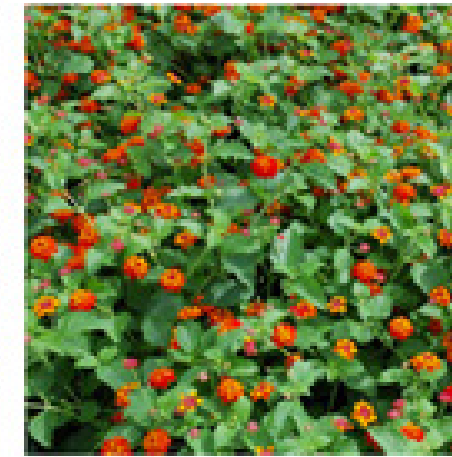
*Muhlenbergia 'Regal Mist'
Muhlenbergia cappilaris 'Regal Mist'*

*Penstemon
Penstemon eatoni / baccharifolius*

*Mexican Petunia
Ruellia brittoniana 'Purple Showers'*

*Trailing Rosemary
Rosmarinus officinalis prostratus*

*Yellow Bells
Tecoma stans 'var. Angustata'*



Plant Material Options

Trees are required to be Single Trunk Specimens

Shrubs within the sight visibility triangles must be under 30" tall.

TREE

Desert Museum Palo Verde

Parkinsonia hybrid Single Trunk - 48" Box



SHRUBS AND GROUNDCOVER

Candillila

Euphorbia antisyphiliica 5 Gal.

Planters inside Sight Visibility Triangles

Damianita

Chrysactinia mexicana 5 Gal.

Red yucca

Hesperaloe parviflora 5 Gal.

Planters outside Sight Visibility Triangles



Terrace Gardens Trees

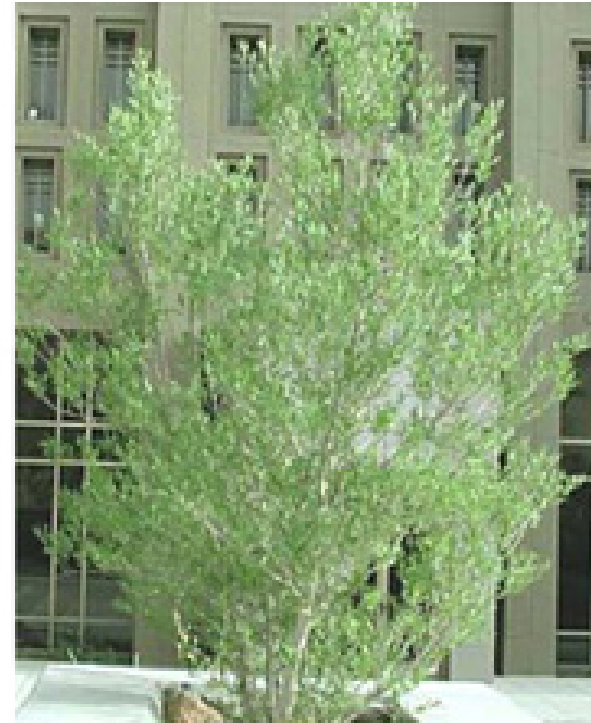
Desert Museum Palo Verde
Parkinsonia 'Desert Museum'

