

**Environmental Assessment  
Determinations and Compliance Findings  
for HUD-assisted Projects  
24 CFR Part 58**

**Project Information**

**Project Name:** CPF-Mission-Manor-Park-Aquatic-Complex

**HEROS Number:** 900000010373813

**Responsible Entity (RE):** TUCSON, PO Box 27210 Tucson AZ, 85726

**RE Preparer:** Rolanda Mazeika

**State / Local Identifier:**

**Certifying Officer:** Ann Chanecka

**Grant Recipient (if different than Responsible Entity):**

**Point of Contact:**

**Consultant (if applicable):**

**Point of Contact:**

**Project Location:** 5915 S Santa Clara Ave, Tucson, AZ 85706

**Additional Location Information:**

Mission Manor Park is located between South Santa Clara on the west and South 12th Avenue on the east, and south of West Calle Ramona and north of Mission Manor Elementary School, in the Sunnyside Neighborhood Association, in Tucson, Pima County, Arizona. The site addresses are: 5915 S Santa Clara Ave, 6100 S 12th Ave, and

701 W Calle Ramona, Tucson, Pima County, Arizona, 85706, Pima County Assessor Number 138-01-001D. The project area does not include the fenced Tucson Water booster site surrounded by the park area (APN 138-01-001E).

**Direct Comments to:** E-mail: [rolanda.mazeika@tucsonaz.gov](mailto:rolanda.mazeika@tucsonaz.gov), or  
Mail: City of Tucson Housing & Community Development  
Department, PO Box 27210, Tucson, Arizona 85726

**Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:**

The Mission Manor Park Aquatic Complex project provides for improvements in the center/west portion of the existing, 37.73 acre, Mission Manor Park. Project activities include: demolition of the existing aquatic complex, closed since 2008; construction of a new public aquatic complex; and constructing green storm water improvements in the existing east and west parking lots. Existing improvements to be demolished include: a pool; a wading pool; equipment yard/pumphouse; showers and bathrooms; and offices and storage. The new aquatic complex will offer the following amenities: a recreation pool with zero depth entry on the shallow end with the ability to allow swimming and low aerobic programs and small learn-to-swim programs; a therapy pool to target warm aquatic programming for seniors; a splashpad for water play; and a plaza area with proximity to the recreation pool and splashpad. The new aquatic complex will also contain office spaces, storage, showers, and bathrooms. New sidewalks surrounding the complex will provide connectivity to the east and west park facilities and parking areas. The aquatic center is anticipated to operate on an extended schedule, April through November, depending on staffing and maintenance and repair needs. Total Estimated Project Cost: \$6,265,800. Estimated Federal Funding: \$2,947,000 in Community Project Funding (CPF) funds, grant number B-23-CP-AZ-0048. \$950,000 in Coronavirus State and Local Fiscal Recovery Funds (SLFRF), authorized by the American Rescue Plan Act, have also been allocated to this project through the City of Tucson. Mission Manor Park is located between South Santa Clara on the west and South 12th Avenue on the east, and south of West Calle Ramona and north of Mission Manor Elementary School, in the Sunnyside Neighborhood Association, in Tucson, Pima County, Arizona. The site addresses are: 5915 S Santa Clara Ave, 6100 S 12th Ave, and 701 W Calle Ramona, Tucson, Pima County, Arizona, 85706, Pima County Assessor Number 138-01-001D. The project area does not include the fenced Tucson Water booster site surrounded by the park area (APN 138-01-001E).

**Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:**

The Mission Manor Park aquatic complex has been closed since 2008. The existing infrastructure does not meet Pima County Health Department regulations. The pool and bath house were built in the 1940s, are in a state of disrepair, and are at the end of their useful life. The site is currently underutilized and is an attractant for graffiti, trespassing, illegal urban camping, and other illegal/nuisance activities. Residents in the area have limited access to private and community pools and are currently served by one public, year-round pool, one public pool open during the summer, and one

public splashpad open during limited seasons. These three water-related recreational sites are located more than 1 mile from the proposed Mission Manor Park Aquatic Complex, with the nearest site located approximately 1.2 miles from the project site. The City of Tucson is committed to serve all residents and provide open space, green space and recreational opportunities. City voters passed Proposition 407 (Parks + Connections Bond) in 2018 to fund park improvements. After the Great Recession of 2008/2009, the City struggled to invest in large capital needs, like parks and facility improvements, due to declining sales tax revenue and rising costs. The City of Tucson used the Tucson Parks and Recreation System Master Plan, as well as individual park master plans, to identify Parks projects to fund with proceeds from Proposition 407. The Proposition 407 Mission Manor Park improvement project identified the need for investment in the park. [www.tucsonaz.gov/files/sharedassets/public/v/1/living-and-working/parks-and-recreation/documents/tucson\\_parks\\_and\\_recreation\\_system\\_master\\_plan\\_10\\_5\\_16.pdf](http://www.tucsonaz.gov/files/sharedassets/public/v/1/living-and-working/parks-and-recreation/documents/tucson_parks_and_recreation_system_master_plan_10_5_16.pdf), [www.tucsonaz.gov/Departments/Parks-and-Recreation/Capital-Planning-and-Development#:~:text=The%20City%20of%20Tucson%20Parks,%2C%20maintenance%20practices%2C%20and%20programs.](http://www.tucsonaz.gov/Departments/Parks-and-Recreation/Capital-Planning-and-Development#:~:text=The%20City%20of%20Tucson%20Parks,%2C%20maintenance%20practices%2C%20and%20programs.), [tucsondelivers.tucsonaz.gov/pages/parks-connections](http://tucsondelivers.tucsonaz.gov/pages/parks-connections), [www.tucsonaz.gov/Departments/Parks-and-Recreation/ParksBond](http://www.tucsonaz.gov/Departments/Parks-and-Recreation/ParksBond)

**Existing Conditions and Trends [24 CFR 58.40(a)]:**

The site is located within a public park (Mission Manor Park) which contains a closed aquatic complex, baseball fields, play structures, picnic tables, ramadas, a Boys and Girls Club, and parking lots to the north, east, and west. The aquatic complex has been closed since 2008. The existing infrastructure does not meet Pima County Health Department regulations. The site is currently underutilized and is an attractant for graffiti, trespassing, illegal urban camping, and other illegal/nuisance activities. There is a paved walking path along the park perimeter. A fenced Tucson Water booster station is located on a separate parcel (APN 138-01-001E) that is surrounded by the park area. The wellsite is not included in the project area. Topographic maps indicate a west/northwest slope. No indications of flooding or erosion were observed. The park grounds were in good condition, with areas of stressed turf attributable to lack of water and/or dry weather conditions. The pool complex has been closed and unused, however evidence of former operations remain inside the complex (chemicals, furnishings, empty barrels, refuse). The east and west parking lots were in good condition. The site is located between Santa Clara and 12th Avenue (a major local road), south of Calle Ramona, and north and adjacent to Mission Manor Elementary School, 600 West Santa Rosa (6009 South Santa Clara Avenue). The surrounding neighborhood is mostly residential with commercial properties along South 12th Avenue. South 12th Avenue is a paved four lane road. The surrounding area is mostly built up, with few vacant lots to the east and northeast. The site is separated from Interstate 19 on the west by a sound barrier wall by residences. The area is likely to

remain mostly residential with supporting commercial development north and south of the project location.

**Maps, photographs, and other documentation of project location and description:**

- [2024-1-3 MMP Aerial Map.pdf](#)
- [2024-1-3 MMP Google Maps.pdf](#)
- [Mission Manor Elevation Concept.pdf](#)
- [Mission Manor Development Plan.pdf](#)
- [2023-10-25 Site Visit Photos.pdf](#)

**Determination:**

✓	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
	Finding of Significant Impact

**Approval Documents:**

- [2024-3-7 Signature Page.pdf](#)

**7015.15 certified by Certifying Officer**  
on:

**7015.16 certified by Authorizing Officer**  
on:

**Funding Information**

Grant / Project Identification Number	HUD Program	Program Name	Funding Amount
B-23-CP-AZ-0048	Community Planning and Development (CPD)	Community Project Funding (CPF) Grants	\$2,947,000.00

**Estimated Total HUD Funded, Assisted or Insured Amount:** \$2,947,000.00

**This project anticipates the use of funds or assistance from another federal agency in addition to HUD in the form of:**



**Estimated Total Project Cost [24 CFR 58.2 (a) (5)]:** \$6,265,800.00

**Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities**

<b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 &amp; § 58.6</b>		
<b>Airport Hazards</b> Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.
<b>Coastal Barrier Resources Act</b> Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is located in a state that does not contain CBRS units. There are no CBRS units in Arizona. Therefore, this project is in compliance with the Coastal Barrier Resources Act.
<b>Flood Insurance</b> Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. FEMA Zone X, 04019C 2288L, 6/16/2011. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 &amp; § 58.5</b>		
<b>Air Quality</b> Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project's county or air quality management district is in non-attainment status for the following: Particulate Matter, <10 microns (Pima County, Rillito planning area). The project's county or air quality management district is in maintenance status for the following: Carbon monoxide (Tucson), Particulate Matter, <10 microns (Pima County, Ajo planning area). This project does not exceed de

		<p>minimis emissions levels or the screening level established by the state or air quality management district for the pollutant(s) identified above. Pima County Department of Environmental Quality (PDEQ) has reviewed the project and does not believe the project will adversely impact air quality, e-mail dated 2/15/2024. The project is in compliance with the Clean Air Act.</p>
<p><b>Coastal Zone Management Act</b> Coastal Zone Management Act, sections 307(c) &amp; (d)</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project is located in a state that does not participate in the Coastal Zone Management Program. Arizona has no coastal zones. Therefore, this project is in compliance with the Coastal Zone Management Act.</p>
<p><b>Contamination and Toxic Substances</b> 24 CFR 50.3(i) &amp; 58.5(i)(2)]</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>Site contamination was evaluated as follows: Field visit and site evaluation (NEPAssist, ADEQ e-Maps, historic aerial review) conducted by HCD 10/25/2023. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. In compliance with HUD Notice CPD-23-103, Departmental Policy for Addressing Radon in the Environmental Review Process, post-construction radon testing will be conducted followed by mitigation, if needed.</p>
<p><b>Endangered Species Act</b> Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. E-mail from US Fish &amp; Wildlife Service, 1/18/2024. The USFWS recommends and encourages use of native plants during any revegetation or replanting activities as part of the existing park improvement plans. The project's landscape plan includes desert-adapted, drought tolerant/low water use trees and plants now common to the area, as listed in the Arizona Department of Water Resources:</p>

		Tucson Active Management Area Low Water Use/Drought Tolerant Plant List. Additionally, approximately 13,700 square feet of existing asphalt in the parking lot will be removed and replaced with stormwater retention basins with low water use plants. This project is in compliance with the Endangered Species Act.
<b>Explosive and Flammable Hazards</b> Above-Ground Tanks)[24 CFR Part 51 Subpart C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Based on the project description the project includes no activities that would require further evaluation under this section. The project consists of public park improvements with no increase in residential densities or conversion. The project is in compliance with explosive and flammable hazard requirements.
<b>Farmlands Protection</b> Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022. The project is in compliance with the Farmland Protection Policy Act.
<b>Floodplain Management</b> Executive Order 11988, particularly section 2(a); 24 CFR Part 55	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not occur in a floodplain. FEMA Zone X, 04019C 2288L, 6/16/2011. The project is in compliance with Executive Order 11988.
<b>Historic Preservation</b> National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A cultural resources survey is in progress in accordance with the Programmatic Agreement dated 1/25/2002 (property outside an established historic district, project includes demolition of existing structures >45yo, and new construction activities) The project is in compliance with Section 106.
<b>Noise Abatement and Control</b> Noise Control Act of 1972, as	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Based on the project description, this project includes no activities that would

<p>amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>		<p>require further evaluation under HUD's noise regulation. The project consists of public park improvements. The project is in compliance with HUD's Noise regulation.</p>
<p><b>Sole Source Aquifers</b> Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from further review (Section II.B.1 &amp; 2, "Construction of residential, commercial or industrial projects, or public facilities, or land developments, which will be served by an existing and publicly owned and operated sewerage system and treatment plant which is not subject to a locally or EPA imposed moratorium, except for any development covered in A above." and "Acquisition, disposition, rehabilitation, reconstruction, or modernization of existing projects, buildings, and public facilities."). The project is in compliance with Sole Source Aquifer requirements.</p>
<p><b>Wetlands Protection</b> Executive Order 11990, particularly sections 2 and 5</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990.</p>
<p><b>Wild and Scenic Rivers Act</b> Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project is not within proximity of a NWSRS river. There are no NWSRS rivers in Tucson. The project is in compliance with the Wild and Scenic Rivers Act.</p>
<p><b>HUD HOUSING ENVIRONMENTAL STANDARDS</b></p>		
<p><b>ENVIRONMENTAL JUSTICE</b></p>		
<p><b>Environmental Justice</b> Executive Order 12898</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898.</p>

**Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]**

**Impact Codes:** An impact code from the following list has been used to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement.

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. The public park improvements conform with the surrounding neighborhoods in terms of overall scale, density, size, and massing. The new construction activities will be permitted through the City of Tucson and Pima County. The site is consistent with local and regional planning efforts and must receive planning and zoning verification from the City of Tucson. The project site is zoned R-1. The project supports the policies of Plan Tucson, the City of Tucson General & Sustainability Plan, Social Environment Focus Area, to prioritize repairing, maintaining, and upgrading existing recreational facilities; ensure equitable distribution of recreational resources to reach all populations throughout the City and make them affordable to all; ensure a range of recreational opportunities from passive to active; provide lifelong recreational opportunities for people of all ages and abilities; and foster the integration of different generations and abilities through shared	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>activities and facilities.  <a href="http://www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2">www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2</a>. The project also supports the purpose of the City of Tucson Parks and Recreation System Master Plan and its Priority Action Plan, Goal 1 to reinvest in priority facilities including recreation centers.                      Development Package TD-DEV-0923-00390 approved by the City Development Review Committee, 1/8/2024.</p>	
Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff	2	<p>The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. Elevations across the project area indicate a gradual slope from east to west. The lot will be cleared, grubbed, and graded in accordance with the approved development grading plan. Anticipated stormwater flow is directed to water harvesting basins within the aquatic complex area and green stormwater improvements to be constructed in the parking lot islands located in parking lots located east and west of the aquatic complex. Development Package TD-DEV-0923-00390, 1/8/2024.</p>	
Hazards and Nuisances including Site Safety and Site-Generated Noise	2	<p>No evidence of onsite hazards or nuisances including soil contamination; proximity to high pressure pipelines or other volatile and explosive products; high-voltage transmission lines; radio/TV transmission towers; excessive smoke, fumes, odors, subsidence, ground water, inadequate surface drainage, flood, etc. There are no visible poisonous plants or animals on the</p>	

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		<p>site. No known natural hazards exist. The site has access to sidewalks, bike lanes, and other safety features surrounding the park and within the adjacent residential neighborhood. An increase in site-generated noise is anticipated during the construction period as well as during the aquatic center's hours of operation. Field visit and site evaluation conducted by Rolanda Mazeika, City of Tucson, Environmental Project Coordinator, 10/25/2023.</p>	
<b>SOCIOECONOMIC</b>			
Employment and Income Patterns	2	<p>The City of Tucson anticipates sustaining jobs in the construction industries and parks and recreation aquatic center staff as part of this project. The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. The project will follow Section 3, and Davis-Bacon requirements if necessary, in all employment, construction, and subcontracting activities. The site is within walking distance or a short commute on public transit to retail, restaurant, and service businesses.</p>	
Demographic Character Changes / Displacement	2	<p>The project site is in an area of moderate income, in an area of urban, low density, single-family, residential development, together with schools, parks, and other public services necessary for a satisfactory urban residential environment. Smaller areas of medium- to high-density residential and compatible uses and commercial uses are located to the north and east of the project site. The area has a 92.53% minority population with approximately 74% of</p>	

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		<p>housing units being owner-occupied. The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. Displacement of residents or businesses is not projected.</p>	
Environmental Justice EA Factor	1	<p>The project site is in an area of moderate income, in an area of urban, low density, single-family, residential development, together with schools, parks, and other public services necessary for a satisfactory urban residential environment, the area has a 92.53% minority population with approximately 74% of housing units being owner-occupied. Elevated EJ Indexes are observed within one mile of the site related to the nearby traffic corridor, lead paint related to older housing stock, commercial/industrial hazardous waste generators, UST sites, air quality, and Superfund proximity (Tucson International Airport Area (TIAA)). The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants</p>	



Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>or conflict with the intended use of the property were not found. The project supports the policies of Plan Tucson, the City of Tucson General &amp; Sustainability Plan, Social Environment Focus Area, to prioritize repairing, maintaining, and upgrading existing recreational facilities; ensure equitable distribution of recreational resources to reach all populations throughout the City and make them affordable to all; ensure a range of recreational opportunities from passive to active; provide lifelong recreational opportunities for people of all ages and abilities; and foster the integration of different generations and abilities through shared activities and facilities.</p> <p><a href="http://www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2">www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2</a>. The project also supports the purpose of the City of Tucson Parks and Recreation System Master Plan and its Priority Action Plan, Goal 1 to reinvest in priority facilities including recreation centers. The project was included in the voter-approved Proposition 407 bond package, which utilized the Parks and Recreation System Master Plan document developed through an extensive public input process. The project will reopen the closed aquatic center, eliminate a site that attracts illegal/nuisance activities, and revitalize a currently underutilized public facility.</p>	
<b>COMMUNITY FACILITIES AND SERVICES</b>			
Educational and Cultural Facilities (Access and Capacity)	2	<p>The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>to the existing east and west parking lots. The project will reopen the closed aquatic center, eliminate a site that attracts illegal/nuisance activities, and revitalize a currently underutilized public facility. Other than during the brief period of construction, little to no impact is anticipated to area primary, middle, and high schools, daycares, and pre-schools. Neighborhood residents are served by 11 elementary, middle, and high schools within walking distance and/or a 6-minute driving distance. Educational and cultural enrichment opportunities are available at nearby recreation centers, libraries, and parks. The El Pueblo Activity &amp; Senior Center and the Cherry Avenue Center feature various recreation opportunities for all ages and activities, field trips, and special events for seniors. The El Pueblo Center also offers a senior meal program, Mondays-Fridays. The Roy Drachman Boys &amp; Girls Clubhouse is located in Mission Manor Park and offers youth programming, Monday-Friday. Multi-modal access to educational and cultural facilities is readily available and is not anticipated to be impacted by foreseeable climate changes.</p>	
Commercial Facilities (Access and Proximity)	2	<p>The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. The project will not adversely impact or displace commercial facilities. The project site is within 2.5 miles of major grocery stores, local food markets, discount stores, pharmacies, and medical providers. Multi-modal access to these facilities is readily available.</p>	

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Health Care / Social Services (Access and Capacity)	2	The project site is within 6 miles of two medical centers with emergency care. Emergency facilities, clinics, and physician services are accessible via public transit. Nearby support services include Cope Behavioral Services, MIKID (Mentally Ill Kids in Distress), La Frontera, and the Tucson VA (Veterans Affairs) Medical Center. The project activities will not have an adverse impact on the available services. The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots.	
Solid Waste Disposal and Recycling (Feasibility and Capacity)	2	Onsite waste disposal and recycling services are provided by the City of Tucson Environmental & General Services Department. The City of Tucson provides extensive waste and recycling options, including construction debris handling and recycling, landfill disposal, green waste recycling, and household hazardous waste disposal services. Construction debris generated during demolition will be routed to a nearby Tucson Landfill or to a regional landfill depending on the category of waste material.	
Waste Water and Sanitary Sewers (Feasibility and Capacity)	2	The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and	

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		sidewalks; and green storm water improvements to the existing east and west parking lots. Pima County Wastewater provides wastewater and sewer service to the project site. The aquatic complex will be connected to the public wastewater system. Wastewater and sewer services are not anticipated to be impacted by foreseeable climate changes.	
Water Supply (Feasibility and Capacity)	2	The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. Tucson Water provides water service to the project site. The aquatic complex will be connected to the public potable water system.	
Public Safety - Police, Fire and Emergency Medical	2	The project consists of improvements in the center/west portion of an existing park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. The project site is within 4 miles of three fire stations. Response times vary depending on the type of call, but the average time for emergency response is nine minutes or less. The site is within 3.6 miles of the Tucson Police Department Santa Cruz Substation. The project site is within 6	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		miles of two medical centers with an emergency room.	
Parks, Open Space and Recreation (Access and Capacity)	1	The project consists of improvements in the center/west portion of an existing park (Mission Manor Park) including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots. There are eight additional parks within 3.5 miles of the site. The El Pueblo Activity & Senior Center and the Cherry Avenue Center, located at the Cherry Avenue Park, feature various recreation opportunities for all ages and activities, field trips, and special events for seniors. The El Pueblo Center also offers a senior meal program, Mondays-Fridays. The Roy Drachman Boys & Girls Clubhouse is located at the Mission Manor Park and offers youth programming, Monday-Friday.	
Transportation and Accessibility (Access and Capacity)	2	The site is located between South Santa Clara on the west and South 12th Avenue, an arterial street, on the east, and is approximately 0.25 miles east of Interstate 19. The site has access to crosswalks, sidewalks, and bicycle lanes. Tucson's regional transit system, Sun Tran, provides service within walking distance and bus stops are available east of the site along 12th Avenue and north of the site along Drexel Road, which both connect directly to the Laos Transit Center, a bus hub.	
<b>NATURAL FEATURES</b>			
Unique Natural Features /Water Resources	2	There are no unique natural or water features on or nearby the site. The site is a public park containing a closed aquatic complex, baseball fields, play structures, picnic tables, ramadas, a Boys and Girls Club, and parking lots on the	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>north, east, and west sides of the park. The project consists of improvements in the center/west portion of the park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots.</p>	
<p>Vegetation / Wildlife (Introduction, Modification, Removal, Disruption, etc.)</p>	<p>2</p>	<p>The site is a public park containing a closed aquatic complex, baseball fields, play structures, picnic tables, ramadas, a Boys and Girls Club, and parking lots on the north, east, and west sides of the park surrounded by residential and commercial urban development. The project consists of improvements in the center/west portion of the park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage. Small areas of turf will be disturbed during demolition. Construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots will occur after demolition and site preparation. The project's new landscape plan includes desert-adapted, drought tolerant/low water use trees and plants now common to the area, as listed in the Arizona Department of Water Resources: Tucson Active Management Area Low Water Use/Drought Tolerant Plant List. Additionally, approximately 13,700 square feet of existing asphalt in the parking lots will be removed and replaced with stormwater retention basins with low water use</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		plants. Minimal evidence of wildlife, mostly birds, was observed. There are no effects anticipated to listed species or critical habitats from this project, E-mail from US Fish & Wildlife Service, 1/18/2024.	
Other Factors 1			
Other Factors 2			
<b>CLIMATE AND ENERGY</b>			
Climate Change	2	<p>The project consists of improvements in the center/west portion of the park including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots.</p> <p>Climate predictions forecast increased average daily temperatures and decreased annual precipitation for the area. The project's new landscape plan includes rainwater harvesting and desert-adapted, drought tolerant/low water use trees and plants now common to the area, as listed in the Arizona Department of Water Resources: Tucson Active Management Area Low Water Use/Drought Tolerant Plant List.</p> <p>Approximately 13,700 square feet of existing asphalt in the parking lots will be removed and replaced with stormwater retention basins with low water use plants and approximately 50,000 square feet of turf will be replaced with decomposed granite and/or wood mulch in planting areas.</p>	
Energy Efficiency	2	<p>Energy use for construction activities, such as construction equipment, are temporary in nature. The new aquatic complex will incorporate water efficient fixtures in the design and construction such as water saving toilets, urinals, faucets, and showerheads. The therapy</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		and recreation pools will be covered for a majority of the year to decrease evaporation. The new aquatic complex will also incorporate energy efficient lighting fixtures, EnergyStar appliances and fixtures, and an HVAC system with SEER ratings ranging from 19.3-23.	