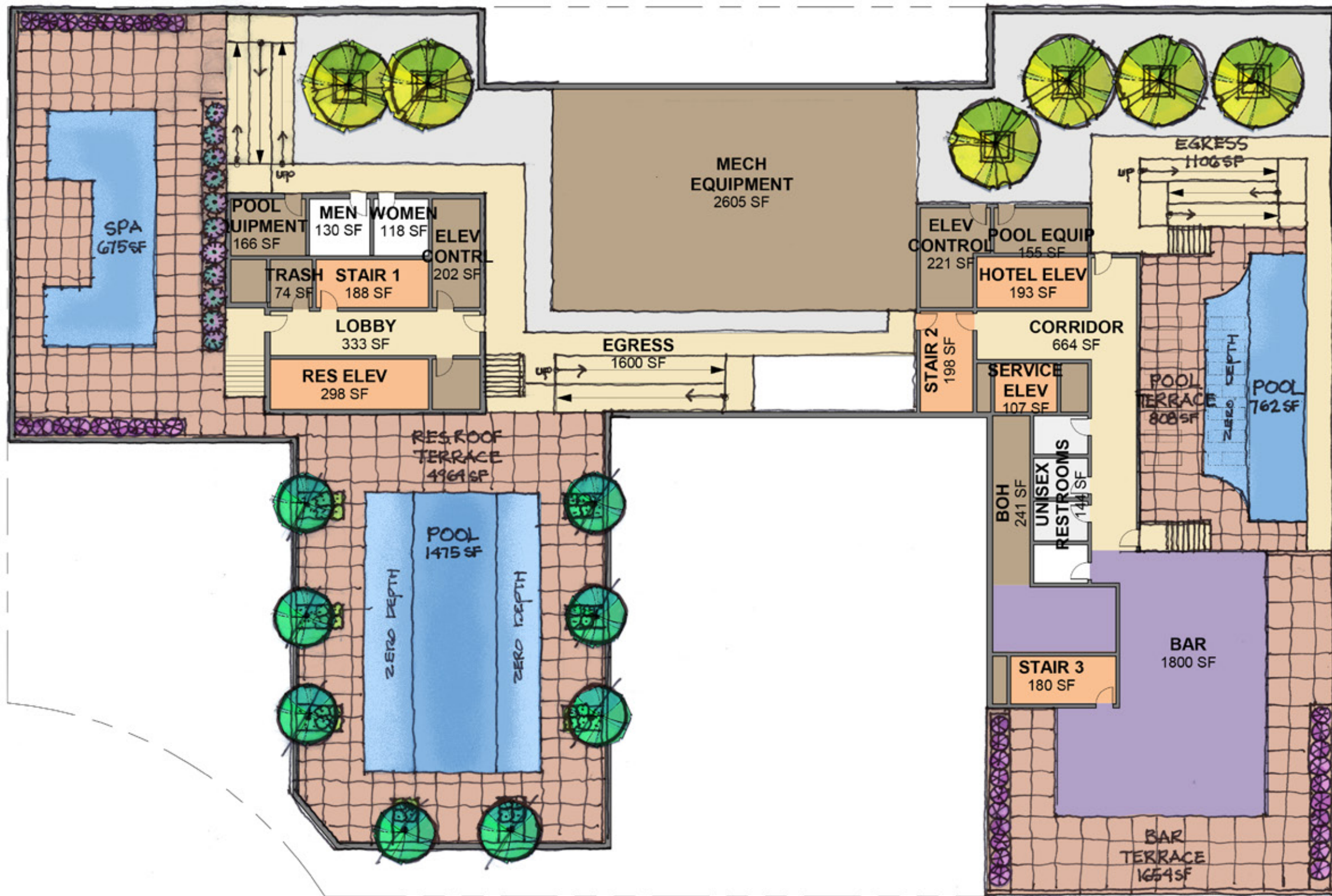
Little Leaf Ash
Fraxinus greggii

Mexican Bird of Paradise Tree
Caesalpinia mexicana

Palo Blanco
Acacia williardiiana

Texas Mountain Laurel
Sophora secundiflora





SHRUBS

- BULBINE
- DAMIANITA
- ⊗ MEXICAN HONEYSUCKLE
- ⊙ REGAL MIST

GROUNDCOVER

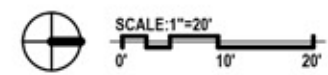
- ⊗ PROSTRATE ROSEMARY 'HUNTINGTON CARPET'