**Supporting documentation**

- [2024-2-21 PC Total Precip.pdf](#)
- [2024-2-21 PC Av Daily Max Temp.pdf](#)
- [2024-2-21 MMP Sun Tran Drexel RT27-1.pdf](#)
- [2024-2-21 MMP Sun Tran 12th RT24-1.pdf](#)
- [2024-2-21 MMP Google Map Schools.pdf](#)
- [2024-2-21 MMP Google Map Retail.pdf](#)
- [2024-2-21 MMP Google Map Restaurants.pdf](#)
- [2024-2-21 MMP Google Map Rec Ctr.pdf](#)
- [2024-2-21 MMP Google Map Police Station.pdf](#)
- [2024-2-21 MMP Google Map Pharmacies.pdf](#)
- [2024-2-21 MMP Google Map Parks.pdf](#)
- [2024-2-21 MMP Google Map Mental Health.pdf](#)
- [2024-2-21 MMP Google Map Medical.pdf](#)
- [2024-2-21 MMP Google Map Libraries.pdf](#)
- [2024-2-21 MMP Google Map Hospitals.pdf](#)
- [2024-2-21 MMP Google Map Grocery.pdf](#)
- [2024-2-21 MMP Google Map Fire Stations.pdf](#)
- [2024-2-21 MMP Google Map Discount Stores.pdf](#)
- [2024-2-1 El Pueblo Activity-Senior Ctr.pdf](#)
- [2024-2-1 Cherry Ave Ctr.pdf](#)
- [2024-2-1 Boys Girls Club Roy Drachman Site.pdf](#)
- [2024-1-3 MMP Zoning Map.pdf](#)
- [2024-1-3 MMP FFEIC Demographic.pdf](#)

**Additional Studies Performed:**

**Field Inspection [Optional]:** Date and completed  
by:  
Rolanda Mazeika

10/25/2023 12:00:00 AM

[Mission Manor Elevation Concept.pdf](#)



[Mission Manor Development Plan.pdf](#)  
[2023-10-25 Site Visit Photos.pdf](#)

**List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:**

City of Tucson, Office of the Mayor-Mayor Regina Romero; City of Tucson, Parks & Recreation Department-Donald Russell; City of Tucson-Housing and Community Development Department-Ann Chanecka, Tracy Odishaw; City of Tucson Planning and Development Services; City of Tucson, Department of Transportation and Mobility; Tucson Fire Department; Tucson Police Department; City of Tucson, Tucson Water Department; City of Tucson, Environmental & General Services Department; Pima County Wastewater Management; Pima County Department of Environmental Quality; City of Tucson Parks and Recreation System Master Plan, [www.tucsonaz.gov/files/sharedassets/public/v/1/living-and-working/parks-and-recreation/documents/tucson\\_parks\\_and\\_recreation\\_system\\_master\\_plan\\_10\\_5\\_16.pdf](http://www.tucsonaz.gov/files/sharedassets/public/v/1/living-and-working/parks-and-recreation/documents/tucson_parks_and_recreation_system_master_plan_10_5_16.pdf); City of Tucson Parks and Recreation Capital Planning and Development, [www.tucsonaz.gov/Departments/Parks-and-Recreation/Capital-Planning-and-Development#:~:text=The%20City%20of%20Tucson%20Parks,%2C%20maintenance%20practices%2C%20and%20programs.](http://www.tucsonaz.gov/Departments/Parks-and-Recreation/Capital-Planning-and-Development#:~:text=The%20City%20of%20Tucson%20Parks,%2C%20maintenance%20practices%2C%20and%20programs.), City of Tucson Tucson Delivers: Parks + Connections (Proposition 407), [tucsondelivers.tucsonaz.gov/pages/parks-connections](http://tucsondelivers.tucsonaz.gov/pages/parks-connections), [www.tucsonaz.gov/Departments/Parks-and-Recreation/ParksBond](http://www.tucsonaz.gov/Departments/Parks-and-Recreation/ParksBond); City of Tucson, Plan Tucson, [www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2](http://www.tucsonaz.gov/Departments/Planning-Development-Services/Development-ToolsResources/Plans#section-2)

**List of Permits Obtained:**

The reviews that go into each project include but are not limited to: Planning, Zoning, Engineering, Landscape, Fire, ADA, Plumbing, Solid Waste, Right of Way Improvements, Structural, Mechanical and Plumbing, Electrical, Fire, Zoning Engineering, Wastewater, Water, Transportation. The City of Tucson Planning and Development Services Department reviews, approves, and issues all permits for: zoning, site plans, grading, storm water, demolition, parking, landscape and construction trades; issues all permits; performs inspections and issues certificate of occupancy. The Department enforces building and zoning codes.

**Public Outreach [24 CFR 58.43]:**

Publication of a combined Notice of Intent to Request Release of Funds/Finding of No Significant Impacts (RROF/FONSI) in the Arizona Daily Star on 3/9/2024. Interested parties contacted by e-mail. The Environmental Review Record (ERR) that documents the environmental determinations for this project is available at [www.tucsonaz.gov/Departments/Housing-and-](http://www.tucsonaz.gov/Departments/Housing-and-)

CommunityDevelopment/Documents/Environmental-Review and in-person at 310 North Commerce Park Loop, Tucson, Arizona 85745. The ERR will also be available and distributed on the HUD HEROS system. The project was included in the voter-approved Proposition 407 bond package, which utilized the Parks and Recreation System Master Plan document developed through an extensive public input process.

[2024-3-8 MMP contact list.pdf](#)

**Cumulative Impact Analysis [24 CFR 58.32]:**

The proposed improvements in the center/west portion of an existing park (Mission Manor Park) including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots is located on the south side of Tucson, Arizona in the Sunnyside Neighborhood Association, in an area of moderate income, with urban, low density, single-family, residential development, together with schools, parks, and other public services necessary for a satisfactory urban residential environment. Smaller areas of medium- to high-density residential and compatible uses and commercial uses are located to the north and east of the project site. The project will be a minor contributor to the projected increase in traffic and energy usage anticipated in the area. The project will demolish a currently closed aquatic complex and reconstruct a new aquatic complex in its place. The current site is an attractant for graffiti, trespassing, illegal urban camping, and other illegal/nuisance activities. The site is surrounded by residential and commercial, urban development. The project will use existing roadways, sewer systems, municipal water, and other utilities. No significant cumulative impacts on the environment are anticipated from the Proposed Action in conjunction with other activities.

**Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]**

No alternatives other than the No Action Alternative were considered.

**No Action Alternative [24 CFR 58.40(e)]**

Demolition of the existing, closed, and deteriorating Mission Manor Aquatic Complex and construction of a new aquatic complex will not occur. The remaining planned Mission Manor Park Proposition 407 improvements (playgrounds, sports fields, etc.) will proceed, however the closed aquatic complex will serve as a nuisance to the park, continue to attract vandalism, and remain an ongoing liability and safety concern. Investment in this significant community resource will not occur.

**Summary of Findings and Conclusions:**

The proposed improvements in the center/west portion of an existing park (Mission Manor Park) including: demolition of the existing closed aquatic complex, which includes a pool, wading pool, equipment yard/pumphouse, showers and bathrooms, and offices and storage; construction of a new public aquatic complex including a pool, therapy pool, splashpad, aquatics buildings containing offices, storage, showers, and bathrooms; a plaza area with picnic tables and sidewalks; and green storm water improvements to the existing east and west parking lots will not adversely affect the environment or the neighborhood. The activity is compatible with the existing urban, low density, single-family, residential development, together with schools, parks, and other public services necessary for a satisfactory urban residential environment and the smaller areas of medium- to high-density residential and compatible uses and commercial uses located to the north and east of the project site. There will be little to no impact on existing resources or services in the area. The project locations are owned by the City of Tucson and the development package is approved. The project supports the policies of Plan Tucson, the City of Tucson General & Sustainability Plan, Social Environment Focus Area, to prioritize repairing, maintaining, and upgrading existing recreational facilities; ensure equitable distribution of recreational resources to reach all populations throughout the City and make them affordable to all; ensure a range of recreational opportunities from passive to active; provide lifelong recreational opportunities for people of all ages and abilities; and foster the integration of different generations and abilities through shared activities and facilities. The project also supports the purpose of the City of Tucson Parks and Recreation System Master Plan and its Priority Action Plan, Goal 1 to reinvest in priority facilities including recreation centers.

**Mitigation Measures and Conditions [CFR 1505.2(c)]:**

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

<b>Law, Authority, or Factor</b>	<b>Mitigation Measure or Condition</b>	<b>Comments on Completed Measures</b>	<b>Mitigation Plan</b>	<b>Complete</b>
Contamination and Toxic Substances	In compliance with HUD Notice CPD-23-103, Departmental Policy for Addressing Radon in the Environmental Review Process, post-construction	N/A	COT will conduct post-construction testing in accordance with the protocols established by the	

	radon testing will be conducted followed by mitigation, if needed.		American Standards Institute/American Association of Radon Scientists and Technologists, Protocol for Conducting Measurements of Radon and Radon Decay Products in Multifamily Buildings (ANSI-AARST Standard MA-MFLB-2023, Section III, or similar section in the most recent addition). If testing demonstrates radon levels below 4 pCi/L, additional mitigation will not be required. If radon levels are at or above 4 pCi/L, a formal mitigation plan will be developed identifying the radon level, risk to occupants' health, installation of a radon reduction system and post-installation testing to confirm efficacy, and an ongoing operation, maintenance, and monitoring plan that includes a timeframe for implementation.	
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Historic Preservation	A cultural resources survey is required by the Historic Preservation Programmatic Agreement dated 1/25/2002	N/A	COT-HCDD will conduct a cultural resources survey in accordance with the Programmatic Agreement dated 1/25/2002	
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**Project Mitigation Plan**

COT-HCDD will conduct a cultural resources survey in accordance with the Programmatic Agreement dated 1/25/2002. In compliance with HUD Notice CPD-23-103, Departmental Policy for Addressing Radon in the Environmental Review Process, post-construction radon testing will be conducted followed by mitigation, if needed. COT will conduct post-construction testing in accordance with the protocols established by the American Standards Institute/American Association of Radon Scientists and Technologists, Protocol for Conducting Measurements of Radon and Radon Decay Products in Multifamily Buildings (ANSI-AARST Standard MA-MFLB-2023, Section III, or similar section in the most recent addition). If testing demonstrates radon levels below 4 pCi/L, additional mitigation will not be required. If radon levels are at or above 4 pCi/L, a formal mitigation plan will be developed identifying the radon level, risk to occupants' health, installation of a radon reduction system and post-installation testing to confirm efficacy, and an ongoing operation, maintenance, and monitoring plan that includes a timeframe for implementation.

**Supporting documentation on completed measures**

## APPENDIX A: Related Federal Laws and Authorities

### Airport Hazards

General policy	Legislation	Regulation
It is HUD's policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

### Screen Summary

#### Compliance Determination

The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.

#### Supporting documentation

[2024-1-3 MMP Airport Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

### Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

**This project is located in a state that does not contain CBRA units. Therefore, this project is in compliance with the Coastal Barrier Resources Act.**

#### Compliance Determination

This project is located in a state that does not contain CBRS units. There are no CBRS units in Arizona. Therefore, this project is in compliance with the Coastal Barrier Resources Act.

#### Supporting documentation

[Coastal Barriers Template 2022-9-14.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

## Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

**1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?**

No. This project does not require flood insurance or is excepted from flood insurance.

Yes

**2. Upload a FEMA/FIRM map showing the site here:**

[2024-1-3 MMP Flood Map.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

**Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?**

No

Based on the response, the review is in compliance with this section.

Yes

**4. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). Will flood insurance be required as a mitigation measure or condition?**



Yes

✓ No

**Screen Summary**

**Compliance Determination**

The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. FEMA Zone X, 04019C 2288L, 6/16/2011. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.

**Supporting documentation**

**Are formal compliance steps or mitigation required?**

Yes

✓ No

## Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

**1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?**

Yes

No

### Air Quality Attainment Status of Project's County or Air Quality Management District

**2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?**

No, project's county or air quality management district is in attainment status for all criteria pollutants.

Yes, project's management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Carbon Monoxide

Lead

Nitrogen dioxide

Sulfur dioxide

Ozone

Particulate Matter, <2.5 microns

✓ Particulate Matter, <10 microns

**3. What are the *de minimis* emissions levels (40 CFR 93.153) or screening levels for the non-attainment or maintenance level pollutants indicated above**

Carbon monoxide ppm (parts per million)  
Particulate Matter, <10 microns µg/m3 (micrograms per cubic meter of air)

**Provide your source used to determine levels here:**  
Pima County Department of Environmental Quality (PDEQ)

**4. Determine the estimated emissions levels of your project. Will your project exceed any of the *de minimis* or threshold emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?**

✓ No, the project will not exceed *de minimis* or threshold emissions levels or screening levels.

**Enter the estimate emission levels:**

Carbon monoxide ppm (parts per million)  
Particulate Matter, <10 microns µg/m3 (micrograms per cubic meter of air)

Based on the response, the review is in compliance with this section.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

**Screen Summary**

**Compliance Determination**

The project's county or air quality management district is in non-attainment status for the following: Particulate Matter, <10 microns (Pima County, Rillito planning area). The project's county or air quality management district is in maintenance status for the following: Carbon monoxide (Tucson), Particulate Matter, <10 microns (Pima

County, Ajo planning area). This project does not exceed de minimis emissions levels or the screening level established by the state or air quality management district for the pollutant(s) identified above. Pima County Department of Environmental Quality (PDEQ) has reviewed the project and does not believe the project will adversely impact air quality, e-mail dated 2/15/2024. The project is in compliance with the Clean Air Act.

**Supporting documentation**

[2024-2-15 MMP AQ No Adverse Impact.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

### Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

**This project is located in a state that does not participate in the Coastal Zone Management Program. Therefore, this project is in compliance with the Coastal Zone Management Act.**

#### Screen Summary

##### **Compliance Determination**

This project is located in a state that does not participate in the Coastal Zone Management Program. Arizona has no coastal zones. Therefore, this project is in compliance with the Coastal Zone Management Act.

##### **Supporting documentation**

[Coastal zones template 11-1-19.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

## Contamination and Toxic Substances

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

**1. How was site contamination evaluated? Select all that apply. Document and upload documentation and reports and evaluation explanation of site contamination below.**

- American Society for Testing and Materials (ASTM) Phase I Environmental Site Assessment (ESA)
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening

None of the Above

**2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)**

No

**Explain:**

Field visit and site evaluation (NEPAssist, ADEQ e-Maps, historic aerial review) conducted by HCD 10/25/2023

Based on the response, the review is in compliance with this section.

Yes

### Screen Summary

#### **Compliance Determination**

Site contamination was evaluated as follows: Field visit and site evaluation (NEPAssist, ADEQ e-Maps, historic aerial review) conducted by HCD 10/25/2023. On-site or nearby

toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. In compliance with HUD Notice CPD-23-103, Departmental Policy for Addressing Radon in the Environmental Review Process, post-construction radon testing will be conducted followed by mitigation, if needed.

**Supporting documentation**

[EPA Map of Radon Zones 2024-3-7.pdf](#)  
[2023-10-25 MMP Site Visit Checklist.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

## Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service (“FWS” and “NMFS” or “the Services”).	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i> ); particularly section 7 (16 USC 1536).	50 CFR Part 402

**1. Does the project involve any activities that have the potential to affect species or habitats?**

No, the project will have No Effect due to the nature of the activities involved in the project.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

- ✓ Yes, the activities involved in the project have the potential to affect species and/or habitats.

**2. Are federally listed species or designated critical habitats present in the action area?**

- ✓ No, the project will have No Effect due to the absence of federally listed species and designated critical habitat

Based on the response, the review is in compliance with this section. Document and upload all documents used to, make your determination below.

Documentation may include letters from the Services, species lists from the Services’ websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area.



### **Screen Summary**

#### **Compliance Determination**

This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. E-mail from US Fish & Wildlife Service, 1/18/2024. The USFWS recommends and encourages use of native plants during any revegetation or replanting activities as part of the existing park improvement plans. The project's landscape plan includes desert-adapted, drought tolerant/low water use trees and plants now common to the area, as listed in the Arizona Department of Water Resources: Tucson Active Management Area Low Water Use/Drought Tolerant Plant List. Additionally, approximately 13,700 square feet of existing asphalt in the parking lot will be removed and replaced with stormwater retention basins with low water use plants. This project is in compliance with the Endangered Species Act.

#### **Supporting documentation**

[2024-1-4 MMP IPac List.pdf](#)

[2024-1-18 MMP USFWS TE No Effect.pdf](#)

#### **Are formal compliance steps or mitigation required?**

Yes

✓ No

## Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

Based on the response, the review is in compliance with this section.

Yes

### Screen Summary

#### **Compliance Determination**

Based on the project description the project includes no activities that would require further evaluation under this section. The project consists of public park improvements with no increase in residential densities or conversion. The project is in compliance with explosive and flammable hazard requirements.

#### **Supporting documentation**

**Are formal compliance steps or mitigation required?**

Yes

No



## Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	<a href="#">7 CFR Part 658</a>

**1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?**

Yes

✓ No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

### Screen Summary

#### **Compliance Determination**

This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022. The project is in compliance with the Farmland Protection Policy Act.

#### **Supporting documentation**

[US Census Urban Area Map 2022-7-5.pdf](#)

**Are formal compliance steps or mitigation required?**

CPF-Mission-Manor-Park-  
Aquatic-Complex

Tucson, AZ

900000010373813

- Yes
- No

## Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

**1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]**

- 55.12(c)(3)
- 55.12(c)(4)
- 55.12(c)(5)
- 55.12(c)(6)
- 55.12(c)(7)
- 55.12(c)(8)
- 55.12(c)(9)
- 55.12(c)(10)
- 55.12(c)(11)
- None of the above

**2. Upload a FEMA/FIRM map showing the site here:**

[2024-1-3 MMP Flood Map.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

**Does your project occur in a floodplain?**

- No

Based on the response, the review is in compliance with this section.

Yes

**Screen Summary**

**Compliance Determination**

This project does not occur in a floodplain. FEMA Zone X, 04019C 2288L, 6/16/2011.  
The project is in compliance with Executive Order 11988.

**Supporting documentation**

**Are formal compliance steps or mitigation required?**

Yes

✓ No

**Historic Preservation**

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 “Protection of Historic Properties” <a href="https://www.govinfo.gov/content/pkg/CFR-2012-title36-vol3/pdf/CFR-2012-title36-vol3-part800.pdf">https://www.govinfo.gov/content/pkg/CFR-2012-title36-vol3/pdf/CFR-2012-title36-vol3-part800.pdf</a>

**Threshold**

**Is Section 106 review required for your project?**

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA ). (See the PA Database to find applicable PAs.)

No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

- ✓ Yes, because the project includes activities with potential to cause effects (direct or indirect).

**Step 1 – Initiate Consultation**

**Select all consulting parties below (check all that apply):**

Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native Hawaiian Organizations (NHOs)

- ✓ Other Consulting Parties



✓ City of Tucson Historic Preservation Office

In progress

**Describe the process of selecting consulting parties and initiating consultation here:**

A cultural resources survey is in progress in accordance with the Programmatic Agreement dated 1/25/2002 (property outside an established historic district, project includes demolition of existing structures >45yo and new construction activities)

Document and upload all correspondence, notices and notes (including comments and objections received below).

**Was the Section 106 Lender Delegation Memo used for Section 106 consultation?**

Yes

No

**Step 2 – Identify and Evaluate Historic Properties**

- 1. Define the Area of Potential Effect (APE), either by entering the address(es) or uploading a map depicting the APE below:**

5915 S Santa Clara Ave, 6100 S 12th Ave, and 701 W Calle Ramona,  
Tucson, Pima County, Arizona, 85706, Pima County Assessor Number  
138-01-001D

**In the chart below, list historic properties identified and evaluated in the APE. Every historic property that may be affected by the project should be included in the chart.**

Upload the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination below.

Address / Location / District	National Register Status	SHPO Concurrence	Sensitive Information
----------------------------------	-----------------------------	------------------	--------------------------

**Additional Notes:**

- 2. Was a survey of historic buildings and/or archeological sites done as part of the**

**project?**

Yes

Document and upload surveys and report(s) below.  
For Archeological surveys, refer to HP Fact Sheet #6, Guidance on Archeological Investigations in HUD Projects.

**Additional Notes:**

A cultural resources survey is in progress in accordance with the Programmatic Agreement dated 1/25/2002 (property outside an established historic district, project includes demolition of existing structures >45yo, and new construction activities)

No

***Step 3 –Assess Effects of the Project on Historic Properties***

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (36 CFR 800.5)] Consider direct and indirect effects as applicable as per guidance on direct and indirect effects.

**Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.**

No Historic Properties Affected

Based on the response, the review is in compliance with this section. Document and upload concurrence(s) or objection(s) below.

**Document reason for finding:**

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

Adverse Effect

**Screen Summary**

**Compliance Determination**

A cultural resources survey is in progress in accordance with the Programmatic Agreement dated 1/25/2002 (property outside an established historic district, project includes demolition of existing structures >45yo, and new construction activities) The project is in compliance with Section 106.

**Supporting documentation**

[HPO Programmatic agreement.pdf](#)

[2024-1-3 MMP HPO Map.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

## Noise Abatement and Control

General requirements	Legislation	Regulation
HUD's noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972  General Services Administration Federal Management Circular 75-2: "Compatible Land Uses at Federal Airfields"	Title 24 CFR 51 Subpart B

**1. What activities does your project involve? Check all that apply:**

New construction for residential use

Rehabilitation of an existing residential property

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster

None of the above

### Screen Summary

#### **Compliance Determination**

Based on the project description, this project includes no activities that would require further evaluation under HUD's noise regulation. The project consists of public park improvements. The project is in compliance with HUD's Noise regulation.

#### **Supporting documentation**

#### **Are formal compliance steps or mitigation required?**

Yes

CPF-Mission-Manor-Park-  
Aquatic-Complex

Tucson, AZ

900000010373813

✓ No

### Sole Source Aquifers

General requirements	Legislation	Regulation
<b>The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.</b>	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

✓ No

2. Is the project located on a sole source aquifer (SSA)?

A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

No

✓ Yes

3. Does your region have a memorandum of understanding (MOU) or other working agreement with Environmental Protection Agency (EPA) for HUD projects impacting a sole source aquifer?

✓ Yes

Document and upload MOU or Agreement below.

No

**4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review. If negative effects cannot be mitigated, cancel the project using the button at the bottom of this screen**

Yes

Document and upload where your project fits within the MOU or working agreement below. Based on the response, the review is in compliance with this section.

No

#### **Screen Summary**

##### **Compliance Determination**

The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from further review (Section II.B.1 & 2, "Construction of residential, commercial or industrial projects, or public facilities, or land developments, which will be served by an existing and publicly owned and operated sewerage system and treatment plant which is not subject to a locally or EPA imposed moratorium, except for any development covered in A above." and "Acquisition, disposition, rehabilitation, reconstruction, or modernization of existing projects, buildings, and public facilities."). The project is in compliance with Sole Source Aquifer requirements.

##### **Supporting documentation**

[Sole Source Aquifer Template 5-11-18.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

## Wetlands Protection

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service's National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed. Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

**1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order**

No

✓ Yes

**2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.**

**"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."**

✓ No, a wetland will not be impacted in terms of E.O. 11990's definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990's definition of new construction.

### Screen Summary



**Compliance Determination**

The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990.

**Supporting documentation**

[2024-1-3 MMP Wetlands Map.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

## Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

### 1. Is your project within proximity of a NWSRS river?

No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

### Screen Summary

#### **Compliance Determination**

This project is not within proximity of a NWSRS river. There are no NWSRS rivers in Tucson. The project is in compliance with the Wild and Scenic Rivers Act.

#### **Supporting documentation**

[NWSRS Wild-Scenic Rivers 2023-10-9.pdf](#)

[NRI Wild-Scenic Rivers 2023-10-9.pdf](#)

#### **Are formal compliance steps or mitigation required?**

Yes

No

### Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

**HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.**

**1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?**

Yes

No

Based on the response, the review is in compliance with this section.

#### Screen Summary

##### **Compliance Determination**

No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898.

##### **Supporting documentation**

[2024-1-3 MMP EJScreen.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

# Mission Manor Park, Tucson, AZ 85705



### Notes

Aerial Map

### Legend

- Parcels
- + Railroads

Project Area

Fenced wellsite area - not included in project

1: 4,514



728.8      0      364.41      728.8 Feet



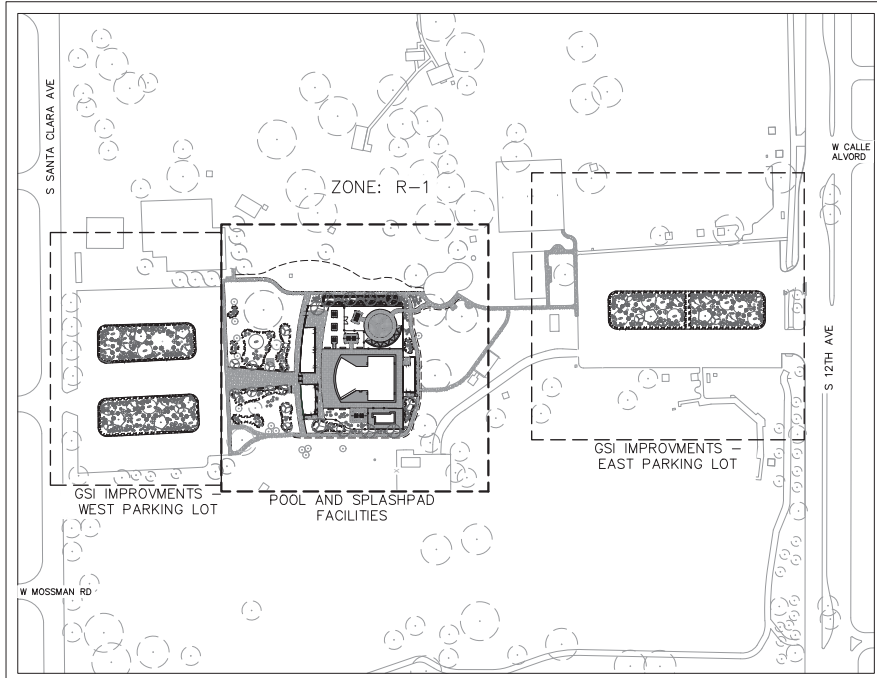


# Mission Manor Aquatic Center

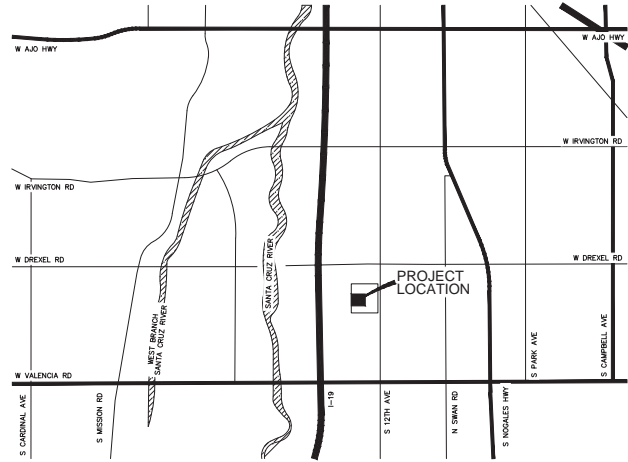
**Breckenridge**  
PROFESSIONAL  
PLANNING  
1735 N. Lowell St. #12  
Breckenridge, CO 80719  
970.536.8444

# DEVELOPMENT PLAN FOR MISSION MANOR PARK POOL RENOVATION AND SPLASH PAD ADDITION

THIS PROJECT INCLUDES THE DEMOLITION OF AN EXISTING POOL/ POOL BUILDING AND THE DESIGN AND CONSTRUCTION OF A NEW POOL, SPLASH PAD, AND AQUATICS BUILDING AT MISSION MANOR PARK. THE PROJECT ALSO INCLUDES GREEN STORMWATER INFRASTRUCTURE IMPROVEMENTS WITHIN TWO EXISTING PARKING AREAS.



VICINITY MAP



LOCATION MAP  
PIMA COUNTY, ARIZONA  
SCALE: 2" = 1 MILE



OVERALL PARK MAP  
PIMA COUNTY, ARIZONA  
NOT TO SCALE

**LANDSCAPE ARCHITECT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
3300 EAST SUNRISE DRIVE, SUITE 130  
TUCSON, AZ 85718  
PHONE: (520) 352-8657  
EMAIL: REBECA.FIELD@KIMLEY-HORN.COM  
ATTN: REBECA FIELD, L.A.

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
3300 EAST SUNRISE DRIVE, SUITE 130  
TUCSON, AZ 85718  
PHONE: (520) 615-9198  
EMAIL: CHRIS.LEON@KIMLEY-HORN.COM  
ATTN: CHRIS LEON, P.E.

**EARTHWORK QUANTITIES**  
THE QUANTITIES LISTED BELOW ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES INVOLVED AND BASE HIS BID ON HIS OWN ESTIMATE.  
CUT = 26 CY  
FILL = 1982 CY  
NET (FILL) = 1956 CY  
NO GROUND COMPACTION, SWELL, OR SHRINK FACTORS WERE INCLUDED WITHIN EARTHWORK QUANTITY.

TOTAL DISTURBANCE AREA = 2.99 AC

## INDEX OF SHEETS

Page No.	Sheet ID.	Sheet Title
01	CV01	COVER SHEET
02	GN01	GENERAL NOTES
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06	LSN01	LANDSCAPE NOTES
07	HS01	HARDSCAPE PLAN
08-09	HS02	HARDSCAPE DETAILS
10-12	LS01 - LS03	LANDSCAPE PLANS
13	LS04	LANDSCAPE DETAILS
14-16	IR01 - IR03	IRRIGATION PLANS
17-18	IR04 - IR05	IRRIGATION DETAILS

**Kimley-Horn**  
3300 EAST SUNRISE DRIVE, SUITE 130  
TUCSON, AZ 85718  
(520) 352-8657



MISSION MANOR PARK  
NEW POOL & SPLASH PAD  
6100 S 12TH AVE  
TUCSON, AZ



No.	Description	Date
1		
2		
3		



Sheet Title:  
COVER SHEET

Project number: 098134087  
Date: 09.24.2023  
Designed by: N/A  
Drawn by: N/A  
Checked by: RF

Sheet ID:  
CV01

Sheet Number: 01 of 18

**GENERAL NOTES:**

- EXISTING ZONING IS R-1.
- THE GROSS AREA OF THE PARK SITE IS 37.73 ACRES (1,643,518.8 SF).
- EXISTING AND PROPOSED USE OF THE PROPERTY IS PARKS AND RECREATION, WHICH IS PERMITTED IN R-1 ZONES PER UDC TABLE 4.8-2. USE SPECIFIC STANDARDS INCLUDE R-1, R-2, MH-1, MH-2, 4.9.13.B & CR-3, 4.9.13.B and C OF THE UDC.
- THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MSAR).
- ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS, 2015 EDITION AND ANY AMENDMENTS THERETO. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2015 EDITION, EXCEPT AS MODIFIED HEREBY.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR MUST OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES BEFORE UNDERTAKING ANY GRADING OR CONSTRUCTION WORK OF ANY TYPE.
- A SEALED AND APPROVED SET OF THESE PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRIAGES AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2009 (MUTCD 2009).
- UTILITY LOCATIONS SHOWN ON THESE PLANS WERE COMPILED BASED ON PROJECT SURVEY AND MAPPING RECEIVED FROM UTILITY PROVIDERS. UTILITY LOCATIONS WHICH ARE NOT SPECIFICALLY LOCATED WITH ACTUAL HORIZONTAL AND VERTICAL CONTROLS ARE LOCATED APPROXIMATELY AND TO THE BEST AVAILABLE INFORMATION. UTILITY LOCATIONS ARE NOT INTENDED TO BE EXACT OR COMPLETE. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES WITH THE APPROPRIATE ORGANIZATIONS. CONTACT "ARIZONA 811" AT 1-800-782-5348 TWO FULL WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD-VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF ACTUAL LOCATIONS DIFFER FROM THOSE SHOWN ON THE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SAFE AND REASONABLE ACCESS FOR PEDESTRIANS. IF PEDESTRIANS MUST BE DETOURED DURING THE CONSTRUCTION SITE, THE DETOUR SHALL BE CLEARLY IDENTIFIED AND UNDERSTANDABLE TO THE USER. IF PEDESTRIANS ARE FORCED TO CROSS A STREET BECAUSE OF A DETOUR, THEY SHALL BE DIRECTED TO A LOGICAL PEDESTRIAN CROSSING. ACCESS SHALL BE APPROVED BY THE CITY REPRESENTATIVE PRIOR TO IMPLEMENTATION AND MUST COMPLY WITH THE AMERICANS WITH DISABILITY ACT (ADA).
- SUBGRADE PREPARATION BENEATH THE CURB, SIDEWALK, AND ROADWAY SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER PAG SPECIFICATION SECTION 205.
- THE CONTRACTOR SHALL IMPLEMENT GOOD HOUSEKEEPING FOR STORM WATER POLLUTION PREVENTION PRACTICES ON-SITE DURING THE COURSE OF CONSTRUCTION. GOOD HOUSEKEEPING PRACTICES INCLUDE, BUT ARE NOT LIMITED TO: STREET SWEEPING, PERMETER STOCKPILE CONTROLS, SOLID WASTE MANAGEMENT, EQUIPMENT MAINTENANCE PROCEDURES, CONCRETE WASHOUTS, SPILL PREVENTION, AND STORM DRAIN INLET PROTECTION.
- THE CITY SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS. ITEMS NOT MEETING PAG STANDARDS SHALL BE REPAIRED OR REPLACED AT NO COST TO THE CITY.
- ANY EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM PROJECT SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOT DAMAGE NATURAL GROWTH WITHIN PRIVATE PROPERTY. ALL WORK SHALL BE DONE WITHIN PUBLIC PROPERTIES, EASEMENTS, ROADWAYS, AND ALLEYS.
- REMOVAL OF ALL CACTI AND NATIVE PLANTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE "ARIZONA NATIVE PLANT LAW" A.R.S. CHAPTER 7.(ARIZ SECTION 3-901, ET. SEQ).
- ALL SAW CUTTING OF EXISTING ASPHALT PAVEMENT SHALL BE CONSIDERED INCIDENTAL AND INCLUDED WITHIN THE CONSTRUCTION COSTS FOR ACCESS RAMPS, DRIVEWAY APRONS, SIDEWALKS, AND CURB. IN ALL CASES WHEN MATCHING EXISTING PAVEMENT THE CONTRACTOR SHALL SAW CUT A ONE (1) FOOT (UNLESS OTHERWISE NOTED) NEAT EDGE AND TACK THE EXISTING PAVEMENT PRIOR TO JOINING THE NEW PAVEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CURB ACCESS RAMPS, WALLS, SIGNS, FENCING, AND ANY OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CITY. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS DESIGNATED ON THE PLANS AS TO REMAIN SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE CITY'S REPRESENTATIVE, AND SHALL BE CONSIDERED INCIDENTAL. ALL REPAIR, REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE CITY'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE APPROPRIATE BID ITEM(S) PRICE(S).
- INSPECTION BY THE CITY OR THE CITY'S REPRESENTATIVE OF THE WORK CALLED FOR ON THE PLANS SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR AND/OR HIS/HER SUB CONTRACTORS OF THEIR OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, CODES, AND ANY OTHER APPLICABLE REGULATIONS PERTAINING THERETO.
- THE CONTRACTOR SHALL OPERATE IN A MANNER COMPLIANT WITH ALL APPLICABLE REGULATIONS OF THE CITY, COUNTY, STATE, AND FEDERAL GOVERNMENT.
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR SUBCONTRACTOR.
- QUANTITIES AS SHOWN ON THE BID SCHEDULE ARE ESTIMATED AND THE CONTRACTOR IS ADVISED THAT THE FINAL QUANTITIES OF MATERIALS AND WORK IN PLACE MAY DIFFER FROM THOSE INDICATED IN THE BID SCHEDULE.
- SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARKS AND COMPARE THE SITE CONDITIONS WITH THE PLANS, THE CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE, OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE CITY'S REPRESENTATIVE SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE, OR DESIGN PROBLEM AT LEAST TWENTY FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK. SHOULD CONDITIONS EXIST WHICH ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CITY'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
- ALL ELEVATIONS, ALIGNMENTS, AND DISTANCES GIVEN SHALL BE VERIFIED BY AN ARIZONA REGISTERED LAND SURVEYOR BEFORE CONSTRUCTION.
- AT ALL TIMES THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL DRIVEWAYS AND MAILBOXES, AND ONE THROUGH LANE IN EITHER DIRECTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND REQUESTS BY THE ENGINEER REGARDING DUST POLLUTION.
- WATER FACILITIES EXIST IN THE VICINITY OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING ALL WATER FACILITIES DURING THE COURSE OF PERFORMING THE WORK. ANY DAMAGE TO WATER FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE. THE CONTRACTOR SHALL NOTIFY TUCSON WATER AT 520-791-4133 IN THE EVENT OF DAMAGE TO TUCSON WATER FACILITIES.
- ALL CHANGES TO THESE PLANS MUST BE CLEARED BY THE CITY OF TUCSON CITY ENGINEER'S PERMITS AND CODES SECTION, PRIOR TO CONSTRUCTION.

**GENERAL NOTES (CONT):**

- THE ENGINEER OF RECORD SHALL SUBMIT TO THE CITY FOR REVIEW ANY CHANGES TO THE APPROVED PLANS PRIOR TO CONSTRUCTION. ADDITIONALLY, THE ENGINEER OF RECORD SHALL CERTIFY ALL CHANGES MEETING ALL APPLICABLE STANDARDS, CODES, AND ORDINANCES.
- ALL EXISTING TREES TO REMAIN SHALL HAVE A DEEP ROOT WATERING SYSTEM INSTALLED. SUPPLEMENTAL WATERING SHALL BE PROVIDED 3 TIMES PER WEEK.

**GRADING & CONSTRUCTION NOTES:**

- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL.
- ELEVATIONS SHOWN ON THE PLANS ARE THE FINISHED GRADE ELEVATION.
- GRADING SHALL BE SEQUENCED SO THAT AGGREGATE BASE IS PLACED WITHIN 10 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- CONTRACTOR SHALL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ENGINEER TO OBSERVE THE EARTHWORK AND MAKE TESTS AS REQUIRED.
- CONTRACTOR SHALL HAVE EARTH BORROW FILL, AGGREGATE, TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED LABORATORY BEFORE MOVING IT TO THE JOB SITE.
- THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES SHALL BE PAID BY THE CONTRACTOR.

**CLEARING & GRUBBING NOTES:**

- DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- REMOVE ALL STUMPS, ASPHALT, ABANDONED IRRIGATION, ETC AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. SALVAGE AND RE-USE ROCKS, BOULDERS, AND CONCRETE RUBBLE ON-SITE PER DIRECTION OF OWNER'S REPRESENTATIVE.
- CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK.
- ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
- ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.



**MISSION MANOR PARK  
 NEW POOL & SPLASH PAD  
 6100 S 12TH AVE  
 TUCSON, AZ**

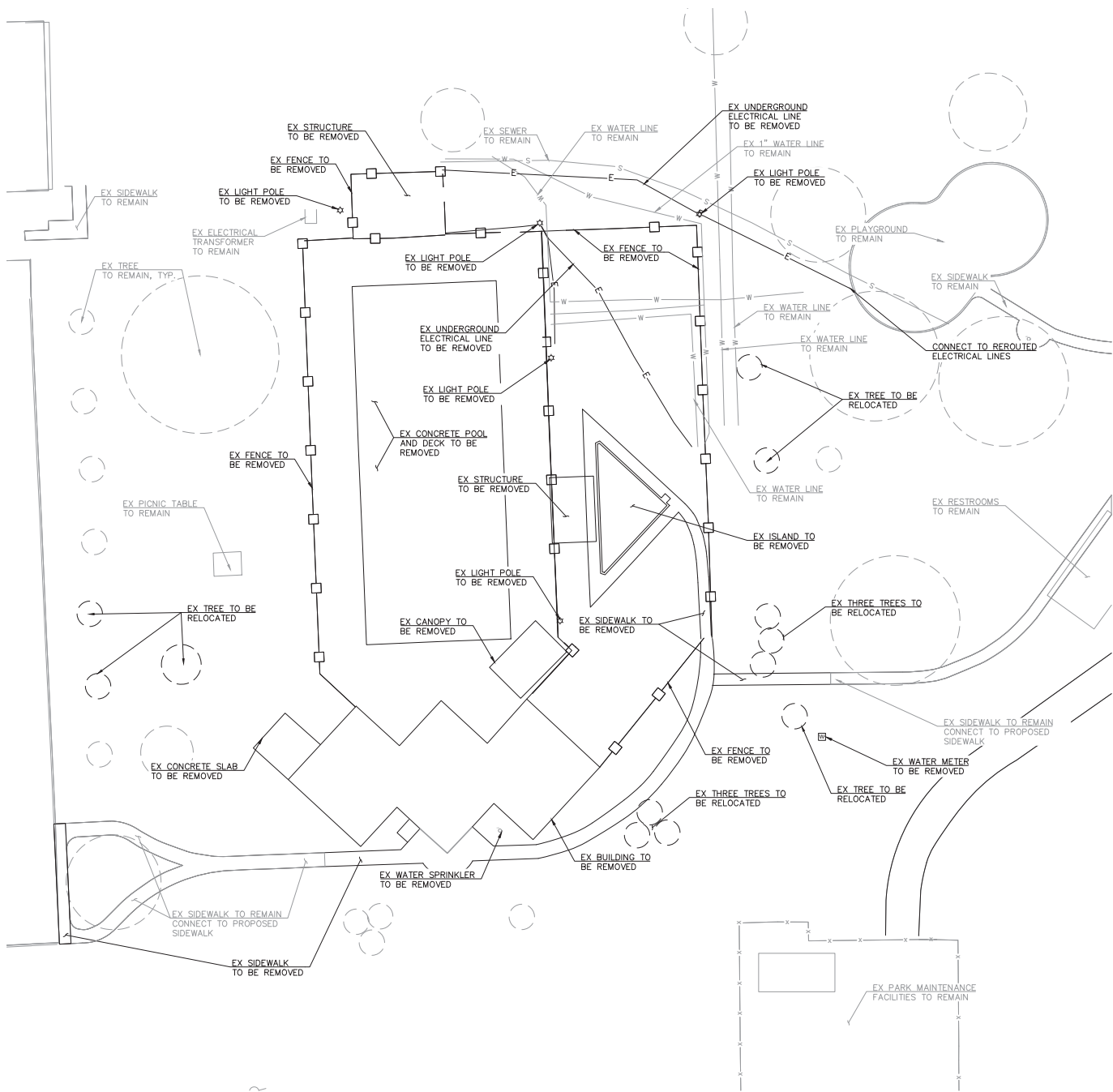


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Sheet Title:  
**GENERAL NOTES**

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 Drawn by: N/A  
 Checked by: RF  
 Sheet ID:  
**GN01**  
 Sheet Number: 02 of 18



### SHEET NOTES

1. REFER TO SHEETS 06-13 FOR LANDSCAPE PLANS
2. REFER TO SHEETS 14-18 FOR IRRIGATION PLANS
3. REFER TO SHEET 05 FOR GRADING AND DRAINAGE PLAN.



**MISSION MANOR PARK**  
**NEW POOL & SPLASH PAD**  
**6100 S 12TH AVE**  
**TUCSON, AZ**



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Sheet Title:  
**DEMO PLAN**

Project number: 098134087  
 Date: 09.08.2023  
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 Drawn by: LMR  
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Sheet Number: 03 of 18





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Sheet Title:  
**UTILITY PLAN**

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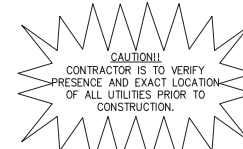
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 Sheet Number: 04 of 18

**WATER MODIFICATION NOTES**

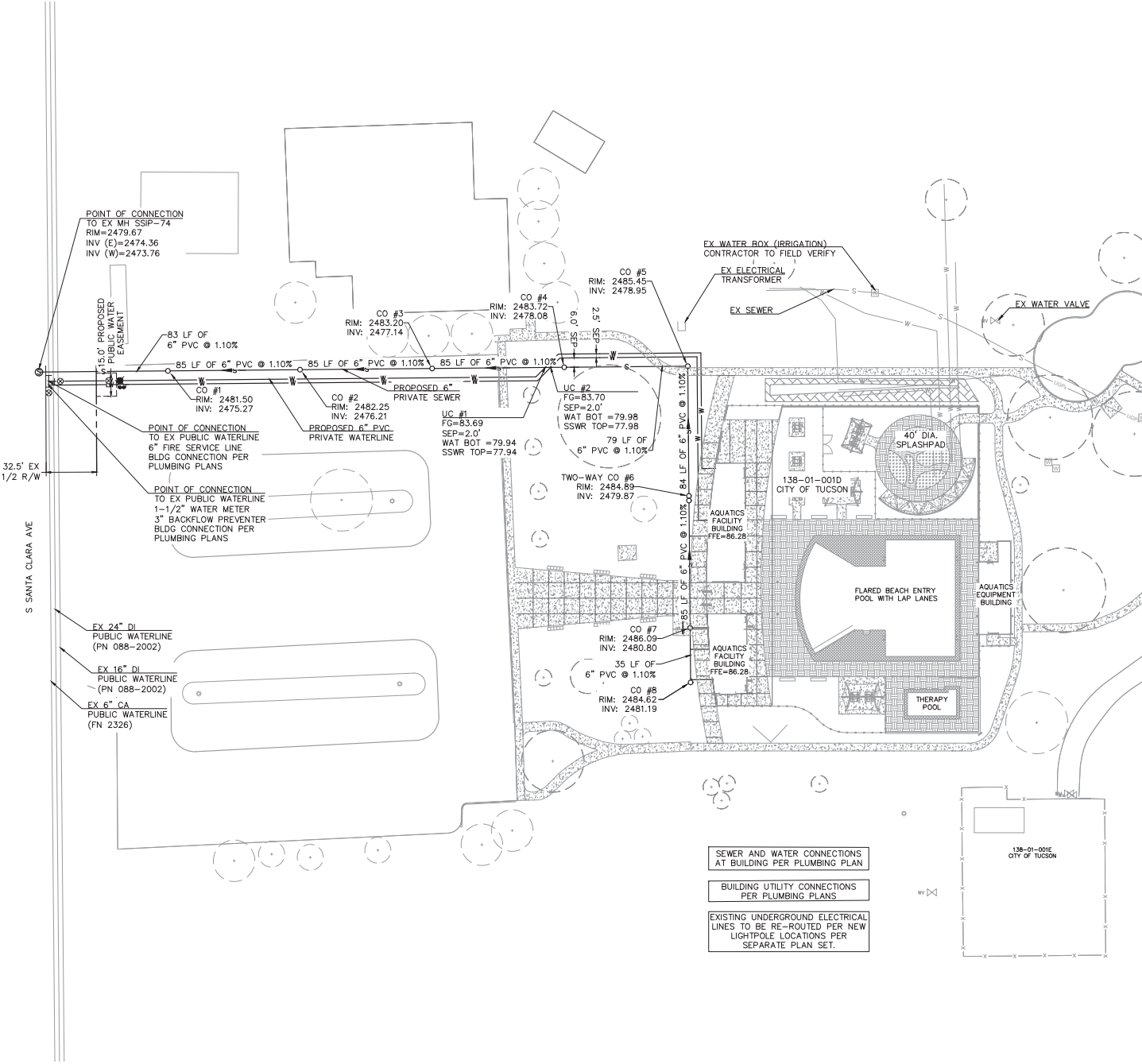
- ALL WATER SYSTEM CONSTRUCTION WORK SHALL CONFORM TO THE FOLLOWING STANDARDS AND SPECIAL PROVISIONS:
  - PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS VOLUME 1 2015 EDITION. STANDARD DETAILS SHALL REFER TO THE STANDARD DETAIL DRAWINGS OF TUCSON WATER'S STANDARD SPECIFICATIONS AND DETAILS MANUAL, 2011 EDITION.
  - THE WATER SYSTEM MODIFICATIONS SPECIAL PROVISIONS FOR THIS PROJECT.
  - CITY OF TUCSON PARKS AND RECREATION IRRIGATION STANDARDS, NOVEMBER 2005.
- ALL PVC SHALL BE CONSTRUCTED WITH SOLVENT WELD JOINTS COMPLYING WITH THE REQUIREMENTS OF THE PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- CONTRACTOR TO SUBMIT NEW WATER METER APPLICATION AND FEE TO TUCSON WATER NEW SERVICES DEPARTMENT. THE COST OF APPLICATION, FEES, MATERIALS, AND COORDINATION WITH TUCSON WATER TO BE CONSIDERED INCLUDED IN THE COST OF PAY ITEM 5108303 NEW WATER SERVICE.
- TUCSON WATER MAY ADJUST METER LOCATION IN THE FIELD. ADJUST AS NECESSARY TO CONNECT TO NEW METER.
- DEPTH OF NEW SERVICE LINES:
  - NEW SERVICE LINES, TWO INCH (2") AND SMALLER, SHALL BE INSTALLED AT A MINIMUM DEPTH OF TWO FEET (2.0') FROM THE BOTTOM OF ANY EXCAVATION OR SCARIFICATION TO THE TOP OF THE NEW SERVICE LINE. THIS DEPTH SHALL BE MAINTAINED FOR FIVE FEET (5.0') BEYOND ANY EXCAVATION, MEASURED PERPENDICULAR TO THE PROPOSED STRUCTURE OR EDGE OF THE PROPOSED ROADWAY.
  - IN NO CASE SHALL NEW SERVICE LINES BE INSTALLED LESS THAN THREE FEET (3.0') DEEP FROM THE FINISHED GRADE TO THE TOP OF THE NEW SERVICE LINE.
  - THESE MINIMUMS SHALL APPLY TO ALL SERVICE LINES UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PIPE FITTINGS AND APPURTENANCES OR ANY OTHER MATERIALS TO BE IN CONTACT WITH POTABLE WATER IN ACCORDANCE WITH THE LEAD-FREE REQUIREMENTS DEFINED BY THE "REDUCTION OF LEAD IN DRINKING WATER ACT OF 2011" AMENDING SECTION 1417 OF THE SAFE WATER DRINKING ACT.
- ALL MATERIALS, FITTINGS AND APPURTENANCES CALLED FOR ON THE PLANS, OR REQUIRED FOR A COMPLETE INSTALLATION, SHALL BE NEW. NO REFURBISHED ITEMS OR MATERIALS WILL BE ALLOWED.
- SERVICE WORK INCLUDES A TAP ON THE EXISTING WATER MAIN, INSTALLATION OF THE CURB STOP, AND WATER METER AS SPECIFIED IN SD-309.