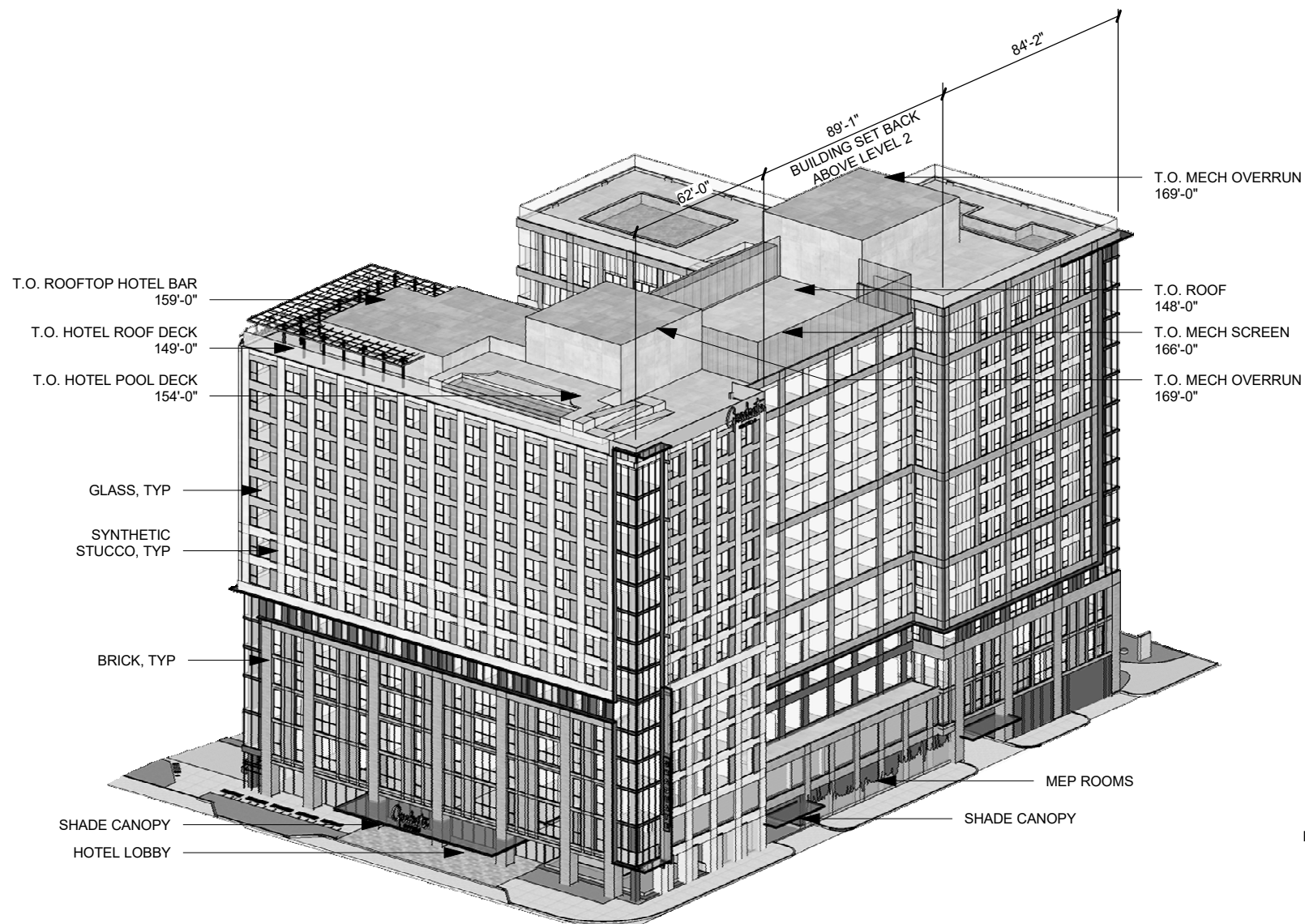
CACTI/ACCENT

- CANDILLILA

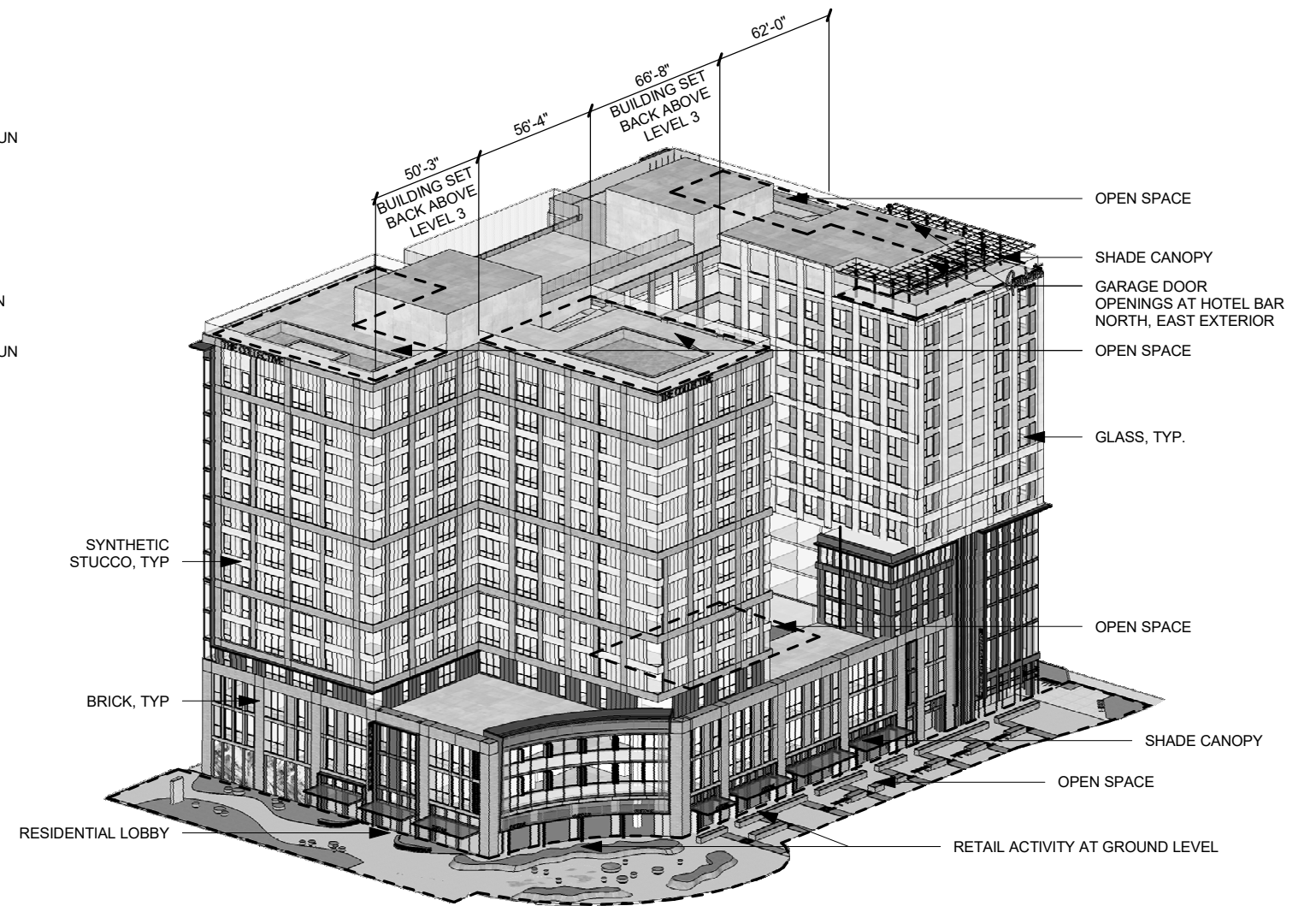
TREES

- LITTLE LEAF ASH
- DESERT MUSEUM PALO VERDA
- TEXAS MOUNTAIN LAUREL





VIEW LOOKING SOUTHEAST
(FROM INTERSECTION OF E 2ND ST & N TYNDAL AVE)



VIEW LOOKING NORTHWEST
(FROM PLAZA)

NOTE: ELEVATION HEIGHTS INDICATED FROM 0'-0" GRADE PLANE

SCALE: NOT TO SCALE
0' 0' 0'

Main Gate District Design Standard Compliance Collective at Main Gate

ENVIRONMENTALLY CONSCIOUS DESIGN PRACTICES COMPLIANCE (SECTION C-16)

(5 Minimum required from list of 16 possible design practices)

1. PROVIDE SHADE FOR AT LEAST 70% OF PARKING AREAS. (Ref. C-16-1)
 - Complies; See first floor plan
2. PROVIDE SHADE FOR AT LEAST 70% OF PEDESTRIAN AREAS. (Ref. C-16-2)
 - Complies; See Site Plan & First Floor Plan
3. PROVIDE DIRECT ACCESS CONNECTIONS FROM TRANSIT STOPS (Ref. C-16-3)
 - Comply, see site plan.
4. PROVIDE ENERGY STAR OR COOL ROOF RATED AT LEAST 0.65 REFLECTIVITY AND AT LEAST 85% EMISSIVITY. (Ref. C-16-4)
 - Will comply.
5. PROVIDE 100% DESERT-ADAPTED PLANT SPECIES. SPECIES CHOSEN MUST ADHERE TO THE AZ DEPT OF WATER RESOURCES TUCSON AMA DROUGHT TOLERANT/LOW WATER USE PLANT LIST. (Ref. C-16-7)
 - Will comply.
6. PROVIDE LOW-E GLASS BETTER THAN THE MINIMUM REQUIREMENT PER THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC). (Ref. C-16-12)
 - Will comply.
7. IMPLEMENT CAR SHARE USE OR INCORPORATE A TRANSIT STOP ON-SITE (Ref. C-16-14)
 - Will comply.