**UNDERGROUND NOTES**

- INSTALLATION PER N.F.P.A. - 24, 2016 EDITION
- MINIMUM BURY FROM TOP OF PIPE IS 36"
- ALL MECHANICAL JOINT FITTINGS TO BE SECURED WITH "MEG-A-LUG" JOINT RESTRAINTS
- UNDERGROUND FIRE SERVICE PIPING WITHIN 5'-0" OF THE BUILDING SHALL BE 6" STAINLESS STEEL PIPE. REMAINING UNDERGROUND FIRE SERVICE PIPING SHALL BE 6" C-900 PVC.
- UNDERGROUND PIPING TO BE HYDROSTATICALLY TESTED AT 200 PSI FOR A TWO HOUR PERIOD.
- UNDERGROUND PIPE TO BE FLUSHED BEFORE CONNECTING TO FIRE RISER OR OVERHEAD PIPING.
- FIRE LINE INSTALLATION TO BEGIN AT EXISTING FIRE LINE STUB ON PROPERTY.



WATER LINES SHALL BE TESTED AND CHLORINATED PER SECTION 0209.0318 OF THE TUCSON WATER STANDARD SPECIFICATIONS AND DETAILS (2017 EDITION)



SEWER AND WATER CONNECTIONS AT BUILDING PER PLUMBING PLAN

BUILDING UTILITY CONNECTIONS PER PLUMBING PLANS

EXISTING UNDERGROUND ELECTRICAL LINES TO BE RE-ROUTED PER NEW LIGHTPOLE LOCATIONS PER SEPARATE PLAN SET.



Revision Record		
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Sheet Title:

**GRADING PLAN**

Project number: 098134087

Date: 09.08.2023

Designed by: K.M

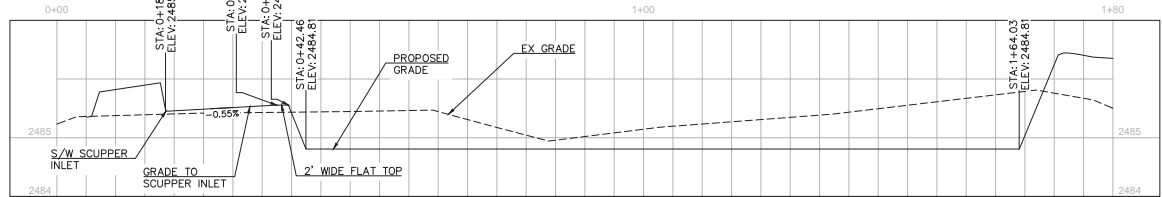
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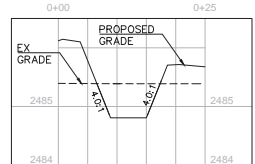
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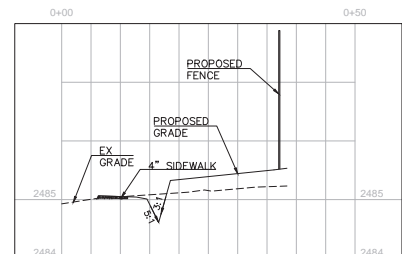
Sheet Number: 05 of 18



**SECTION C**  
SCALE: H:1"=10'  
V:1"=1'

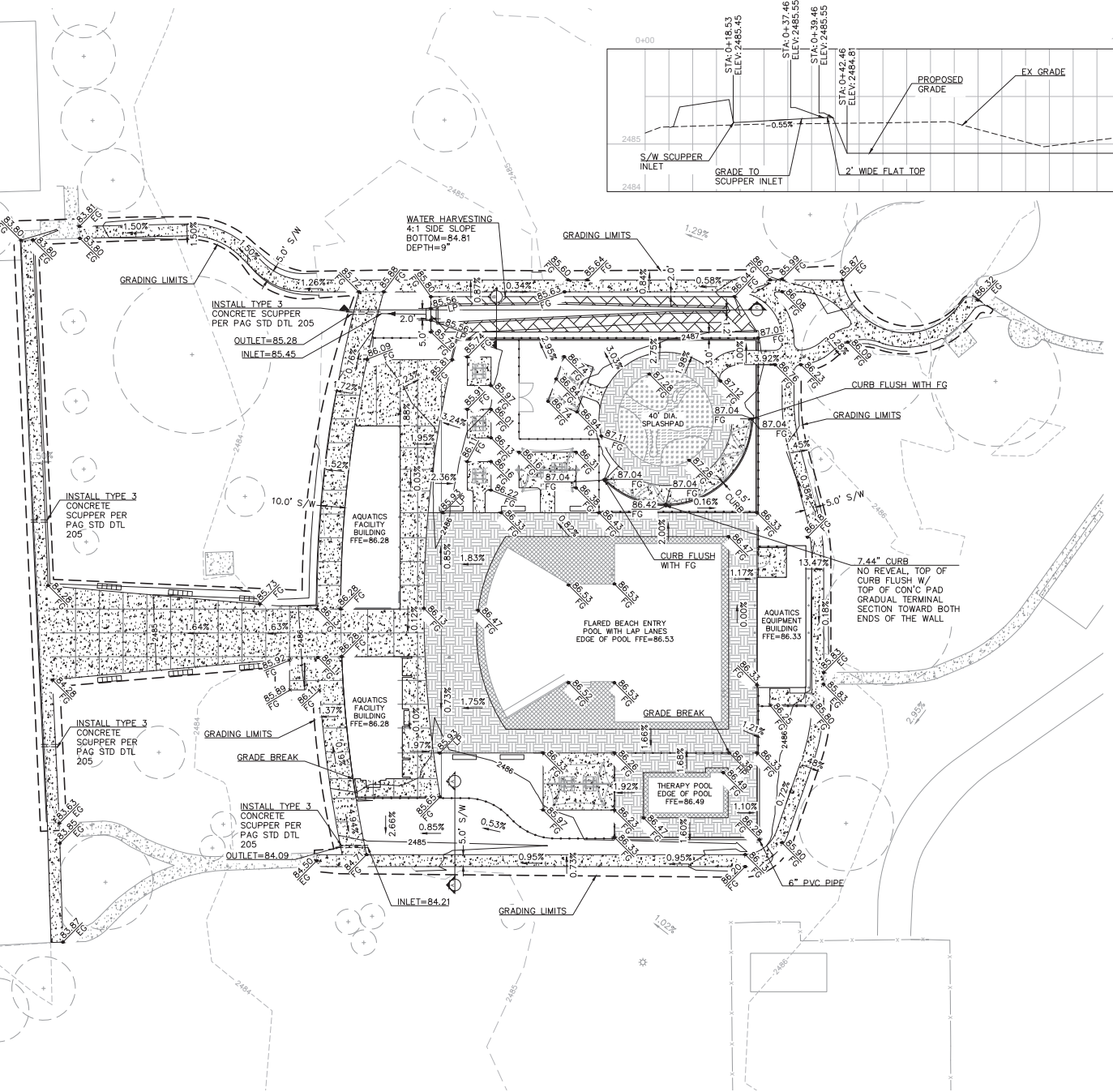
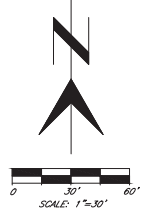


**SECTION B**  
SCALE: H:1"=10'  
V:1"=1'



**SECTION A**  
SCALE: H:1"=10'  
V:1"=1'

RAW EARTHWORK QUANTITIES	
CUT	26 CY
FILL	1982 CY
NET(FILL)	1956 CY



**PLANTING NOTES**

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & PICK UP ALL SOIL DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARKED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- ALL TREE LOCATIONS TO BE STAKED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP.
- DECOMPOSED GRANITE: ALL AREAS LABELED DECOMPOSED GRANITE ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" MINIMUM DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.
- AREAS TO RECEIVE DECOMPOSED GRANITE SHALL BE SPRAYED AT LEAST ONCE WITH A CONTACT HERBICIDE PRIOR TO PLANTING OPERATIONS. IMMEDIATELY PRIOR TO PLACEMENT OF ROCK MULCH, CONTRACTOR TO APPLY PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS.
- DECOMPOSED GRANITE SHALL EXTEND UNDER TREES AND SHRUBS.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE ENTIRE PROJECT FOR TWO YEARS AFTER ACCEPTANCE OF THE WORK OWNERS REPRESENTATIVE. UPON COMPLETION OF THE MAINTENANCE PERIOD THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITY.
- PRIOR TO INITIATING THE MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH-LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE OF SUBSTANTIAL COMPLETION, DETERMINE WITH THE OWNER'S REPRESENTATIVE THE START DATE FOR THE MAINTENANCE PERIOD. CONTRACTOR TO MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH-LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.

**PLANTING LEGEND**

TREES			
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY. GPH
	CHILOPSIS LINEARIS 'SWEET BUBBA' SEEDLESS DESERT WILLOW	24" BOX	19 6
	OLNEYA TESTOSA DESERT IRONWOOD	24" BOX	09 6
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	24" BOX	08 6
	PISTACIA CHINENSIS CHINESE PISTACHE	24" BOX	10 6
	PROSOPIS VELUTINA VELVET MESQUITE	24" BOX	14 6

LANDSCAPE ACCENTS			
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY. GPH
	ALOYSIA WRIGHTII WRIGHT'S BEE BUSH	5 GAL.	51 1
	ANISACANTHUS THURBERI DESERT HONEY-SUCKLE	5 GAL.	26 1
	ARISTIDA PURPUREA PURPLE THREE-AWN	1 GAL.	101 1
	ASCLEPIAS LANARIA PINELEAF MILKWEED	5 GAL.	40 1
	ASCLEPIAS SUBULATA DESERT MILKWEED	5 GAL.	19 1
	ATRIPLEX LENTIFORMIS BIG SALTBUCH	5 GAL.	16 1
	BAILEYA MULTIRADIATA DESERT MARI GOLD	1 GAL.	36 1
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	25 1
	FOUQUIERIA SPLENDENS COACHWHIP OCOTILLO	5 GAL.	14 1
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL.	24 1
	LARREA TRIDENTATA CREOSOTE	5 GAL.	48 1
	LEUCOPHYLLUM CANDIDUM TEXAS RANGER	5 GAL.	20 1
	LYCIUM BERLANDIERI BERLANDIER'S WOLFBERRY	5 GAL.	16 1
	MUHLENBERGIA EMERSLEYI BULL GRASS	5 GAL.	146 1
	SPHAERALCEA AMBIGUA GLOBEMALLOW	5 GAL.	61 1
	VERBENA GOODDINGII GOODINGS VERBENA	1 GAL.	35 1

LANDSCAPE ACCENTS		
SYMBOL	MATERIAL	QTY.
	6" LANDSCAPE BOULDER	23
	3" LANDSCAPE BOULDER	87

HATCHES		
SYMBOL	SURFACE TREATMENT	QTY.
	TURF - BERMUDA SOD	10,425 S.F.
	SYNTHETIC TURF - SHEET 13 DETAIL 08	5,250 S.F.
	DECOMPOSED GRANITE	21,920 S.F.
	3-4" WOOD MULCH WITH FINES (TANK'S GREEN STUFF OR APPROVED EQUAL)	42,010 S.F.
	DESERT COBBLE	11,500 S.F.

**HARDSCAPE HATCH LEGEND**

SYMBOL	SURFACE TREATMENT	QTY
	CONCRETE SIDEWALK	18,205 S.F.
	ACRYLIC CONCRETE POOL DECK COLOR: LIGHT GREY OR APPROVED EQUAL	8,370 S.F.
	ACRYLIC CONCRETE POOL DECK COLOR: MESA BUFF OR APPROVED EQUAL	2,455 S.F.
	SPASH PAD SURFACING BY LIFE FLOOR. COLOR: SEAFOAM OR APPROVED EQUAL	930 S.F.
	SPASH PAD SURFACING BY LIFE FLOOR. COLOR: AVIATOR OR APPROVED EQUAL	330 S.F.

**IRRIGATION NOTES**

- THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE AND MAXIMUM FLOW DEMAND AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PRESSURE AND FLOW ON-SITE PRIOR TO CONSTRUCTION AND REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IN WRITING.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING OR IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD BE NOTED:
  - IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, MATERIALS, AND ARCHITECTURAL FEATURES. INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHEREVER POSSIBLE.
  - USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF CROSS TYPE FITTINGS IS NOT PERMITTED.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVE.
  - TWO OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE TO BE INSTALLED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED REQUIRES HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
- SELECT NOZZLES FOR SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND UNIFORM COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF EACH SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
- INSTALL VAN NOZZLES WHERE SPRAY ANGLES ARE LESS OR GREATER THAN WHAT A FIXED SPRAY NOZZLE CAN IRRIGATE WITHOUT EXCESSIVE OVERSPRAY.

**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	PRODUCT	SIZE
	CONTROLLER - PEDESTAL MOUNT RAINBIRD PSM-LXME2	RAINBIRD ESP-AME3 W/ RSDBEX	12 STATIONS
	EXISTING REMOTE CONTROL VALVE ASSEMBLY TO REMAIN	----	----
	EXISTING TURF ROTOR TO REMAIN	----	----
	PRESSURE REGULATOR	SENNIGER PMR35WF	1"
	REMOTE CONTROL VALVE ASSEMBLY W/ FILTER	GRISWOLD DWS-100R W/ 200 MESH AMIAD FILTER	1"
	TURF ROTOR	MATCH EXISTING	
	FILTER	RAINBIRD RBY-100-200MX 1" Y FILTER W/200 MESH SCREEN	
	EXISTING MAINLINE TO REMAIN	----	AS NOTED
	MAIN LINE	PVC SCH 40 (PURPLE)	1" U.N.O.
	EXISTING TURF LATERAL TO REMAIN	----	----
	TURF LATERAL	PVC SCH 40 (PURPLE)	MATCH EXISTING
	TREE SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
	SHRUB SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
	TREE LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
	SHRUB LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
	SLEEVE	PVC SCH 40 (PURPLE)	4" U.N.O.
	MANFOLD ASSEMBLY MULTI-PORT: (5 GPH, 1 GPH, & 2 GPH)	RAINBIRD EMT-6XERI W/ XB-05PC, XB-10PC, XB-20PC AS NEEDED	
	EMITTER ASSEMBLY MULTI-PORT (1 GPH & 2 GPH)	RAINBIRD XBT-10-6, XBT-20-6; 1 PER TREE; SHRUBS WITH SAME FLOW RATE TO SHARE	
	END CAP	REFER TO DETAILS	
	VALVE NUMBER / TYPE		
	GALLONS PER MINUTE		



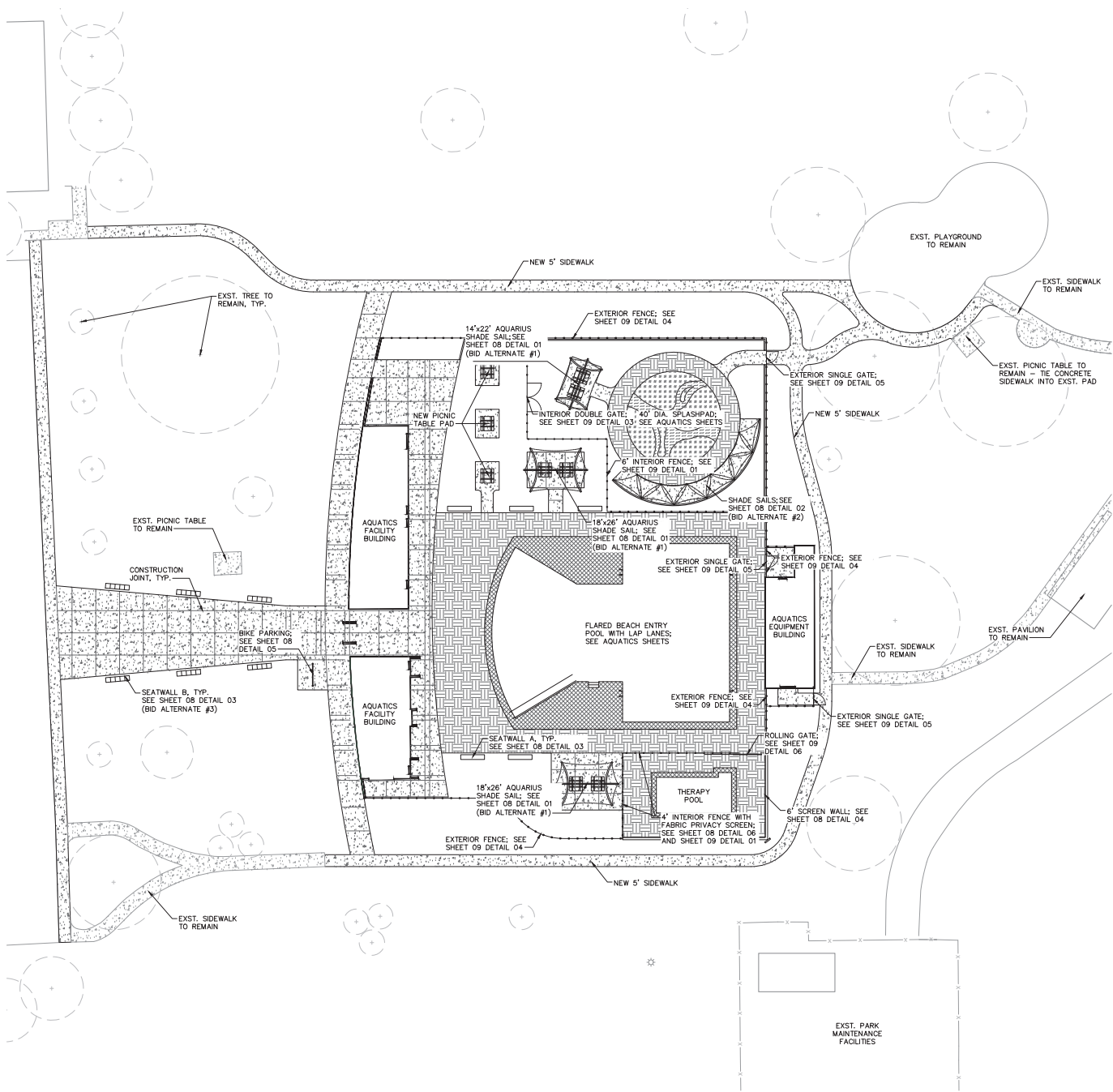
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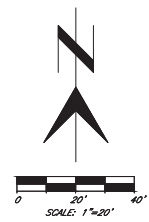


Sheet Title: <b>LANDSCAPE NOTES</b>	
Project number:	098134087
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Drawn by:	JS
Checked by:	RF
Sheet ID:	LSN01
Sheet Number:	06 of 18



**HARDSCAPE HATCH LEGEND**

SYMBOL	SURFACE TREATMENT	QTY
	CONCRETE SIDEWALK	18,205 S.F.
	ACRYLIC CONCRETE POOL DECK COLOR: LIGHT GREY OR APPROVED EQUAL	8,370 S.F.
	ACRYLIC CONCRETE POOL DECK COLOR: MESA BUFF OR APPROVED EQUAL	2,455 S.F.
	SPLASH PAD SURFACING BY LIFE FLOOR COLOR: SEAFOAM OR APPROVED EQUAL	930 S.F.
	SPLASH PAD SURFACING BY LIFE FLOOR COLOR: AVIATOR OR APPROVED EQUAL	330 S.F.



MISSION MANOR PARK  
NEW POOL & SPLASH PAD  
6100 S 12TH AVE  
TUCSON, AZ



Revision Record

No.	Description	Date
1		
2		
3		



Sheet Title:  
**HARDSCAPE PLAN**

Project number: 098134087  
Date: 09.08.2023

Designed by: JS  
Drawn by: JS  
Checked by: RF

Sheet ID:  
**HS01**

Sheet Number: 07 of 18

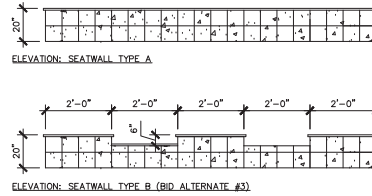




- NOTES:
1. COLOURSHADE FABRIC IN BLUE TO BEST MATCH EXISTING PLAYGROUND SHADE STRUCTURE
  2. POSTS TO BE FINISHED IN TELE-GRAY POWDER COAT
  3. SIZE VARIES; SEE PLANS FOR DIMENSIONS

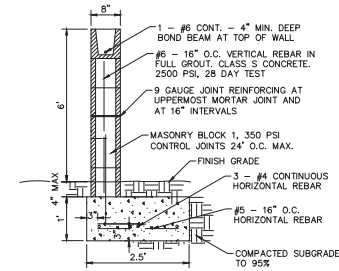
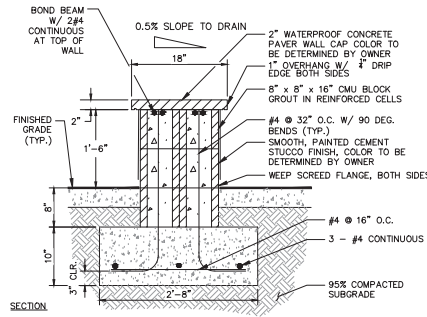
1 USA SHADE: AQUARIUS MODEL  
 BID ALTERNATE #1

NTS



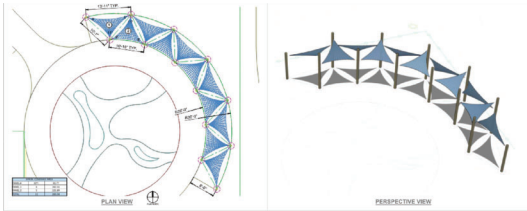
3 SEAT WALL

NTS



4 6' TALL SCREEN WALL

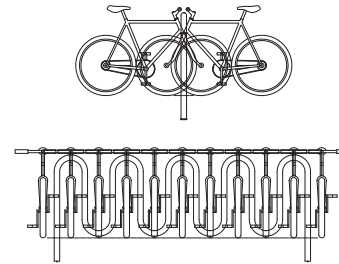
NTS



- NOTES:
1. FIRST COLOURSHADE FABRIC IN BLUE TO BEST MATCH EXISTING PLAYGROUND SHADE STRUCTURE
  2. SECOND ACCENT COLOURSHADE FABRIC COLOR TO BE DETERMINED
  3. POSTS TO BE FINISHED IN TELE-GRAY POWDER COAT

2 USA SHADE: THREE POINT SAIL  
 BID ALTERNATE #2

NTS



- NOTES:
1. IN-GROUND MOUNT.
  2. COLOR: POWDER-COAT LIGHT GRAY

5 DERO ROLLING BIKE RACK  
 MODEL #: RR5H - IG

NTS



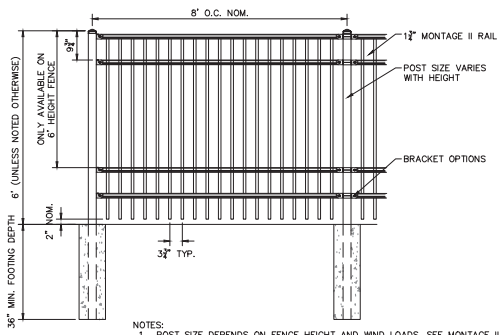
- NOTES:
1. COLOR TO BE BLUE OR PER OWNER DIRECTION

6 FABRIC FENCE PRIVACY SCREEN

NTS

No.	Description	Date
1		
2		
3		

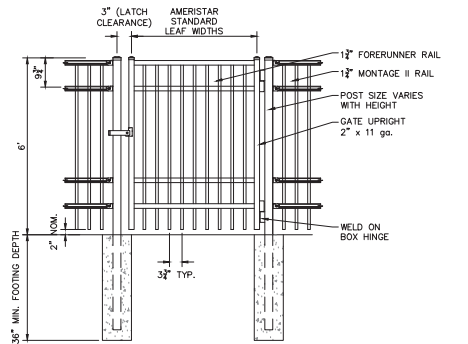




- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART AND SETTING DIMENSIONS.
  2. THIRD & FOURTH RAIL OPTIONAL.
  3. AVAILABLE IN FLUSH BOTTOM.
  4. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