DESIGN STANDARD COMPLIANCE (SECTION C-19)

1. LIGHTING STRATEGIES WILL REDUCE OR PREVENT GLARE & LIGHT TRESPASS, CONSERVE ENERGY AND PROMOTE SAFETY AND SECURITY. (Ref. C-19.a)
 - Will comply.
2. BUILDING MATERIALS SHOULD BE CHOSEN FOR THEIR TACTILE EFFECTS AND USED IN A CONTRASTING MANNER. (Ref. C-19.d)
 - Complies; See renderings.
3. ANY BUILDING OVER 85-FT LONG MUST BE ARTICULATED IN ORDER TO APPEAR AS A BUILDING NO LONGER THAN 85-FT. ALONG THE FRONT PROPERTY LINE. (Ref. C-19.u)
 - Complies; See renderings and plans
4. DOORS AT PRIMARY PEDESTRIAN ENTRANCES MUST BE SHADED OR PROTECTED FROM THE WEATHER. (Ref. C-19.y)
 - Complies; See renderings and plans.
5. GLAZING SHALL BE LOW-E AND SHALL ALLOW A VISUAL CONNECTION THROUGH EITHER SIDE OF THE WINDOW. (Ref. C-19.AF)
6. BUILDING FACADES (2 MIN. REQUIRED) (Ref. C-19.ai)
 - SHADE STRUCTURE (Ref. C-19.ai.6)
 - CHANGES TO BUILDING PLANE SUCH AS INDENTATIONS, TEXTURES, OR ACCENT MATERIALS. (Ref. C-19.ai.7)
 - WINDOW DISPLAYS OR VISIBLE ACTIVITY ON THE GROUND FLOOR. (Ref. C-19.ai.9)

PARKING STRUCTURE DESIGN STANDARD COMPLIANCE (SECTION C-5.c)

1. PARKING STRUCTURES SHALL BE DESIGNED SO THAT PARKED VEHICLES ARE SCREENED FROM VIEW AT STREET LEVEL, THROUGH INCORPORATION OF DESIGN ELEMENTS... (Ref. C-5.c.1)
 - Complies; See rendering and plans
2. LIGHTING WITHIN THE PARKING STRUCTURE SHALL PROVIDE FOR SAFETY AND SECURITY OF BUILDING USERS AND NO LIGHT BULBS SHALL BE DIRECTLY VISIBLE FROM OUTSIDE THE PARKING STRUCTURE. (Ref. C-5.c.4)
 - Will comply.
3. PARKING STRUCTURE SIGNAGE TO BE PROVIDED TO DIRECT THE VEHICULAR AND PEDESTRIAN TRAFFIC IN PROPER AND SAFE CIRCULATION WITHIN AND TO AND FROM THE PARKING STRUCTURE. (Ref. C-5.c.5)
 - Will comply.

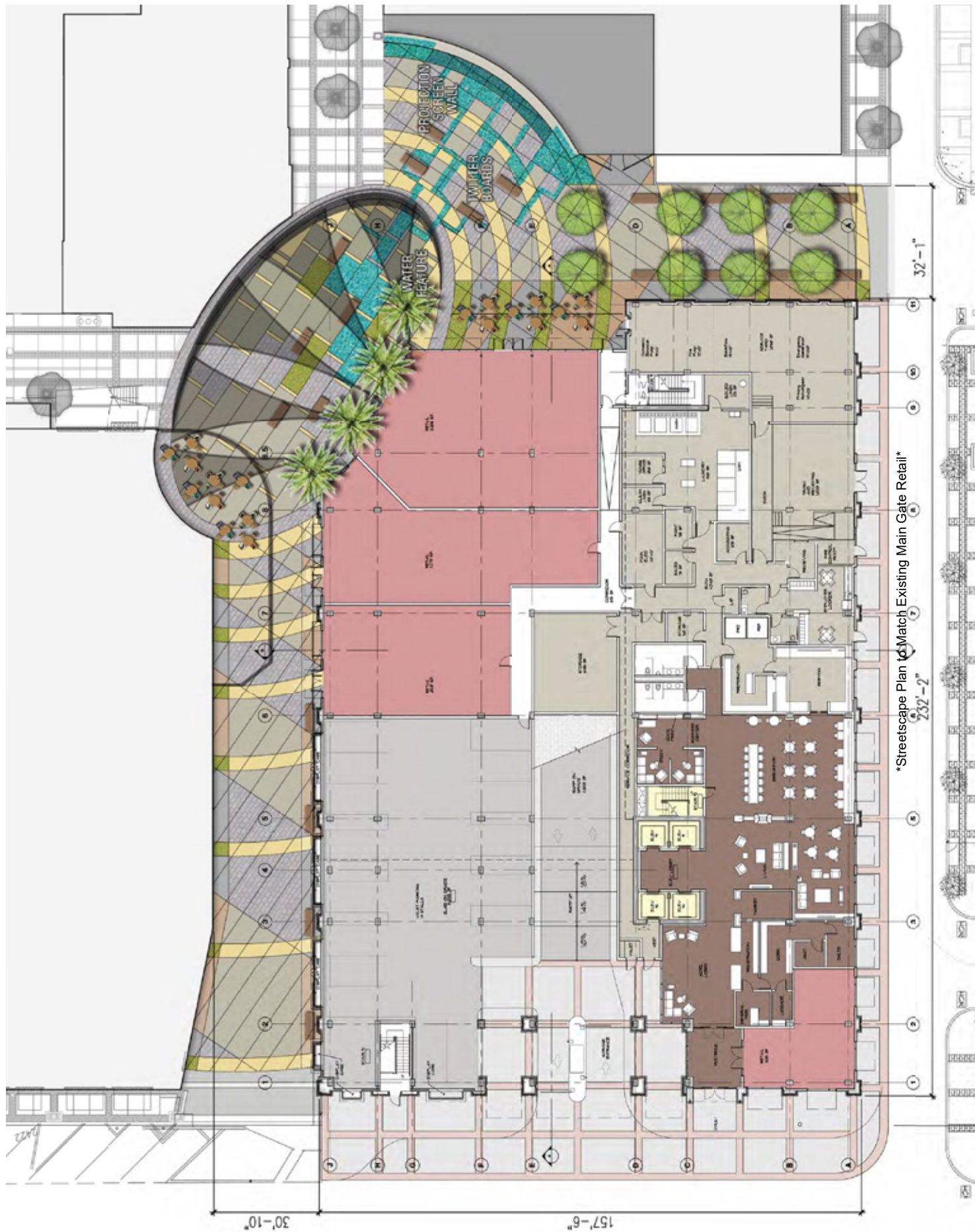
UTILITY FACILITIES DESIGN STANDARD COMPLIANCE (SECTION C-8)