1 AMERISTAR MONTAGE II MAJESTIC FENCE

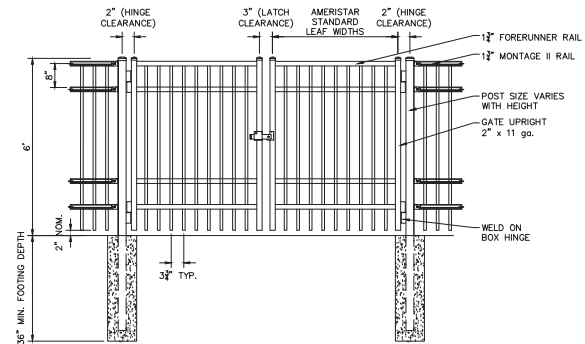
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- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
  2. SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
  3. ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH & HINGE CLEARANCE.
  4. THIRD & FOURTH RAIL OPTIONAL.
  5. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

2 AMERISTAR MONTAGE II MAJESTIC SINGLE GATE

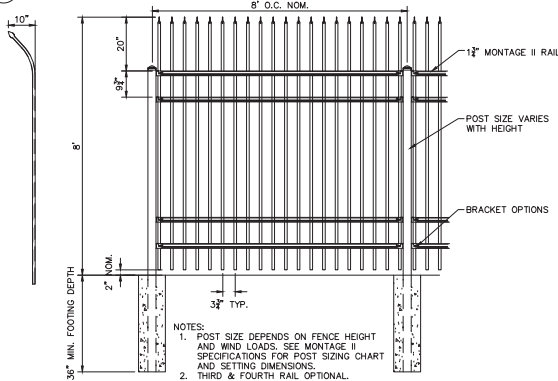
NTS



- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
  2. SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
  3. ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH & HINGE CLEARANCE.
  4. THIRD & FOURTH RAIL OPTIONAL.
  5. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

3 AMERISTAR MONTAGE II GENESIS DOUBLE GATE

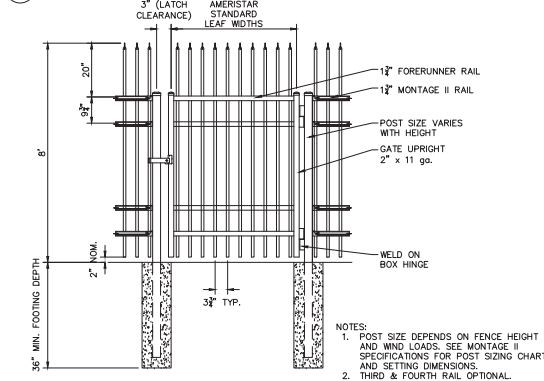
NTS



- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART AND SETTING DIMENSIONS.
  2. THIRD & FOURTH RAIL OPTIONAL.
  3. AVAILABLE IN FLUSH BOTTOM.
  4. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

4 AMERISTAR MONTAGE II INVINCIBLE FENCE

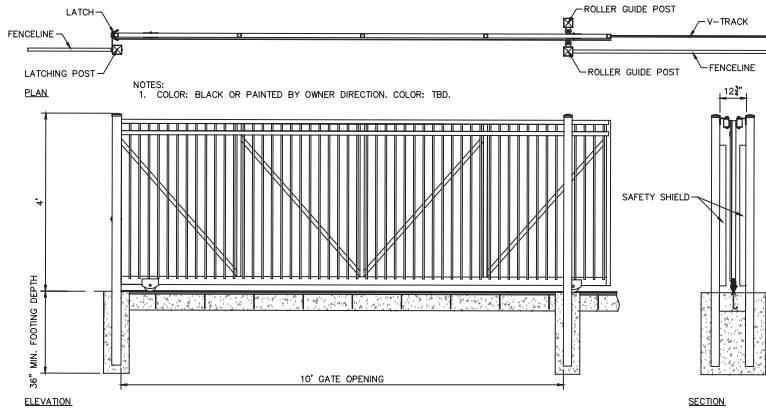
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- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART AND SETTING DIMENSIONS.
  2. THIRD & FOURTH RAIL OPTIONAL.
  3. AVAILABLE IN FLUSH BOTTOM.
  4. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

5 AMERISTAR MONTAGE II INVINCIBLE SINGLE GATE

NTS

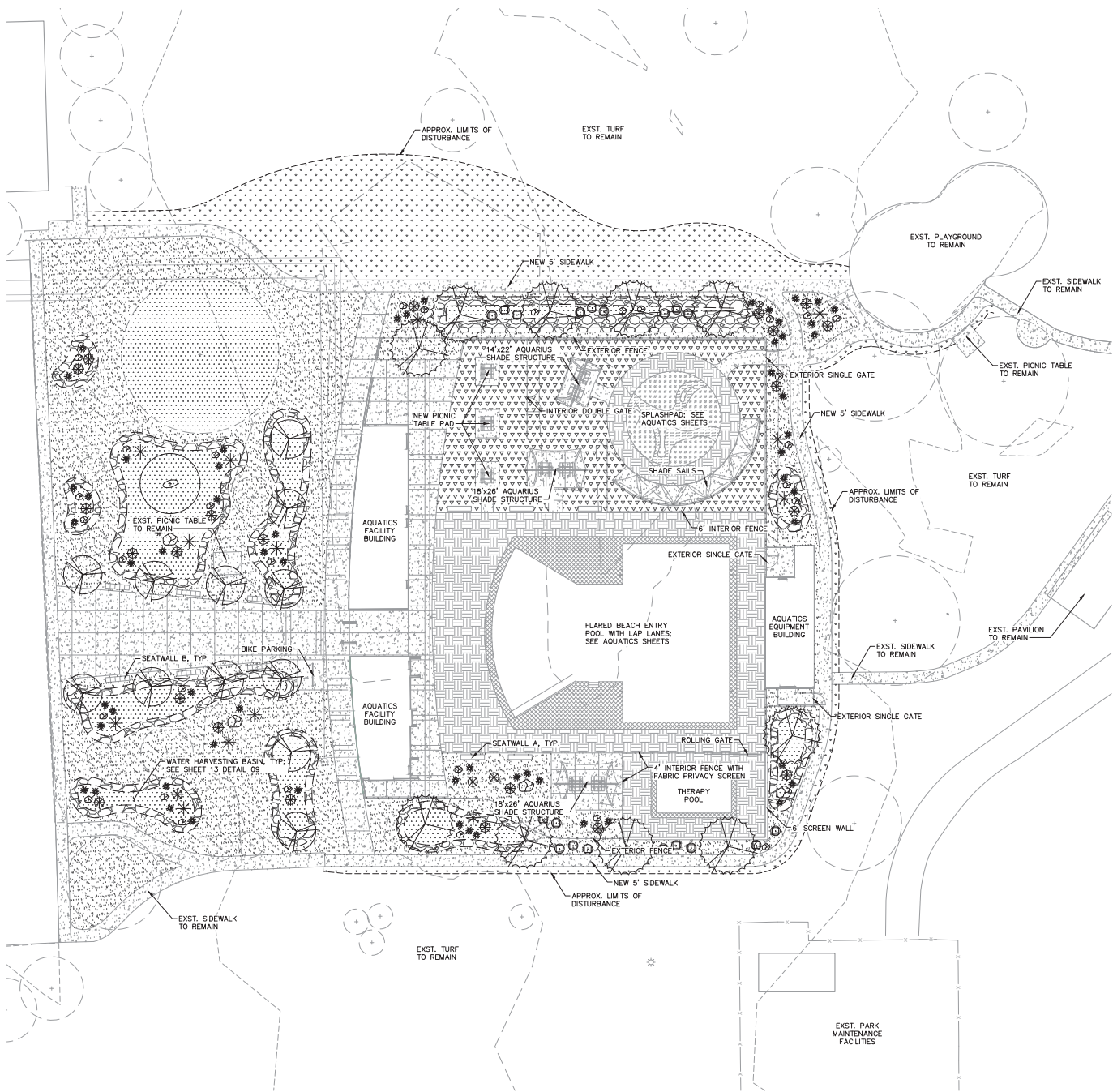


- NOTES:
1. COLOR: BLACK OR PAINTED BY OWNER DIRECTION. COLOR: TBD.

6 AMERISTAR PASSPORT COMMERCIAL MAJESTIC ROLLING GATE

NTS

No.	Description	Date
1		
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**PLANTING LEGEND**

TREES			
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY. GPH
	CHILOPSIS LINEARIS 'SWEET BUBBA' SEEDLESS DESERT WILLOW	24" BOX	19 6
	OLNEYA TESTOSA DESERT IRONWOOD	24" BOX	09 6
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	24" BOX	08 6
	PISTACIA CHINENSIS CHINESE PISTACHE	24" BOX	10 6
	PROSOPIS VELUTINA VELVET MESQUITE	24" BOX	14 6

LANDSCAPE ACCENTS			
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY. GPH
	ALOYSIA WRIGHTII WRIGHT'S BEE BUSH	5 GAL.	51 1
	ANISACANTHUS THURBERI DESERT HONEYSUCKLE	5 GAL.	26 1
	ARISTIDA PURPUREA PURPLE THREE-AWN	1 GAL.	101 1
	ASCLEPIAS LINEARIA PINELEAF MILKWEED	5 GAL.	40 1
	ASCLEPIAS SUBULATA DESERT MILKWEED	5 GAL.	19 1
	ATRIPLEX LENTIFORMIS BIG SALTBUCH	5 GAL.	16 1
	BAILEYA MULTIRADIATA DESERT MARIGOLD	1 GAL.	36 1
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	25 1
	FOUQUIERIA SPLENDENS COACHWHIP OCOTILLO	5 GAL.	14 1
	JUSTICA CALIFORNICA CHUPAROSA	5 GAL.	24 1
	LARREA TRIDENTATA CREOSOTE	5 GAL.	48 1
	LEUCOPHYLLUM CANDIDUM TEXAS RANGER	5 GAL.	20 1
	LYGIUM BERLANDIERI BERLANDIER'S WOLFBERRY	5 GAL.	16 1
	MUHLENBERGIA EMERSLEYI BULL GRASS	5 GAL.	146 1
	SPHAERALCEA AMBIGUA GLOBEMALLOW	5 GAL.	61 1
	VERBENA GOODDINGII GOODINGS VERBENA	1 GAL.	35 1

LANDSCAPE ACCENTS		
SYMBOL	MATERIAL	QTY.
	6" LANDSCAPE BOULDER	23
	3" LANDSCAPE BOULDER	87

HATCHES		
SYMBOL	SURFACE TREATMENT	QTY.
	TURF - BERMUDA SOD	10,425 S.F.
	SYNTHETIC TURF - SHEET 13 DETAIL 08	5,250 S.F.
	DECOMPOSED GRANITE	21,920 S.F.
	3-4" WOOD MULCH WITH FINES (TANK'S GREEN STUFF OR APPROVED EQUAL)	42,010 S.F.
	DESERT COBBLE	11,500 S.F.



Revision Record		
No.	Description	Date
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ARIZONA  
Soil B1 or other approved material

Sheet Title:  
**LANDSCAPE PLAN**

Project number: 098134087  
Date: 09.08.2023  
Designed by: JS  
Drawn by: JS  
Checked by: RF  
Sheet ID: LS01  
Sheet Number: 10 of 18



Revision Record		
No.	Description	Date
1		
2		
3		

Sheet Title:  
**LANDSCAPE PLAN - WEST CSI**

Project number: 098134087  
 Date: 09.08.2023  
 Designed by: JS  
 Drawn by: JS  
 Checked by: RF

Sheet ID:  
**LS02**

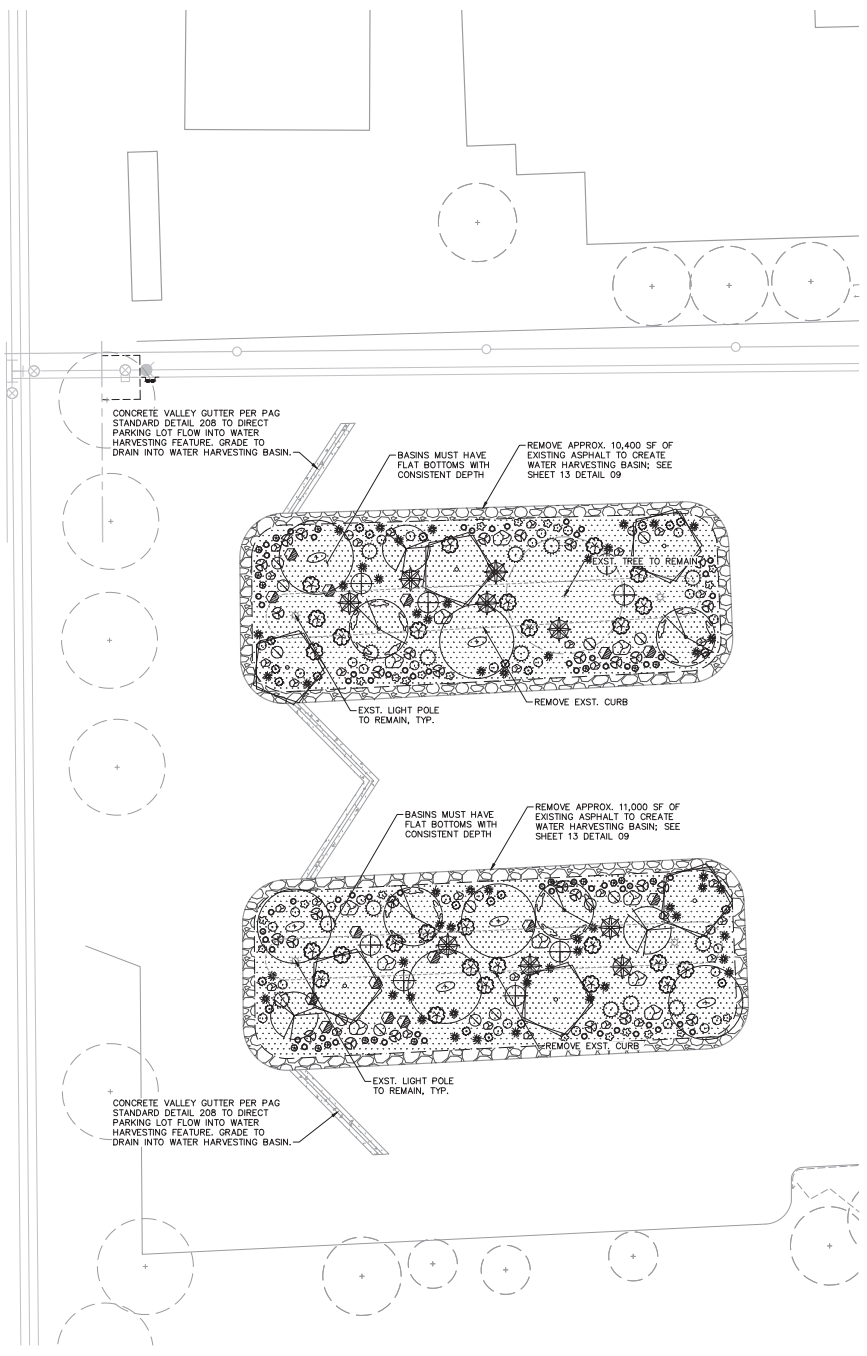
**PLANTING LEGEND**

TREES				
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY.	GPH
	CHILOPSIS LINEARIS 'SWEET BUBBA' SEEDLESS DESERT WILLOW	24" BOX	19	6
	OLNEYA TESTOSA DESERT IRONWOOD	24" BOX	09	6
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	24" BOX	08	6
	PISTACIA CHINENSIS CHINESE PISTACHE	24" BOX	10	6
	PROSOPIS VELUTINA VELVET MESQUITE	24" BOX	14	6

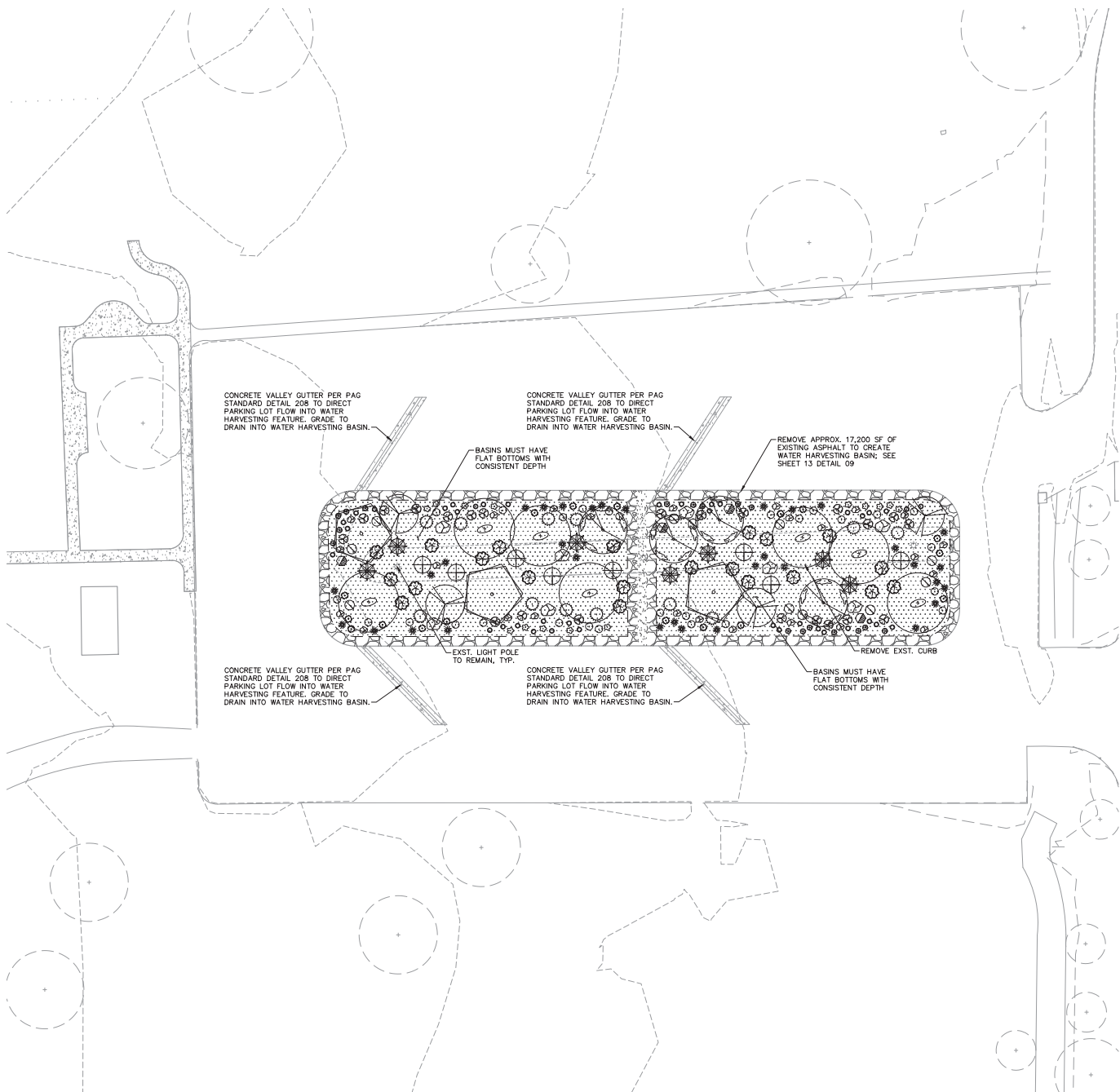
LANDSCAPE ACCENTS				
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY.	GPH
	ALOYSIA WRIGHTII WRIGHT'S BEE BUSH	5 GAL.	51	1
	ANISACANTHUS THURBERI DESERT HONEYSUCKLE	5 GAL.	26	1
	ARISTIDA PURPUREA PURPLE THREE-AWN	1 GAL.	101	1
	ASCLEPIAS LINEARIA PINELEAF MILKWEED	5 GAL.	40	1
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	BAILEYA MULTIRADIATA DESERT MARIGOLD	1 GAL.	36	1
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	25	1
	FOUQUIERIA SPLENDENS COACHWHIP OCOTILLO	5 GAL.	14	1
	JUSTICA CALIFORNICA CHUPAROSA	5 GAL.	24	1
	LARREA TRIDENTATA CREOSOTE	5 GAL.	48	1
	LEUCOPHYLLUM CANDIDUM TEXAS RANGER	5 GAL.	20	1
	LYCIUM BERLANDIERI BERLANDIER'S WOLFBERRY	5 GAL.	16	1
	MUHLENBERGIA EMERSLEYI BULL GRASS	5 GAL.	146	1
	SPHAERALCEA AMBIGUA GLOBEMALLOW	5 GAL.	61	1
	VERBENA GOODINGII GOODING'S VERBENA	1 GAL.	35	1

LANDSCAPE ACCENTS		
SYMBOL	MATERIAL	QTY.
	6" LANDSCAPE BOULDER	23
	3" LANDSCAPE BOULDER	87

HATCHES		
SYMBOL	SURFACE TREATMENT	QTY.
	TURF - BERMUDA SOD	10,425 S.F.
	SYNTHETIC TURF - SHEET 13 DETAIL 08	5,250 S.F.
	DECOMPOSED GRANITE	21,920 S.F.
	3-4" WOOD MULCH WITH FINES (TANK'S GREEN STUFF OR APPROVED EQUAL)	42,010 S.F.
	DESERT COBBLE	11,500 S.F.







**PLANTING LEGEND**

TREES				
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	QTY.	GPH
	CHILOPSIS LINEARIS 'SWEET BUBBA' SEEDLESS DESERT WILLOW	24" BOX	19	6
	OLNEYA TESTOSA DESERT IRONWOOD	24" BOX	09	6
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	24" BOX	08	6
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LANDSCAPE ACCENTS				
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	ASCLEPIAS LINEARIA PINELEAF MILKWEED	5 GAL.	40	1
	ASCLEPIAS SUBULATA DESERT MILKWEED	5 GAL.	19	1
	ATRIPLEX LENTIFORMIS BIG SALTBUCH	5 GAL.	16	1
	BAILEYA MULTIRADIATA DESERT MARIGOLD	1 GAL.	36	1
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	25	1
	FOUQUIERIA SPLENDENS COACHWHIP OCOTILLO	5 GAL.	14	1
	JUSTICA CALIFORNICA CHUPAROSA	5 GAL.	24	1
	LARREA TRIDENTATA CREOSOTE	5 GAL.	48	1
	LEUCOPHYLLUM CANDIDUM TEXAS RANGER	5 GAL.	20	1
	LYGIUM BERLANDIERI BERLANDIER'S WOLFBERRY	5 GAL.	16	1
	MUHLENBERGIA EMERSLEYI BULL GRASS	5 GAL.	146	1
	SPHAERALCEA AMBIGUA GLOBEMALLOW	5 GAL.	61	1
	VERBENA GOODINGII GOODINGS VERBENA	1 GAL.	35	1

LANDSCAPE ACCENTS		
SYMBOL	MATERIAL	QTY.
	6" LANDSCAPE BOULDER	23
	3" LANDSCAPE BOULDER	87

HATCHES		
SYMBOL	SURFACE TREATMENT	QTY.
	TURF -- BERMUDA SOD	10,425 S.F.
	SYNTHETIC TURF -- SHEET 13 DETAIL 08	5,250 S.F.
	DECOMPOSED GRANITE	21,920 S.F.
	3-4" WOOD MULCH WITH FINES (TANK'S GREEN STUFF OR APPROVED EQUAL)	42,010 S.F.
	DESERT COBBLE	11,500 S.F.



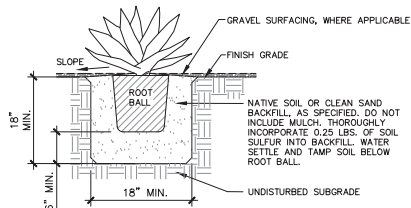
**MISSION MANOR PARK**  
**NEW POOL & SPLASH PAD**  
 6100 S 12TH AVE  
 TUCSON, AZ



Revision Record		
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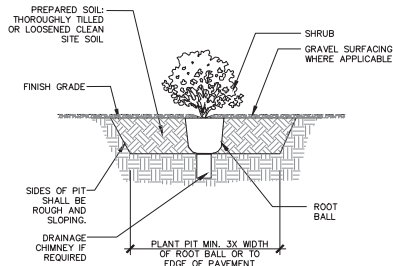


Sheet Title:  
**LANDSCAPE PLAN - EAST CSI**  
 Project number: 098134087  
 Date: 09.08.2023  
 Designed by: JS  
 Drawn by: JS  
 Checked by: RF  
 Sheet ID:  
**LS03**  
 Sheet Number: 12 of 18

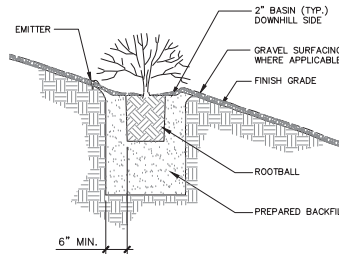


- NOTES:**
- DO NOT CREATE A BASIN AT BASE OF PLANT. SLOPE BACKFILL AWAY FROM STEM.
  - SET STEM SUCCULENT SO THAT TOP OF ROOT BALL MATCHES ADJACENT GRADE.
  - THIS DETAIL APPLIES TO NURSERY GROWN STOCK OF THE GENERA DASYLIRON, OPUNTIA, HESPERALOE AND NOLINA.

1 SUCCULENT PLANTING NTS

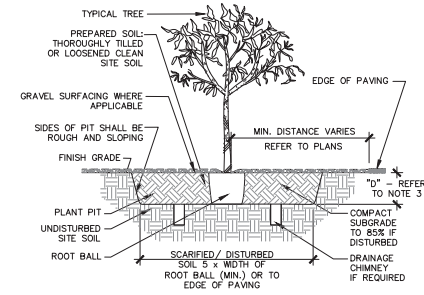


2 SHRUB PLANTING NTS



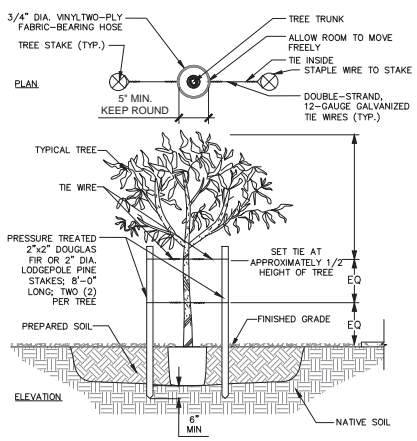
- NOTES:**
- LOCATE EMITTER UP SLOPE OF PLANT.
  - FINISH GRADE 3:1 SLOPE MAX.

3 PLANTING ON SLOPES (3:1 MAX) NTS



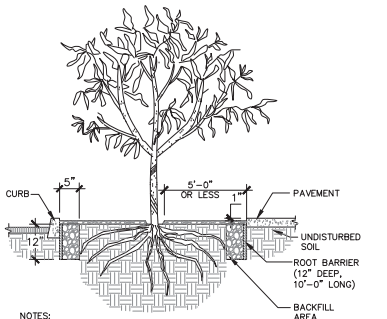
- NOTES:**
- NO PLANTS SHALL BE PRUNED EXCEPT AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
  - STAKE TREE ONLY IF NEEDED, PER DIRECTION OF OWNER'S REPRESENTATIVE. REFER TO TREE STAKING DETAIL.
  - DEPTH (D<sub>1</sub>) OF PLANT PIT TO BE EQUAL TO DEPTH OF ROOT BALL.
  - MULCH TO NOT TOUCH TRUNK OF TREE.

4 TREE PLANTING DETAIL NTS



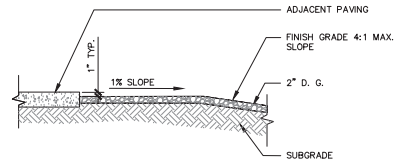
- NOTES:**
- NO PLANTS SHALL BE PRUNED EXCEPT AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
  - STAKE TREES ONLY AS DIRECTED BY OWNER'S REPRESENTATIVE.
  - SET STAKES PARALLEL TO SIDEWALK AND PAVEMENT

5 TREE STAKING NTS

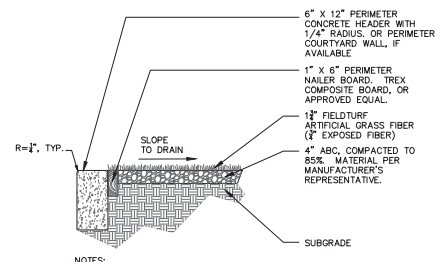


- NOTES:**
- REFER TO OTHER DETAILS FOR PLANTING AND STAKING AS REQUIRED.

6 TREE PLANTING AT SIDEWALK NTS

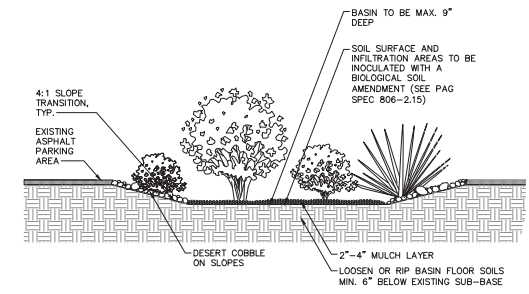


7 FINISH GRADE AT PAVING WITH DECOMPOSED GRANITE NTS



- NOTES:**
- APPLY CONCRETE HEADER IN LOCATIONS WHERE NO PERIMETER WALL ABUTS SYNTHETIC TURF AREAS.
  - CONCRETE HEADER SHALL COMPLY WITH SECTION 908 OF THE CITY OF TUCSON / PIMA COUNTY STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2003 EDITION.

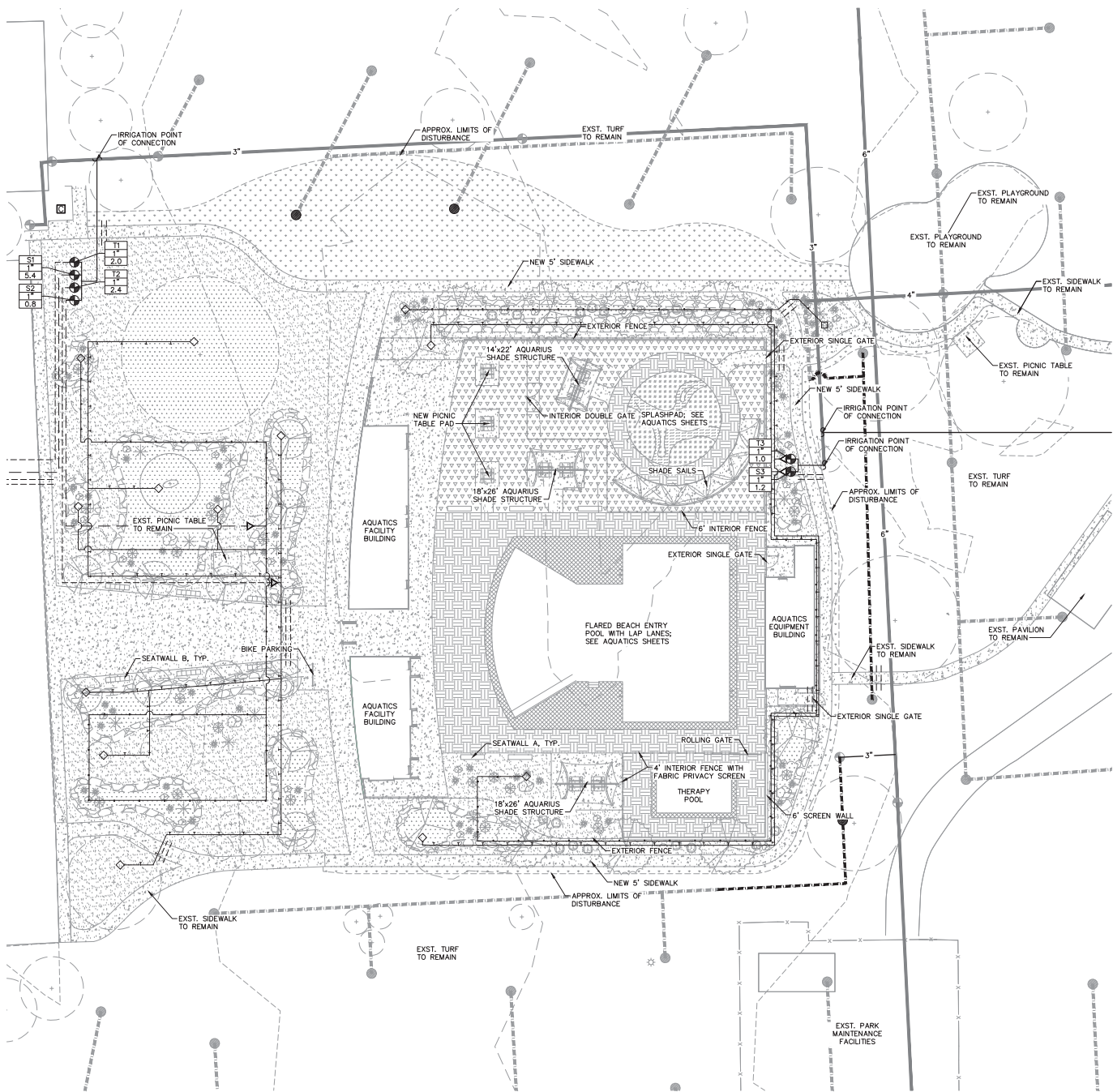
8 SYNTHETIC TURF NTS



- NOTES:**
- CONTRACTOR TO SPRAY PAINT LAYOUT OF GSI FEATURES FOR APPROVAL OF ENGINEER PRIOR TO INSTALLATION.
  - PERCOLATION TEST SHALL BE CONDUCTED AT EACH GSI FEATURE LOCATION.

9 WATER HARVESTING BASIN NTS

Revision Record		
No.	Description	Date
1		
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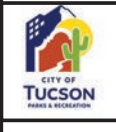


**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	PRODUCT	SIZE
☐	CONTROLLER - PEDESTAL MOUNT RAINBIRD PSM-LJME2	RAINBIRD ESP4ME3 W/ RSDBOX	12 STATIONS
⊕	EXISTING REMOTE CONTROL VALVE ASSEMBLY TO REMAIN	---	---
●	EXISTING TURF ROTOR TO REMAIN	---	---
△	PRESSURE REGULATOR	SENNIGER PMR35MF	1"
⊕	REMOTE CONTROL VALVE ASSEMBLY W/ FILTER	GRISWOLD DWS-100R W/ 200 MESH AMIAD FILTER	1"
●	TURF ROTOR	MATCH EXISTING	
NOT SHOWN	FILTER	RAINBIRD RBY-100-200MX 1" Y FILTER W/200 MESH SCREEN	
---	EXISTING MAINLINE TO REMAIN	---	AS NOTED
---	MAIN LINE	PVC SCH 40 (PURPLE)	1" U.N.O.
---	EXISTING TURF LATERAL TO REMAIN	---	---
---	TURF LATERAL	PVC SCH 40 (PURPLE)	MATCH EXISTING
---	TREE SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
---	SHRUB SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
---	TREE LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
---	SHRUB LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
---	SLEEVE	PVC SCH 40 (PURPLE)	4" U.N.O.
NOT SHOWN	MANIFOLD ASSEMBLY MULTI-PORT; (.5 GPH, 1 GPH, & 2 GPH)	RAINBIRD EMT-6XERI W/ XB-05PC, XB-10PC, XB-20PC AS NEEDED	
NOT SHOWN	EMITTER ASSEMBLY MULTI-PORT (1 GPH & 2 GPH)	RAINBIRD XBT-10-6, XBT-20-6; 1 PER TREE, SHRUBS WITH SAME FLOW RATE TO SHARE	
◇	END CAP	REFER TO DETAILS	
S-1 XX GPM	VALVE NUMBER / TYPE VALVE SIZE GALLONS PER MINUTE		

**IRRIGATION SHEET NOTE**

1. EXCAVATE AND EXPOSE EXISTING X-INCH IRRIGATION MAINLINE PIPE AT THIS APPROXIMATE LOCATION. CONNECT TO EXISTING MAINLINE PIPE AND INSTALL NEW PVC MAINLINE AND TWO-WIRE PATH WIRE FROM CONTROLLER ASSEMBLY. EXISTING IRRIGATION EQUIPMENT OUTSIDE OF LIMITS OF CONSTRUCTION ARE TO REMAIN FULLY OPERATIONAL THROUGHOUT CONSTRUCTION. CONFIRM LOCATION AND SIZE OF EXISTING MAINLINE PIPE PRIOR TO CONSTRUCTION.



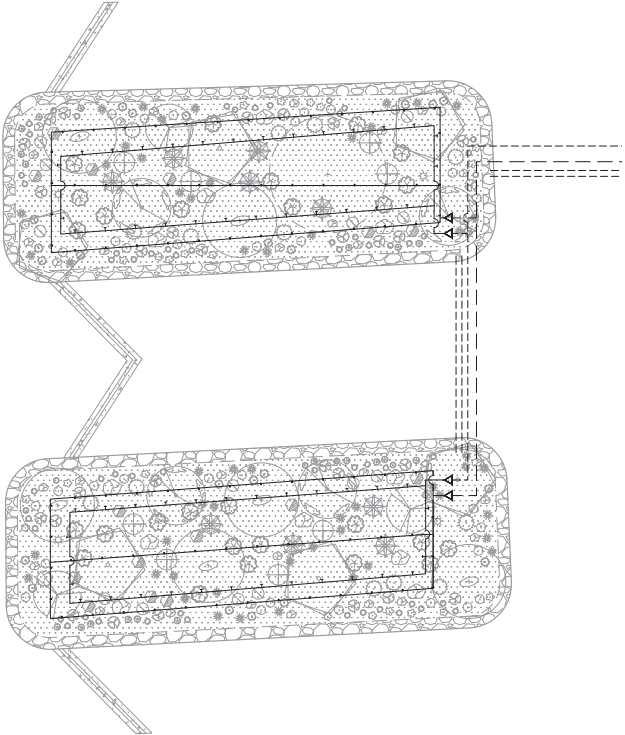
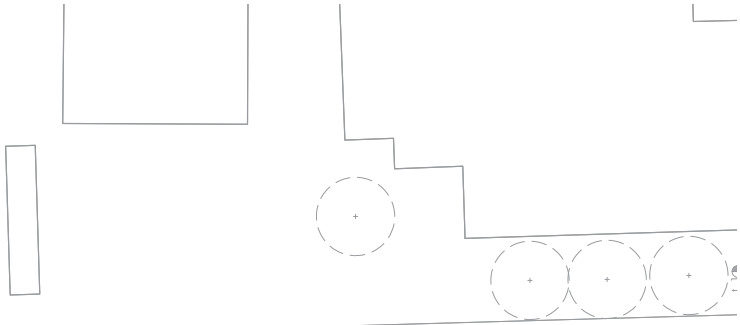
MISSION MANOR PARK  
NEW POOL & SPLASH PAD  
6100 S 12TH AVE  
TUCSON, AZ



No.	Description	Date
1		
2		
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Project number:	098134087
Date:	09.08.2023
Designed by:	JS
Drawn by:	JS
Checked by:	RF
Sheet ID:	IR01
Sheet Number:	14 of 18





**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	PRODUCT	SIZE
	CONTROLLER - PEDESTAL MOUNT RAINBIRD PSM-LIME2	RAINBIRD ESP4ME3 W/ RSDBEX	12 STATIONS
	EXISTING REMOTE CONTROL VALVE ASSEMBLY TO REMAIN	---	---
	EXISTING TURF ROTOR TO REMAIN	---	---
	PRESSURE REGULATOR	SENNIGER PMR35MF	1"
	REMOTE CONTROL VALVE ASSEMBLY W/ FILTER	GRISWOLD DWS-100R W/ 200 MESH AMIAD FILTER	1"
	TURF ROTOR	MATCH EXISTING	
NOT SHOWN	FILTER	RAINBIRD RBY-100-200MX 1" Y FILTER W/200 MESH SCREEN	
	EXISTING MAINLINE TO REMAIN	---	AS NOTED
	MAIN LINE	PVC SCH 40 (PURPLE)	1" U.N.O.
	EXISTING TURF LATERAL TO REMAIN	---	---
	TURF LATERAL	PVC SCH 40 (PURPLE)	MATCH EXISTING
	TREE SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
	SHRUB SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
	TREE LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
	SHRUB LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
	SLEEVE	PVC SCH 40 (PURPLE)	4" U.N.O.
NOT SHOWN	MANIFOLD ASSEMBLY MULTI-PORT; (.5 GPH, 1 GPH, & 2 GPH)	RAINBIRD EMT-6XERI W/ XB-05PC, XB-10PC, XB-20PC AS NEEDED	
NOT SHOWN	EMITTER ASSEMBLY MULTI-PORT (1 GPH & 2 GPH)	RAINBIRD XBT-10-6, XBT-20-6; 1 PER TREE; SHRUBS WITH SAME FLOW RATE TO SHARE	
	END CAP	REFER TO DETAILS	
	VALVE NUMBER / TYPE VALVE SIZE GALLONS PER MINUTE		

**IRRIGATION SHEET NOTE**

1. EXCAVATE AND EXPOSE EXISTING X-INCH IRRIGATION MAINLINE PIPE AT THIS APPROXIMATE LOCATION. CONNECT TO EXISTING MAINLINE PIPE AND INSTALL NEW PVC MAINLINE AND TWO-WIRE PATH WIRE FROM CONTROLLER ASSEMBLY. EXISTING IRRIGATION EQUIPMENT OUTSIDE OF LIMITS OF CONSTRUCTION ARE TO REMAIN FULLY OPERATIONAL THROUGHOUT CONSTRUCTION. CONFIRM LOCATION AND SIZE OF EXISTING MAINLINE PIPE PRIOR TO CONSTRUCTION.



MISSION MANOR PARK  
NEW POOL & SPLASH PAD  
6100 S 12TH AVE  
TUCSON, AZ



Revision Record

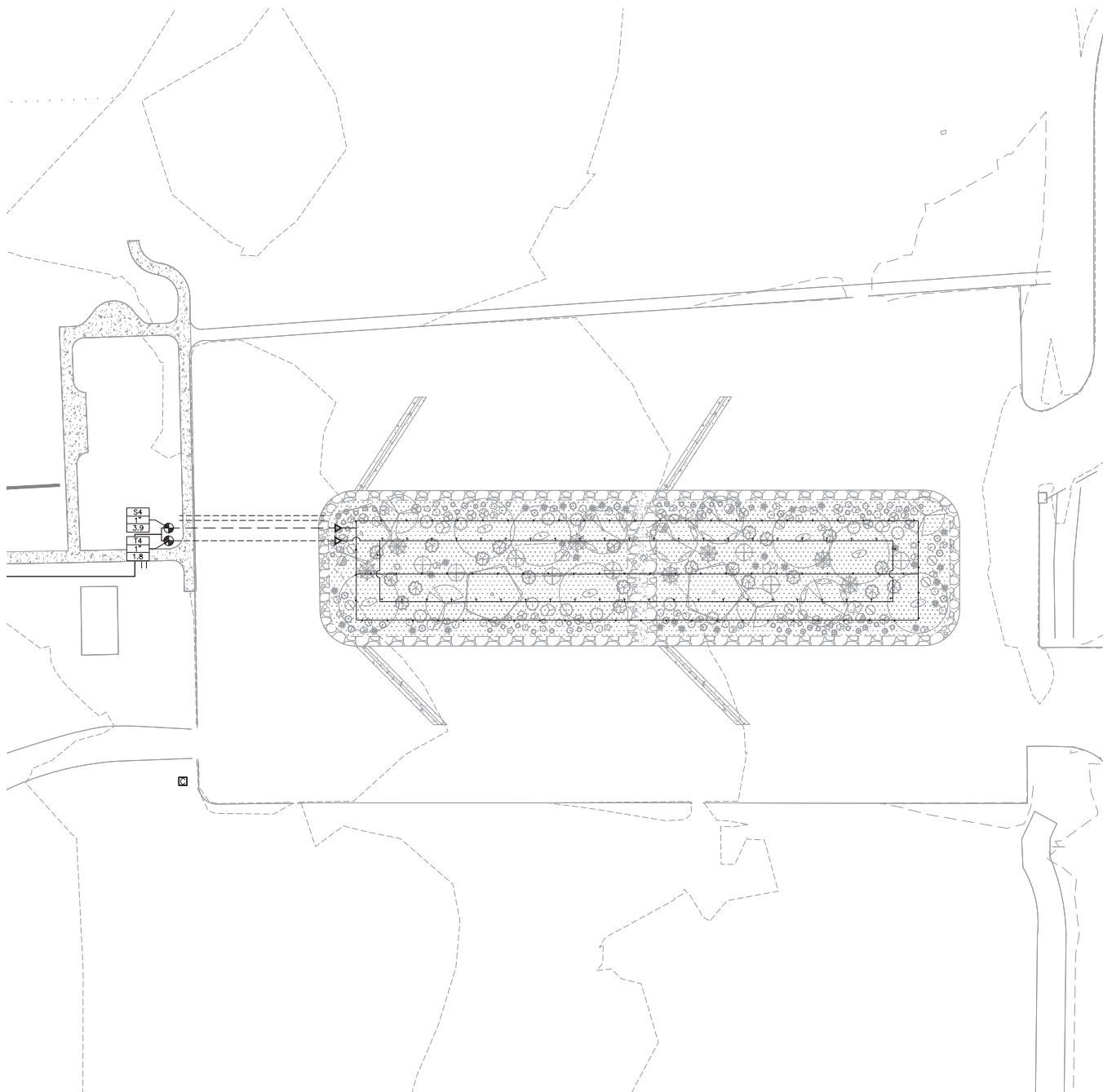
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Sheet Title:  
**IRRIGATION PLAN - WEST GSI**

Project number: 098134087  
Date: 09.08.2023  
Designed by: JS  
Drawn by: JS  
Checked by: RF  
Sheet ID:  
**IR02**  
Sheet Number: 15 of 18





**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	PRODUCT	SIZE
☐	CONTROLLER -- PEDESTAL MOUNT RAINBIRD PSM-L3ME2	RAINBIRD ESP4ME3 W/ RSDBEK	12 STATIONS
⊕	EXISTING REMOTE CONTROL VALVE ASSEMBLY TO REMAIN	---	---
●	EXISTING TURF ROTOR TO REMAIN	---	---
▲	PRESSURE REGULATOR	SENNIGER PMR35MF	1"
⊕	REMOTE CONTROL VALVE ASSEMBLY W/ FILTER	GRISWOLD DWS-100R W/ 200 MESH AMIAD FILTER	1"
●	TURF ROTOR	MATCH EXISTING	
NOT SHOWN	FILTER	RAINBIRD RBY-100-200MX 1" Y FILTER W/200 MESH SCREEN	
---	EXISTING MAINLINE TO REMAIN	---	AS NOTED
---	MAIN LINE	PVC SCH 40 (PURPLE)	1" U.N.O.
---	EXISTING TURF LATERAL TO REMAIN	---	---
---	TURF LATERAL	PVC SCH 40 (PURPLE)	MATCH EXISTING
---	TREE SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
---	SHRUB SUB-MAIN LINE	PVC SCH 40 (PURPLE)	3/4"
---	TREE LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
---	SHRUB LATERAL LINE	PVC SCH 40 (PURPLE)	1/2"
---	SLEEVE	PVC SCH 40 (PURPLE)	4" U.N.O.
NOT SHOWN	MANIFOLD ASSEMBLY MULTI-PORT; (.5 GPH, 1 GPH, & 2 GPH)	RAINBIRD EMT-6XERI W/ XB-05PC, XB-10PC, XB-20PC AS NEEDED	
NOT SHOWN	EMITTER ASSEMBLY MULTI-PORT (1 GPH & 2 GPH)	RAINBIRD XBT-10-6, XBT-20-6; 1 PER TREE, SHRUBS WITH SAME FLOW RATE TO SHARE	
---	END CAP	REFER TO DETAILS	
☐	VALVE NUMBER / TYPE VALVE SIZE GALLONS PER MINUTE		

**IRRIGATION SHEET NOTE**

1. EXCAVATE AND EXPOSE EXISTING X-INCH IRRIGATION MAINLINE PIPE AT THIS APPROXIMATE LOCATION. CONNECT TO EXISTING MAINLINE PIPE AND INSTALL NEW PVC MAINLINE AND TWO-WIRE PATH WIRE FROM CONTROLLER ASSEMBLY. EXISTING IRRIGATION EQUIPMENT OUTSIDE OF LIMITS OF CONSTRUCTION ARE TO REMAIN FULLY OPERATIONAL THROUGHOUT CONSTRUCTION. CONFIRM LOCATION AND SIZE OF EXISTING MAINLINE PIPE PRIOR TO CONSTRUCTION.