1. GROUND FLOOR VENTS SHALL BE ORIENTED AWAY FROM PEDESTRIAN PLAZAS AND AREAS AND BUILDING STREET FRONTAGE. (Ref. C-8.c)
 - Will comply.
2. NO BUILDING EQUIPMENT, ANTENNA OR SATELLITE DISHES SHALL BE LOCATED ALONG THE BUILDING FAÇADE FACING THE STREET. (Ref. C-8.d)
 - Will comply.

RIGHT-OF-WAY MAINTENANCE DESIGN STANDARD COMPLIANCE (SECTION C-11)

1. PROPERTY OWNER IS RESPONSIBLE AT ALL TIMES FOR MAINTENANCE OF LANDSCAPE, HARDSCAPE, BUILDING ARCHITECTURAL ELEMENTS AND SITE FURNISHING INSTALLED IN THE PUBLIC RIGHT-OF-WAY. (Ref. C-11.a)
 - Will comply.
2. PROPERTY OWNER SHALL REPLACE OR REPAIR VANDALIZED ELEMENTS WITHIN 48 HOURS. (Ref. C-11.b)
 - Will comply.
3. AND SHALL REPLACE DEAD OR MISSING VEGETATION WITHIN 14 DAYS TO ENSURE FULL COMPLIANCE WITH APPROVED LANDSCAPE PLANS. (Ref. C-11.c)
 - Will comply.