**MISSION MANOR PARK**  
**NEW POOL & SPLASH PAD**  
 6100 S 12TH AVE  
 TUCSON, AZ



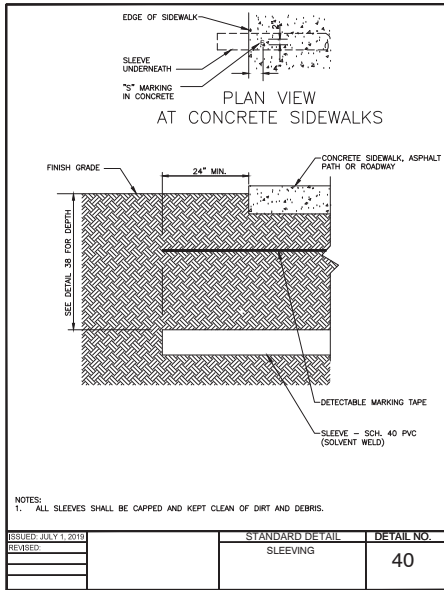
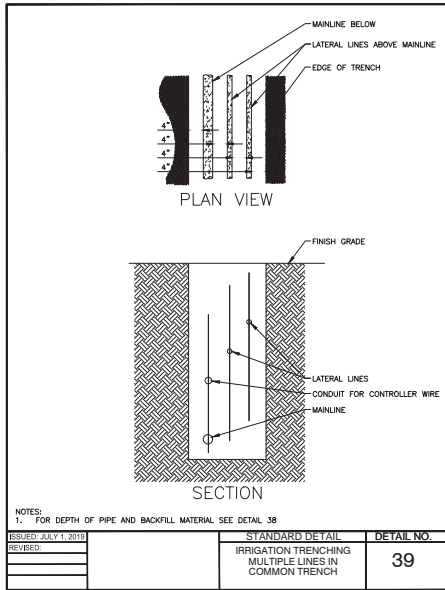
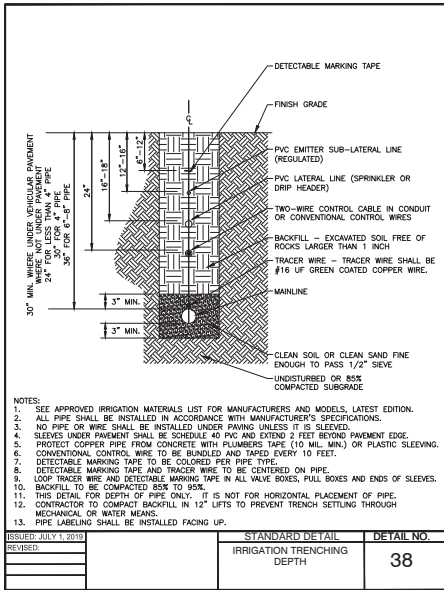
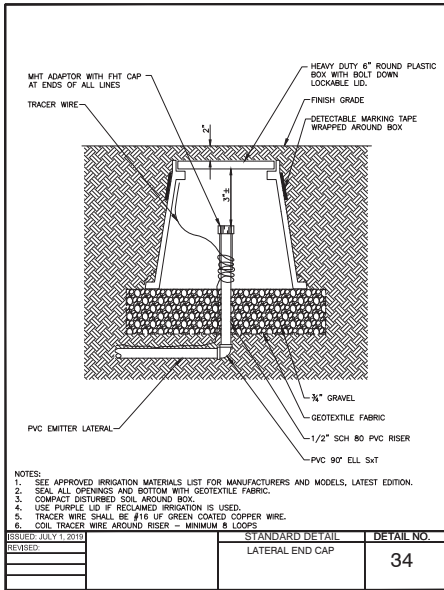
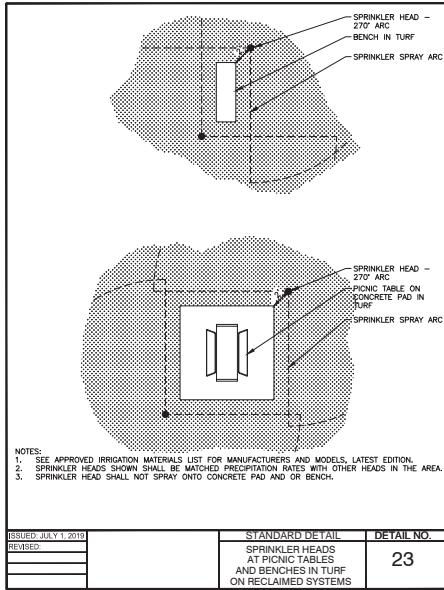
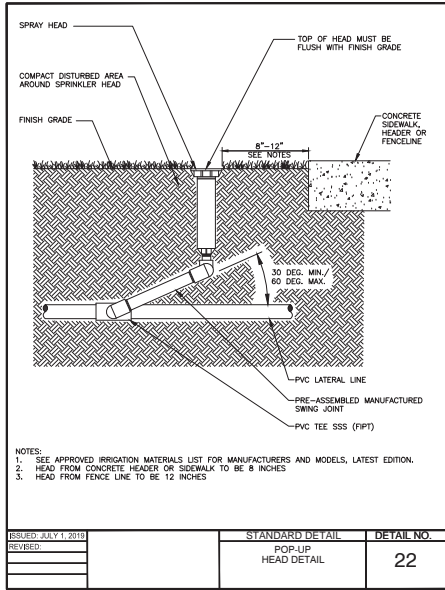
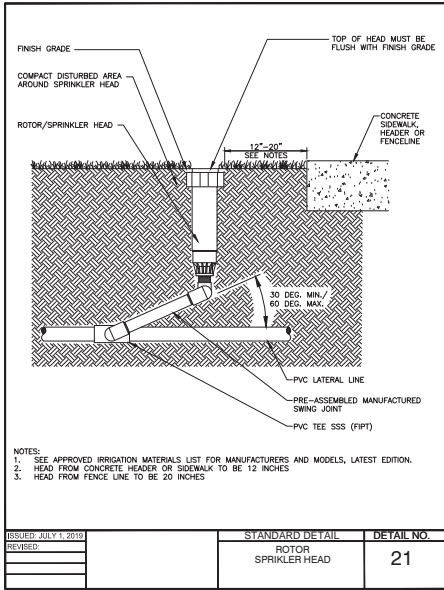
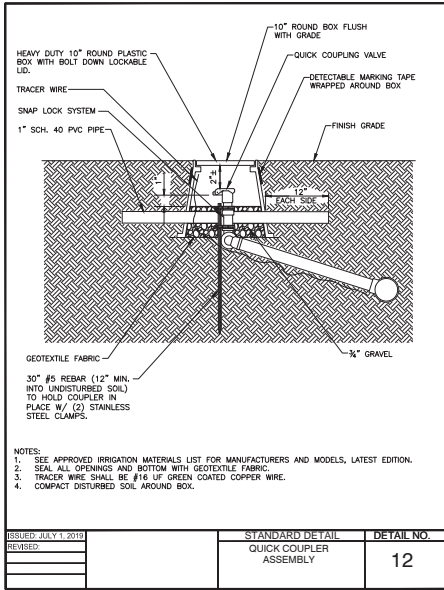
Revision Record

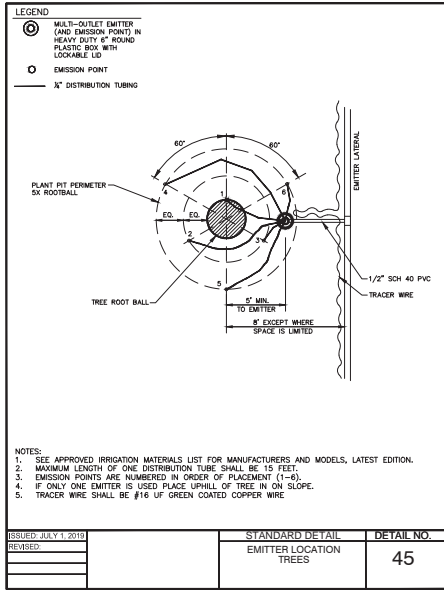
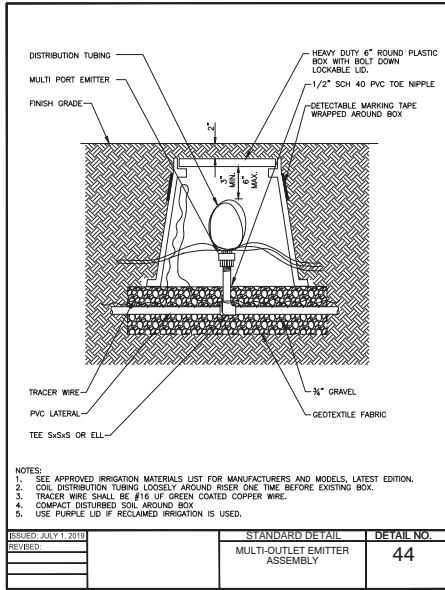
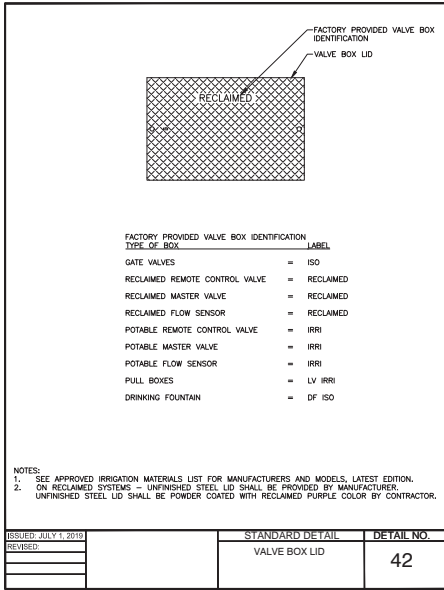
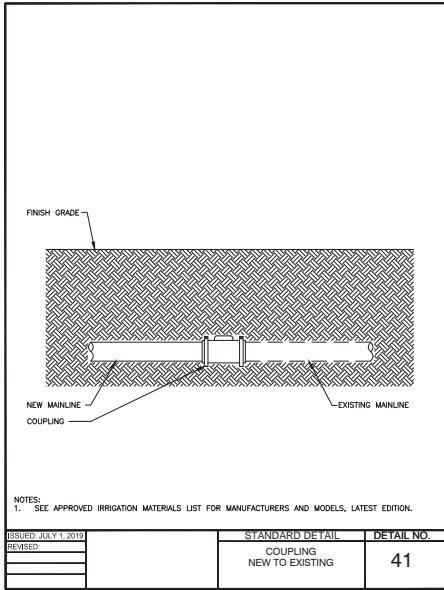
No.	Description	Date
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Sheet Title:  
**IRRIGATION PLAN - EAST OSI**

Project number: 098134087  
 Date: 09.08.2023  
 Designed by: JS  
 Drawn by: JS  
 Checked by: RF  
 Sheet ID:  
**IR03**  
 Sheet Number: 16 of 18





No.	Description	Date
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





# Mission Manor Park, Tucson, AZ 85705



**Notes**

Airport Map

**Legend**

- |   |   |                  |
|---|---|------------------|
|  Land Fills - City/County                      |  Avigation Easement & Disclosure Areas | World Street Map |
|  Land Fills - State/Federal                    | DM AFB Approach-Departure Corridors   |                  |
|  Leaking Underground Storage Tanks - COT Owned |  ADC-1                                 |                  |
|  Parcels                                       |  ADC-2                                 |                  |
|  Railroads                                     |  ADC-3                                 |                  |
|  AEZ Noise 65-70 LDN                           | DM AFB Noise Control Districts  |                  |
|  70-75 LDN                                     |  NCD-A                                 |                  |
|  70-PLUS LDN                                   |  NCD-B                                 |                  |
|   |  Airport Hazard Districts              |                  |

1: 144,448



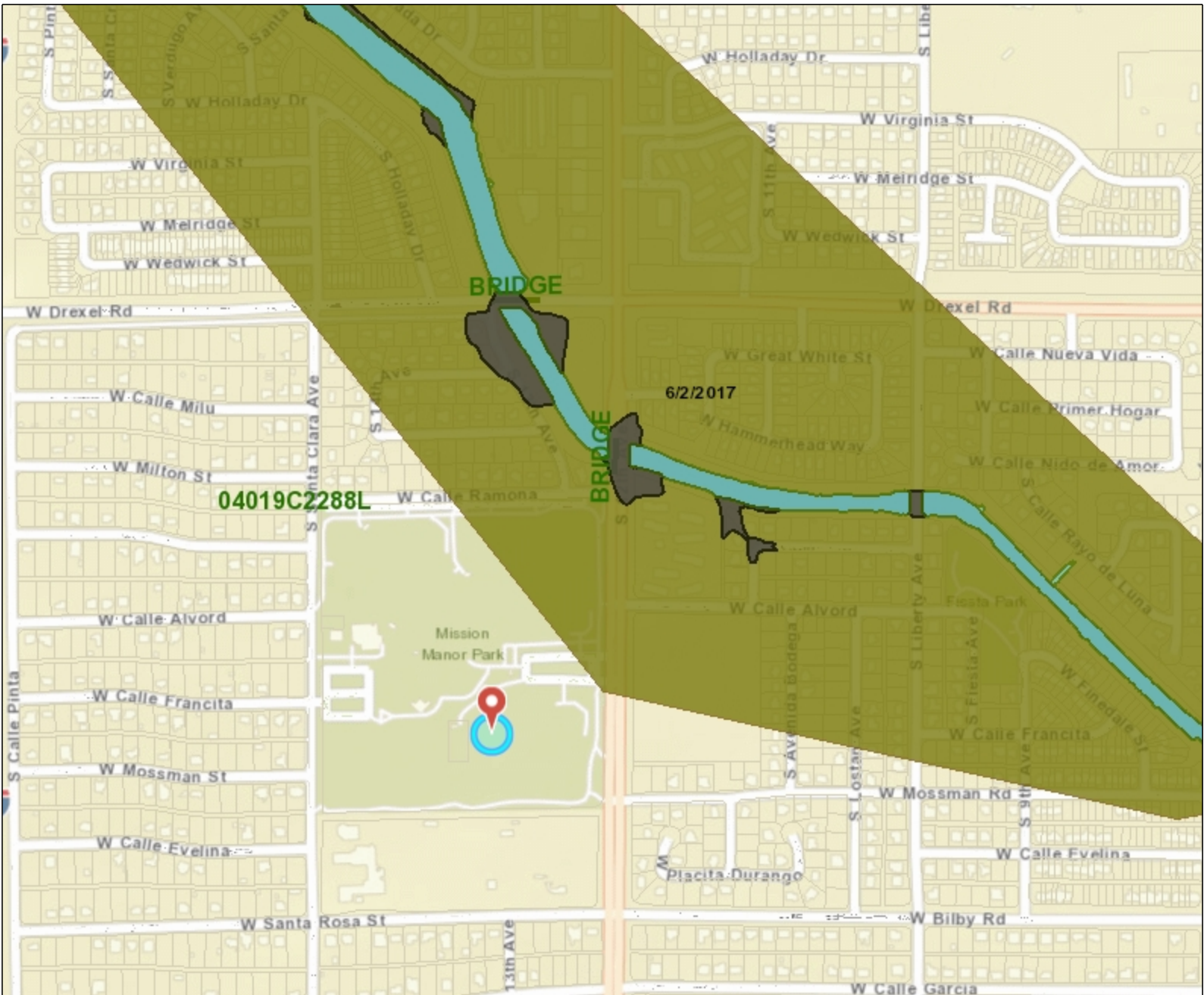
23,322.3 0 11,661.14 23,322.3 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © City of Tucson

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



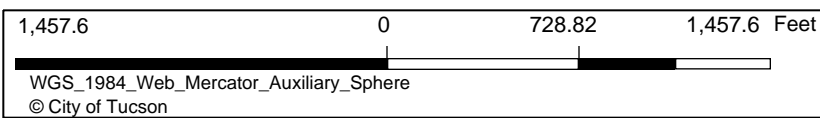


**Notes**  
 Flood Map

**Legend**

Land Fills - City/County	LOMR
Land Fills - State/Federal	Excluded Structures/Parcels
Leaking Underground Storage Tanks - COT Owned	Other
<b>A Zones</b>	Floodway
ZONE A	1% Chance Flood Contained in Culvert/Channel
ZONE AE	FIRM
ZONE AH	Parcels
ZONE AO	Railroads
<b>X Zones</b>	World Street Map

Scale: 1: 9,028



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

## FIELD VISIT CHECKLIST & SITE EVALUATION

**Date of Visit:** 10/25/2023

**Time:** 8:00 am

**Grantee/Applicant:** City of Tucson, Parks & Recreation Department

**Project Name:** CPF Mission Manor Park Aquatic Complex

**NSP Project # (if funded):**

**Project Location/Address:** 5915 South Santa Clara Avenue, 6100 South 12th Avenue, 701 W Calle Ramona, Tucson, AZ 85706 (APN 138-01-001D)

**Site Area (Acres):** approximately 37.73

**Project Area Bounded By:**

North – West Calle Ramona, followed by residences

East – South 12th Avenue, followed by apartment complex (Parkview Apartments, 5801 South 12th Avenue), school (Pusch Ridge South Campus, 5951 South 12th Avenue), residence

South – School (Mission Manor Elementary School, 600 W Santa Rosa Street)

West – South Santa Clara Avenue, followed by residences

**Field Visit Conducted By:** Rolanda Mazeika, Environmental Project Coordinator

**Attachments:**

Photographs  Yes  No

Maps  Yes  No

Aerials  Yes  No

### EXISTING ENVIRONMENTAL CONDITIONS ON & AROUND SITE:

**Land Use/Zoning** - Check all that apply:

Residential

Recreational

Forest

Retail

Commercial

Pasture

Never Developed

Heavy industrial

Other:

Light Industrial

Currently Farmed

**General Description of Existing Conditions:** Explain any present on or applicable to site: air quality/odors, water quality, noise, flooding, drought, auto/pedestrian traffic, vegetation, spills, waste, drainage, livestock, construction occurring, structures, etc. Attach additional pages as necessary.

The site is a public park (Mission Manor Park) containing a closed pool complex, baseball fields, play structures, picnic tables, ramadas, a Boys and Girls Club, and parking lots on the north, east, and west sides of the park. There is a paved walking path along the park perimeter. A fenced Tucson Water booster station is located on a separate parcel (APN 138-01-001E) that is surrounded by the park area. The wellsite is not included in the project area. Topographic maps indicate a west/northwest slope. No indications of flooding or erosion were observed. The park grounds were in good condition, with areas of stressed turf attributable to lack of water and/or dry weather conditions. The pool complex has been closed and unused however evidence of former operations remain inside the complex (chemicals, furnishings, empty barrels, refuse). The east and west parking lots were in good condition. The site is located between Santa Clara and 12th Avenue (a major local road), south of Calle Ramona, and north and adjacent to Mission Manor Elementary School. The surrounding neighborhood is mostly residential with commercial properties along South 12th Avenue. South 12th Avenue is a paved four lane road. The surrounding area is mostly built up, with few vacant lots to the east and northeast. The site is separated on the west from Interstate 19 by residences followed by a sound barrier wall.

**Describe Site Access – Ingress & Egress:** Ease of accessing and exiting site, traffic control at site, safety, and line of site, etc.

The property entrances are located off South Santa Clara and 12th Avenues on the west and east, and West Calle Ramona on the north. A HAWK crossing is located at the intersection of 12th Avenue and Calle Alvord. There are also stop signs at each adjacent intersection. Line of sight to the property is unobscured. There are four bus stops on 12<sup>th</sup> Avenue within walking distance of the site.

**Interviews Conducted** (include name and title of interviewees): Donald Russell, City of Tucson, Parks & Recreation Department

## FIELD VISIT CHECKLIST & SITE EVALUATION

**Existing infrastructure on or near site. Check all that apply and comment as appropriate.**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Unpaved Roads<br>Condition:<br><input checked="" type="checkbox"/> Paved Roads<br>Condition: good<br><input checked="" type="checkbox"/> Intersections<br>Condition: good<br><input checked="" type="checkbox"/> Curb/Guttering<br>Condition: good<br><input type="checkbox"/> Culverts<br>Condition:<br><input type="checkbox"/> Drop Inlets<br>Condition:<br><input type="checkbox"/> Ditches<br>Condition:<br><input type="checkbox"/> Other:<br><input checked="" type="checkbox"/> Sidewalks | Condition: good<br><input checked="" type="checkbox"/> Crosswalks<br>Condition: good<br><input checked="" type="checkbox"/> Parking Facilities<br>Condition: good<br><input checked="" type="checkbox"/> Fencing/Security<br>Condition: good<br><input type="checkbox"/> Bridges<br>Condition:<br><input type="checkbox"/> Railroad Facilities/Tracks/Spurs<br>Condition:<br><input checked="" type="checkbox"/> Water Treatment Facility<br>Condition: booster station, pool<br>(closed)<br><input type="checkbox"/> Other:<br><input type="checkbox"/> Sewer Treatment Facilities | Condition:<br><input type="checkbox"/> Septic Tanks<br>Condition:<br><input checked="" type="checkbox"/> Electricity<br><input checked="" type="checkbox"/> Water Lines<br><input checked="" type="checkbox"/> Gas Lines<br><input checked="" type="checkbox"/> Centralized Sewer System<br><input type="checkbox"/> Airport/Airport Clear Zones<br><input checked="" type="checkbox"/> Traffic Signs<br><input checked="" type="checkbox"/> Traffic Lights<br><input checked="" type="checkbox"/> Fire Hydrants<br><input checked="" type="checkbox"/> Bike/Pedestrian Lanes/Paths<br><input type="checkbox"/> 911 Emergency Systems<br><input type="checkbox"/> Other: |
|--|---|--|

**Check all that exist on or near the project site. Further evaluation and documentation may be warranted if there is potential for environmental concerns.**

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Aboveground Storage Tanks<br><input checked="" type="checkbox"/> Airport<br><input type="checkbox"/> Ambulance Facility<br><input type="checkbox"/> Animal Processing Plant<br><input type="checkbox"/> Auto Repair Shop<br><input type="checkbox"/> Biodiesel Facility<br><input checked="" type="checkbox"/> Bus Station (stop)<br><input type="checkbox"/> Car Dealership<br><input type="checkbox"/> Cemeteries<br><input type="checkbox"/> Chemical Manufacturer<br><input checked="" type="checkbox"/> Churches<br><input checked="" type="checkbox"/> Community Center<br><input type="checkbox"/> Conservation Areas<br><input type="checkbox"/> Daycare Center<br><input type="checkbox"/> Doctor's Office/Clinic<br><input type="checkbox"/> Dry Cleaner<br><input type="checkbox"/> Ethanol Plant<br><input type="checkbox"/> Fire Station<br><input type="checkbox"/> Funeral Home<br><input type="checkbox"/> Gas Station<br><input type="checkbox"/> Grocery Store | <input type="checkbox"/> Group Home<br><input checked="" type="checkbox"/> Heavily Traveled Roads<br><input type="checkbox"/> Heavy/Light Manufacturing Facilities<br><input checked="" type="checkbox"/> Highways – Interstate/State<br><input type="checkbox"/> Historical Sites/Buildings<br><input type="checkbox"/> Hospitals<br><input type="checkbox"/> Lakes/Ponds<br><input type="checkbox"/> Landfills<br><input type="checkbox"/> Library<br><input type="checkbox"/> Low Income Housing<br><input type="checkbox"/> Museum<br><input checked="" type="checkbox"/> Neighborhoods<br><input type="checkbox"/> Nursing Homes<br><input type="checkbox"/> Office Buildings<br><input checked="" type="checkbox"/> Open Spaces<br><input type="checkbox"/> Paint Facilities<br><input checked="" type="checkbox"/> Parks/Playgrounds<br><input type="checkbox"/> Police Station<br><input type="checkbox"/> Power Station<br><input type="checkbox"/> Printing Facilities | <input type="checkbox"/> Prison/Jail/Detention Center<br><input type="checkbox"/> Quarry<br><input type="checkbox"/> Recycling Facilities<br><input type="checkbox"/> Restaurants<br><input type="checkbox"/> Retaining Walls<br><input type="checkbox"/> Rivers<br><input checked="" type="checkbox"/> Schools<br><input type="checkbox"/> Senior Center<br><input type="checkbox"/> Senior Housing<br><input type="checkbox"/> Sheltered Workshop<br><input checked="" type="checkbox"/> Shopping Centers<br><input type="checkbox"/> Storage/Use of Explosives/Flammables<br><input checked="" type="checkbox"/> Streams/Creeks<br><input type="checkbox"/> Train Depot<br><input type="checkbox"/> Underground Storage Tanks<br><input type="checkbox"/> Veterinary Clinic/Hospital<br><input type="checkbox"/> Youth Center<br><input type="checkbox"/> Other:<br><input type="checkbox"/> Other:<br><input type="checkbox"/> Other: |
|--|--|---|

## FIELD VISIT CHECKLIST & SITE EVALUATION - *Supplemental*

### CONTAMINATION & TOXIC MATERIALS

**None** identified on or adjacent to project site

Based upon visual inspections of the project site and adjacent properties, indicate evidence of the following. An explanation should accompany any checked items.

- Distressed Vegetation** – A possible indication of soil contamination
- Vent or Fill Pipes** – A possible indication of current or previous existence of underground storage tanks
- Storage/Oil Tanks or Questionable Containers** – Possible indication of the use of heating fuels, chemicals, and petroleum products
- Pits, Ponds, or Lagoons** – These have the potential to hold liquids or sludge-containing hazardous substances or petroleum products. The potential is increased if there also exists water discoloration, distressed vegetation, and/or wastewater discharge.
- Stained Soil or Pavement** (other than water stains) – A possible indication soil is contaminated as well as a sign of current or previous leakage of piping and liquid storage containers
- Pungent, Foul or Noxious Odors** – A possible indication of leaks of hazardous substances or petroleum products or contaminants
- Dumped Material or Soil, Mounds of Dirt, Rubble Fill, etc.** – There is potential for transfer of contamination as the origins may be unknown. Look for other signs of contamination as described above.

Provide any supplementary information, descriptions, explanations, and/or comments below. Attach additional pages as appropriate.