	zoning code reqs	notes	proposed	reference
Zoning Code	2012	Tucson Unified Development Code		
Site Information				
National Register	No		no change	
zoning classification				
Overlay District	C-1	Commercial Zone		
Subarea	n/a	Main Gate District Development overlay	no change	amended August 7, 2012
lot area gsf	35,920	sf	no change	
lot area acres	0.82	ac		
use group	Residential / Commercial		Residential / Commercial	C-2.a
use category	Traveler's Accommodation	Permitted per District Overlay		C-2.a (20)
use category	Group Residential	Permitted per District Overlay		C-2.a (26)
use category	Group Dwelling	Permitted per District Overlay		C-2.a (27)
use category	Retail	Permitted per District Overlay		C-2.a (30)
bulk and density				
Max FAR	n/a	no maximum FAR in District		per C-3 Table 1 - Development Standards
Min lot area	n/a	no minimum lot area standards		
Min lot width	n/a	no minimum lot width standards		
Max lot coverage	n/a	no maximum lot coverage in District		
Max density	n/a	no maximum lot density in District		
height limit				
height limit	159 ft	14 stories max.	159'-0" (T.O. High Roof)	(max.) Figure 8
development standards				
Historic Preservation	Yes	Design to complement adjacent Contributing properties	to comply	C-19 Design Standards
Lighting	Yes	See MGD document for full scope of Lighting requirements	to comply	C-19.a - c
Building Materials and Colors	Yes	See MGD document for full scope of Building Material and Color requirements	to comply	C-19.d - k
Architectural Elements and Features	Yes	See MGD document for full scope of Architectural Elements and Feature requirements	to comply	C-19.l - r
Building Articulation	Yes	See MGD document for full scope of Building Articulation requirements	to comply	C-19.s - x
Doors	Yes	See MGD document for full scope of Door requirements	to comply	C-19.y - .ae
Windows and Glazing	Yes	See MGD document for full scope of Window and Glazing requirements	to comply	C-19.af - .ah
Building Facades	Yes	See MGD document for full scope of Building Facade requirements	to comply	C-19.ai
Streetscape	Yes	See MGD document for full scope of Streetscape requirements	to comply	C-19.aj
Height & Mass Transition	Yes	reduce effective visual bulk over 2 stories (26 ft.)	to comply	C-17.a, b; Figure 6
	Tyndall	25% of street front setback atleast 12-ft.	to comply	
	Second	25% of street front setback atleast 12-ft.	not provided	Complies with massing of 2015 project approval
Environmentally Conscious Design Practices	Yes	Include (5) or more of 16 concepts - see MGD document for full list	to comply	C-16
minimum setbacks				
front (street)	n/a	none	to comply	per C-3 Table 1 - Development Standards
other	n/a	none	to comply	per C-3 Table 1 - Development Standards
side	n/a	none	to comply	per C-3 Table 1 - Development Standards
maximum setbacks				
front (street)	Yes	none	to comply	per C-3 Table 1 - Development Standards
other	n/a	none	to comply	per C-3 Table 1 - Development Standards
side	n/a	none	to comply	per C-3 Table 1 - Development Standards
minimum perimeter yard				
	n/a	no minimum perimeter yard width		per C-3 Table 1 - Development Standards
open space				
residential	yes	25 sf per DU - 6,075 sf required	9,167 sf provided	per C-3 Table 1 - Development Standards 243 x 25 = 6,075 sf
retail / hotel	yes	15% of the site area - 4,390 sf required	4,638 sf provided	35,920 sf x 15% = 5,388 sf
Minimum sidewalk width	yes	On Tyndall: 5 ft clear	to comply	C-4.b.4
		On Second: 5 ft clear		C-4.b.4
vehicle parking				
min parking for Residential	yes	0.50 space per DU	0.51 space/unit	C-5.a 243 Dwelling Units; 122 spaces required
max parking for Residential	yes	1.0 space per DU	(123 spaces)	
min parking for Hotel	yes	1 spaces per 1,000 sf of GFA	0.31 space/key	95,747 sf GFA; 96 spaces required
max parking for Hotel	yes	5 spaces per 1,000 sf of GFA	(51 spaces)	Per PIA
min parking for retail	yes	min. of the greater of 2 spaces or 1 space per 2,000 sf GFA	3 spaces	4,638 sf retail proposed; 4,638 / 2,000 = 2.32 spaces
bicycle parking				
short-term parking for Residential	yes	min. of the greater of 0.3 spaces per DU or 3 spaces	to comply	C-5.b - Additional bike storage in units 243 DU x 0.3 = 73 bike spaces required
long-term parking for Residential	yes	min. of the greater of 0.3 spaces per DU or 3 spaces	to comply	244 DU x 0.3 = 73 bike spaces required
short-term parking for Retail	yes	min. of the greater of 2 spaces or 1 space per 5,000 sf GFA	to comply	4,638 sf retail provided; 2 spaces required
long-term parking for Retail	yes	min. of the greater of 2 spaces or 1 space per 12,000 sf GFA	to comply	4,638 sf retail provided; 2 spaces required
loading				
Off-Street loading zone	yes	atleast 12 ft x 24 ft	to comply	C-6.1 access from Tyndall



2015 APPROVED SITE PLAN



2018 REVISED SITE PLAN

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION



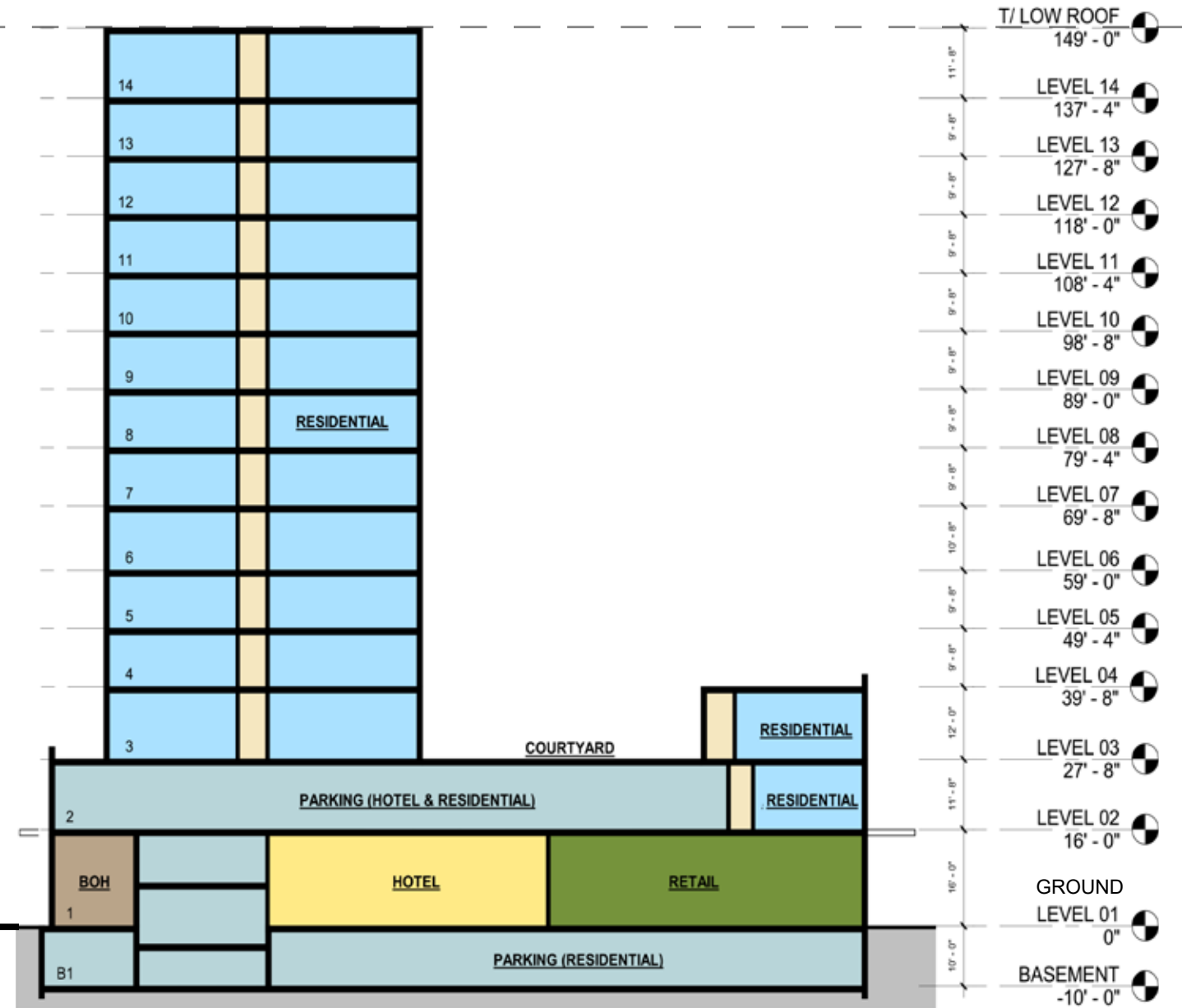
2015 APPROVED BIRD'S EYE



2018 REVISED BIRD'S EYE

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION



2015 APPROVED SECTION

2018 UPDATED SECTION

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

BUILDING SECTION OLD AND NEW



2015 APPROVED PLAN NW CORNER VIEW



2018 UPDATED PLAN NW CORNER VIEW

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION



2015 APPROVED PLAN SE CORNER VIEW (PLAZA)



2018 UPDATED PLAN SE CORNER VIEW (PLAZA)

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION



2015 APPROVED PLAN NE VIEW



2018 UPDATED PLAN NE VIEW

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE

DRC PRESENTATION

2ND STREET LOOKING WEST

3F



2015 APPROVED PLAN SW CORNER VIEW AT TYNDALL



2018 UPDATED PLAN SW CORNER VIEW AT TYNDALL

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION



2015 APPROVED PLAN EAST WALKWAY LOOKING SOUTH



2018 UPDATED PLAN EAST WALKWAY LOOKING SOUTH

GRADUATE HOTEL AND THE COLLECTIVE APARTMENTS AT MAIN GATE DRC PRESENTATION