- Distressed turf related to lack of water and dry weather conditions
- Cleaning chemicals stored in the pool storage area

Signature & Title of Preparer



Rolanda Mazeika, Environmental Project Coordinator  
City of Tucson, Housing & Community Development Department

Date Form Completed: 10/25/2023

## **FIELD VISIT CHECKLIST & SITE EVALUATION - *Supplemental***

The project is located in the Tucson Basin, a northwest trending alluvial valley. Groundwater flow within the regional aquifer is generally to the north and northwest. (Arizona Department of Water Resources, Tucson Water)

There are 62 underground storage tank (UST) sites and 5 closed Leaking UST (LUST) sites within one mile of the project location. The closest active confirmed LUST site is approximately 3,700 feet south of the project area. There is one closed LUST case approximately 350 feet north of the site. (Arizona Department of Environmental Quality eMaps)

The project area is located approximately 900 feet west of the Tucson International Airport Area (TIAA) Superfund west plume boundary. The TIAA site is currently under active remediation for groundwater impacts. (Arizona Department of Environmental Quality eMaps)

The nearest active Resource Conservation and Recovery Act (RCRA) very small quantity generator (VSQG) site is approximately 3,400 feet north (active) of the project location with no violations reported in the last three years. No current violations or enforcement actions were reported for the eight RCRA Facilities within one mile of the project location. (NEPAssist)

Review of historic aerial maps indicate the property was cleared and graded, with one baseball field in the southeast corner of the parcel in 1958. The aquatic center appears to be under development. An aboveground tank is observed in the central portion of the park where a Tucson Water booster station now exists. There are residential lots to the north and west with undeveloped land to the east and south. The south adjacent lot has a two-wing structure and unpaved parking on the west side of the buildings. There is an unpaved parking lot south of the ball field. Santa Clara and 12th Avenues and Calle Ramona appear to be paved. The Airport Wash is visible to the north/northwest of the property. In 1967, the property appears to have been developed as a park with turf, plantings, east and west parking lots, tennis courts, and the completed aquatic complex. The surrounding neighborhood to the north and west remains residential and the areas south and southeast of the park are developed with residential neighborhoods. The lot to the east has one building that has been constructed with the surrounding lots remaining vacant. A four-lane highway (Interstate 19) is visible beyond the residential development to the west of the property. In 1972, a walking path is visible on the east-central portion of the park. The south adjacent property buildings appear to have expanded footprints. The lots to the east are being cleared. In 1980, three ramadas in the northern park area and one building on the west side of the park (maintenance yard/building) have been constructed along with two additional baseball fields on the northern portion of the property. The north, east, and west parking lots appear to be paved. The surrounding roads, Santa Clara, 12th, Calle Ramona, and Santa Rosa are all paved. The property to the east has one building and parking lot, with the surrounding area vacant. Beyond the east property, and to the south, the lots have been developed with residential properties. In 1983, few changes are observed to the site and surrounding area. A small structure is observed to the west of the existing western park building and a few minor improvements are observed in the park area. In 1984, the existing building and parking lot configuration are observed. An apartment complex is under construction to the northeast of the site. Few other changes to the immediate surrounding neighborhood are observed. From 1990 to 1992, few changes are observed to the site and surrounding area. In 1996, two more buildings have been constructed in the area east of the existing western maintenance yard/building. A structure has been added to the east side of the south adjacent lot along with a driveway on the north property line, a parking lot to the east of the new building and a parking lot along the south property line are observed along Santa Rosa. In 2003, few changes are observed to the site. 12th Avenue is now a divided four-lane road. The lots to the east have been developed with apartments and infilled with residential lots. In 2004, one of the site's west buildings has been removed and the Tucson Water booster station is developed. The south adjacent lot's western buildings have been replaced with a smaller U-shaped structure with two new buildings to the north and south. From 2013 to 2017, few changes are observed to the site and surrounding area. Solar panels are observed in the south adjacent property in 2021. (historicaerials.com, MapTucson)



**Project north elevation, pump/equipment yard (facing south)**



**Project north elevation, wading pool followed by storage room (facing south)**





**Project east elevation, wading pool followed by pool (facing west)**



**Project east elevation, wading pool followed by pool (facing northwest)**



Project south elevation, poolhouse, bath/showers, storage, offices (facing north)





**Project west elevation, pump/equipment yard (facing east)**



**Project west elevation, pool (facing east)**





**Project west elevation, poolhouse, bath/showers, offices, storage (facing east)**



**Project west elevation, pump/equipment yard (facing northeast)**





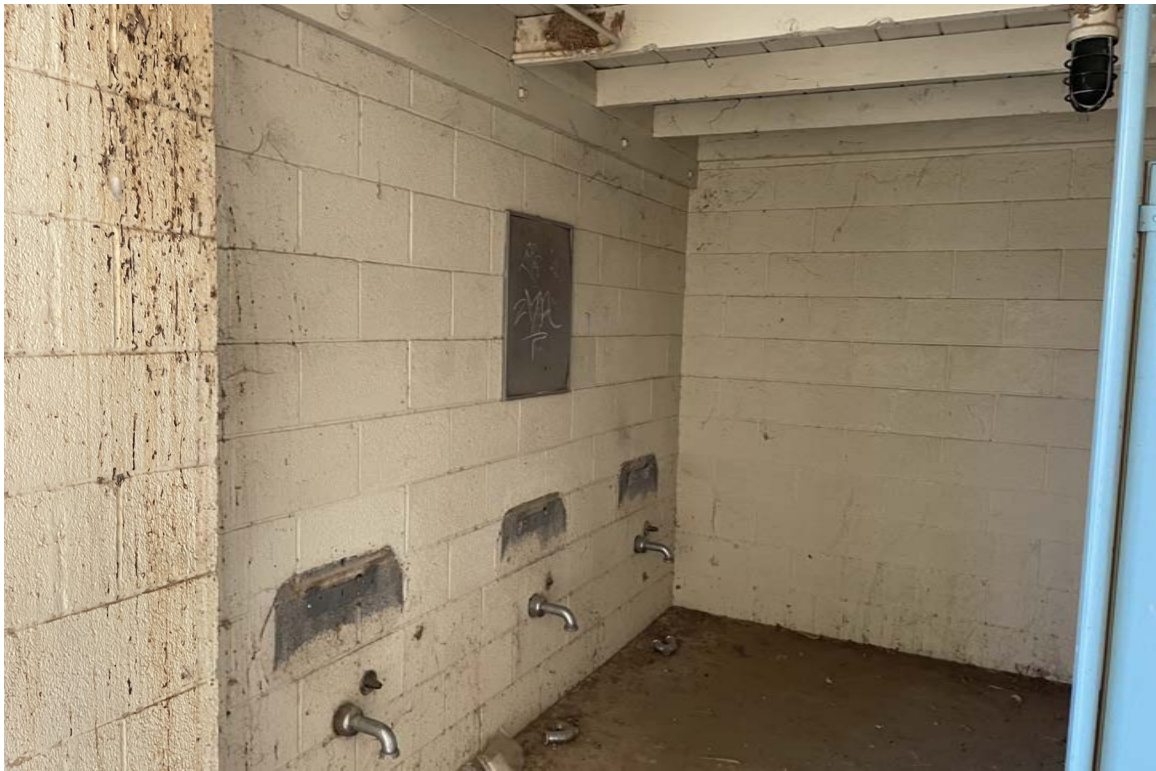
**Pool Complex - poolhouse, bath/shower rooms, storage, equipment, pools**



















































**North adjacent park areas (facing north from project area)**









East adjacent park areas (facing east from project area)







Southeast and south adjacent park areas (facing south from project area)











**West adjacent park areas (facing west from project area)**





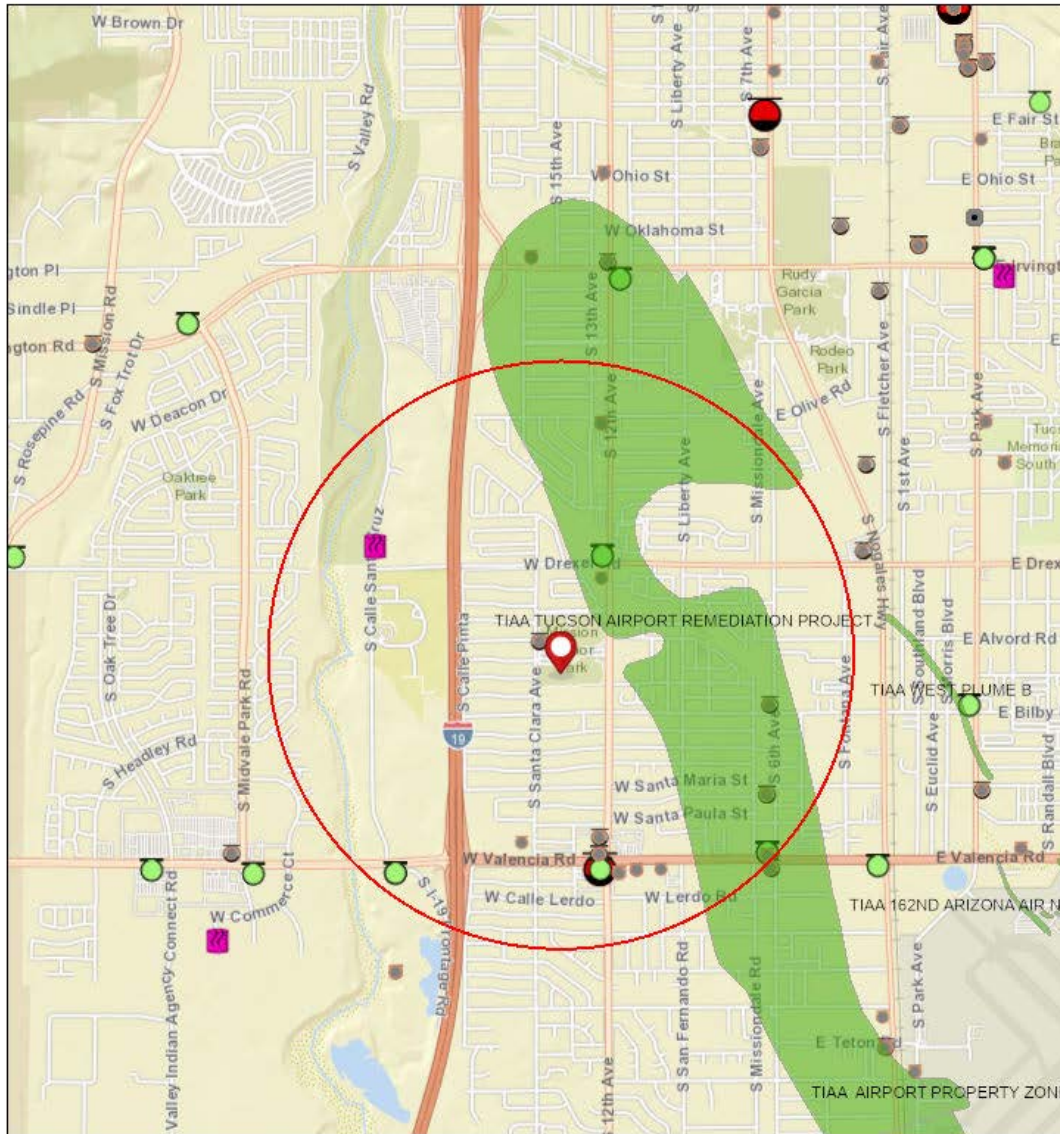


# Mission Manor Park, Tucson, AZ 85706

## Area of Interest (AOI) Information

Area : 2,009.02 acres

Jan 10 2024 11:43:27 Mountain Standard Time



## Summary

Name	Count	Area(acres)	Length(mi)
Brownfield Grant Sites	0	0	N/A
DEUR	0	N/A	N/A
Hazardous Waste - LQG	1	N/A	N/A
Hazardous Waste - TSD	0	N/A	N/A
Landfills - Municipal	0	N/A	N/A
Landfills - Non-Municipal	0	N/A	N/A
Superfund	1	551.58	N/A
UST - Tanks	62	N/A	N/A
UST - Releases	15	N/A	N/A
Voluntary Remediation	0	N/A	N/A

## Hazardous Waste - LQG

#	SITENAME	ADDRESS	CITY	COUNTY	RCRA_ID	PLACE_ID	Count
1	Honeywell CCA Product	1150 W Drexel Road	Tucson	Pima	AZR000038224	0	1

## Superfund

#	NAME	CITY	COUNTY	TYPE	PLACE_ID
1	TIAA TUCSON AIRPORT REMEDIATION PROJECT	TUCSON	PIMA	EPA NPL	17857

#	LastUpdate	PubNumb	DateListed	url	Area(acres)
1					551.58

## UST - Tanks

#	FACILITY	LUST_NUM	PLACE_ID	PLACE_TYPE	PLACE_NAME
1	0-001173	2354	4294	GAS FILLING STATION - COMMERCIAL	CIRCLE K #65 - FORMER
2	0-001173	2354	4294	GAS FILLING STATION - COMMERCIAL	CIRCLE K #65 - FORMER
3	0-001307	4502	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
4	0-001307	4502	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
5	0-001307	4502	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
6	0-001307	4502	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
7	0-001307	4502	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
8	0-001307	<i>No Data</i>	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
9	0-001307	<i>No Data</i>	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
10	0-001307	<i>No Data</i>	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
11	0-001307	<i>No Data</i>	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
12	0-001307	<i>No Data</i>	4158	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2700785
13	0-001317	3518	4129	GAS FILLING STATION - COMMERCIAL	CIRCLE K #808
14	0-001317	3518	4129	GAS FILLING STATION - COMMERCIAL	CIRCLE K #808
15	0-001455	5448	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
16	0-001455	5448	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
17	0-001455	5448	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
18	0-001455	<i>No Data</i>	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
19	0-001455	<i>No Data</i>	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
20	0-001455	<i>No Data</i>	32343	GAS FILLING STATION - COMMERCIAL	CIRCLE K #2701631
21	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
22	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
23	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
24	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
25	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
26	0-002861	<i>No Data</i>	29608	CHARTER SCHOOL	SOUTHGATE ACADEMY

27	0-003332	4190	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
28	0-003332	4190	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
29	0-003332	4190	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
30	0-003332	4190	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
31	0-003332	<i>No Data</i>	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
32	0-003332	<i>No Data</i>	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
33	0-003332	<i>No Data</i>	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
34	0-003332	<i>No Data</i>	31246	EQUIPMENT YARD	TUCSON SOUTH CO SOC #121420
35	0-003770	<i>No Data</i>	33242	GAS FILLING STATION - COMMERCIAL	PHILLIPS 66 COMPANY #019686
36	0-003770	<i>No Data</i>	33242	GAS FILLING STATION - COMMERCIAL	PHILLIPS 66 COMPANY #019686
37	0-003770	<i>No Data</i>	33242	GAS FILLING STATION - COMMERCIAL	PHILLIPS 66 COMPANY #019686
38	0-003770	<i>No Data</i>	33242	GAS FILLING STATION - COMMERCIAL	PHILLIPS 66 COMPANY #019686
39	0-004000	<i>No Data</i>	32448	AUTO/VEHICLE REPAIR FACILITY	JIFFY LUBE #2448
40	0-004000	<i>No Data</i>	32448	AUTO/VEHICLE REPAIR FACILITY	JIFFY LUBE #2448
41	0-004000	<i>No Data</i>	32448	AUTO/VEHICLE REPAIR FACILITY	JIFFY LUBE #2448
42	0-004962	<i>No Data</i>	31082	GAS FILLING STATION - COMMERCIAL	TEXACO #60-351-1090
43	0-004962	<i>No Data</i>	31082	GAS FILLING STATION - COMMERCIAL	TEXACO #60-351-1090
44	0-004962	<i>No Data</i>	31082	GAS FILLING STATION - COMMERCIAL	TEXACO #60-351-1090
45	0-004962	<i>No Data</i>	31082	GAS FILLING STATION - COMMERCIAL	TEXACO #60-351-1090
46	0-005166	4495	7441	CITY/COUNTY PARK	CITY OF TUCSON - MISSION PARK
47	0-005288	4788	5358	GAS FILLING STATION - COMMERCIAL	UNOCAL #4839
48	0-005288	4788	5358	GAS FILLING STATION - COMMERCIAL	UNOCAL #4839
49	0-005288	4788	5358	GAS FILLING STATION - COMMERCIAL	UNOCAL #4839
50	0-006213	<i>No Data</i>	30263	COMMERCIAL PROPERTY	TWELFTH AVENUE RENT-ALL
51	0-006213	<i>No Data</i>	30263	COMMERCIAL PROPERTY	TWELFTH AVENUE RENT-ALL
52	0-006213	<i>No Data</i>	30263	COMMERCIAL PROPERTY	TWELFTH AVENUE RENT-ALL
53	0-006213	<i>No Data</i>	30263	COMMERCIAL PROPERTY	TWELFTH AVENUE RENT-ALL

54	0-006628	<i>No Data</i>	31929	AUTO/VEHICLE REPAIR FACILITY	AAMCO TRANSMISSIONS
55	0-009893	<i>No Data</i>	29372	COMMERCIAL PROPERTY	HUFFSTETLER PROPERTY
56	0-010553	<i>No Data</i>	149083	GAS FILLING STATION - COMMERCIAL	QUIK TRIP #1463
57	0-010553	<i>No Data</i>	149083	GAS FILLING STATION - COMMERCIAL	QUIK TRIP #1463
58	0-010553	<i>No Data</i>	149083	GAS FILLING STATION - COMMERCIAL	QUIK TRIP #1463
59	0-002784	5933	29984	GAS FILLING STATION - COMMERCIAL	SPEEDWAY #2996
60	0-010553	<i>No Data</i>	149083	GAS FILLING STATION - COMMERCIAL	QUIK TRIP #1463



#	ADDRESS	CITY	COUNTY	ZIP_CODE	CADASTRAL
1	6416 S 12TH AVE	TUCSON	Pima	85706	D 14 13 10
2	6416 S 12TH AVE	TUCSON	Pima	85706	D 14 13 10
3	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
4	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
5	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
6	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
7	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
8	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
9	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
10	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
11	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
12	5690 S 12TH AVE	TUCSON	Pima	85706	No Data
13	6070 S 6TH AVE	TUCSON	Pima	85706	No Data
14	6070 S 6TH AVE	TUCSON	Pima	85706	No Data
15	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
16	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
17	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
18	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
19	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
20	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
21	6500 S 12TH AVE	TUCSON	Pima	85756	No Data
22	6500 S 12TH AVE	TUCSON	Pima	85756	No Data
23	6500 S 12TH AVE	TUCSON	Pima	85756	No Data
24	6500 S 12TH AVE	TUCSON	Pima	85756	No Data
25	6500 S 12TH AVE	TUCSON	Pima	85756	No Data
26	850 W VALENCIA RD	TUCSON	Pima	85706	No Data
27	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
28	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
29	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
30	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
31	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
32	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
33	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
34	6300 S 6TH AVE	TUCSON	Pima	85706	No Data
35	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
36	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
37	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
38	2 W VALENCIA RD	TUCSON	Pima	85706	No Data
39	405 W VALENCIA RD	TUCSON	Pima	85706	No Data
40	405 W VALENCIA RD	TUCSON	Pima	85706	No Data
41	405 W VALENCIA RD	TUCSON	Pima	85706	No Data
42	551 W VALENCIA RD	TUCSON	Pima	85706	No Data

43	551 W VALENCIA RD	TUCSON	Pima	85706	<i>No Data</i>
44	551 W VALENCIA RD	TUCSON	Pima	85706	<i>No Data</i>
45	551 W VALENCIA RD	TUCSON	Pima	85706	<i>No Data</i>
46	5900 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
47	6470 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
48	6470 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
49	6470 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
50	5302 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
51	5302 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
52	5302 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
53	5302 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
54	333 W VALENCIA RD	TUCSON	Pima	85706	<i>No Data</i>
55	5736 S 12TH AVE	TUCSON	Pima	85706	<i>No Data</i>
56	6520 S I 19 FRONTAGE RD	TUCSON	Pima	85756	<i>No Data</i>
57	6520 S I 19 FRONTAGE RD	TUCSON	Pima	85756	<i>No Data</i>
58	6520 S I 19 FRONTAGE RD	TUCSON	Pima	85756	<i>No Data</i>
59	6500 S 12TH AVE	TUCSON	Pima	85756	<i>No Data</i>
60	6520 S I 19 FRONTAGE RD	TUCSON	Pima	85756	<i>No Data</i>

#	LATITUDE	LONGITUDE	TANK_NUM	STATUS	INSTALL_DT
1	32.135133	-110.978158	1	Perm Closed	1/1/1968, 1:00 AM
2	32.135133	-110.978158	2	Perm Closed	1/1/1968, 1:00 AM
3	32.149020	-110.977975	1	Perm Closed	1/1/1972, 1:00 AM
4	32.149020	-110.977975	2	Perm Closed	1/1/1972, 1:00 AM
5	32.149020	-110.977975	3	Perm Closed	1/1/1972, 1:00 AM
6	32.149020	-110.977975	4	Open	6/24/1996, 12:00 AM
7	32.149020	-110.977975	5	Open	6/24/1996, 12:00 AM
8	32.149020	-110.977975	1	Perm Closed	1/1/1972, 1:00 AM
9	32.149020	-110.977975	2	Perm Closed	1/1/1972, 1:00 AM
10	32.149020	-110.977975	3	Perm Closed	1/1/1972, 1:00 AM
11	32.149020	-110.977975	4	Open	6/24/1996, 12:00 AM
12	32.149020	-110.977975	5	Open	6/24/1996, 12:00 AM
13	32.141683	-110.968241	1	Perm Closed	1/1/1973, 1:00 AM
14	32.141683	-110.968241	2	Perm Closed	1/1/1973, 1:00 AM
15	32.134362	-110.968374	1	Open	1/1/1985, 1:00 AM
16	32.134362	-110.968374	2	Open	1/1/1985, 1:00 AM
17	32.134362	-110.968374	3	Open	1/1/1985, 1:00 AM
18	32.134362	-110.968374	1	Open	1/1/1985, 1:00 AM
19	32.134362	-110.968374	2	Open	1/1/1985, 1:00 AM
20	32.134362	-110.968374	3	Open	1/1/1985, 1:00 AM
21	32.133539	-110.978126	1	Perm Closed	4/8/1976, 12:00 AM

22	32.133539	-110.978126	2	Perm Closed	4/8/1976, 12:00 AM
23	32.133539	-110.978126	3	Perm Closed	4/8/1976, 12:00 AM
24	32.133539	-110.978126	4	Perm Closed	4/8/1976, 12:00 AM
25	32.133539	-110.978126	5	Open	6/13/2023, 12:00 AM
26	32.134878	-110.982650	1	Perm Closed	4/28/1974, 12:00 AM
27	32.137235	-110.968410	1	Perm Closed	1/7/1982, 1:00 AM
28	32.137235	-110.968410	2	Perm Closed	1/8/1979, 1:00 AM
29	32.137235	-110.968410	3	Perm Closed	1/7/1977, 1:00 AM
30	32.137235	-110.968410	4	Perm Closed	8/1/1995, 12:00 AM
31	32.137235	-110.968410	1	Perm Closed	1/7/1982, 1:00 AM
32	32.137235	-110.968410	2	Perm Closed	1/8/1979, 1:00 AM
33	32.137235	-110.968410	3	Perm Closed	1/7/1977, 1:00 AM
34	32.137235	-110.968410	4	Perm Closed	8/1/1995, 12:00 AM
35	32.134263	-110.968374	1	Perm Closed	4/2/1964, 1:00 AM
36	32.134263	-110.968374	2	Perm Closed	4/2/1964, 1:00 AM
37	32.134263	-110.968374	3	Perm Closed	4/2/1964, 1:00 AM
38	32.134263	-110.968374	4	Perm Closed	4/2/1974, 1:00 AM
39	32.133527	-110.975992	1	Perm Closed	4/3/1980, 1:00 AM
40	32.133527	-110.975992	2	Perm Closed	4/3/1980, 1:00 AM
41	32.133527	-110.975992	3	Perm Closed	4/3/1980, 1:00 AM
42	32.133405	-110.977016	1	Perm Closed	1/1/1971, 1:00 AM
43	32.133405	-110.977016	2	Perm Closed	1/1/1971, 1:00 AM
44	32.133405	-110.977016	3	Perm Closed	5/7/1973, 12:00 AM
45	32.133405	-110.977016	4	Perm Closed	1/1/1971, 1:00 AM
46	32.144792	-110.981650	1	Perm Closed	4/10/1980, 12:00 AM
47	32.134300	-110.978182	1	Perm Closed	4/15/1984, 12:00 AM
48	32.134300	-110.978182	2	Perm Closed	4/15/1984, 12:00 AM
49	32.134300	-110.978182	3	Perm Closed	1/1/1988, 1:00 AM
50	32.155582	-110.978049	1	Perm Closed	1/1/1963, 1:00 AM
51	32.155582	-110.978049	2	Perm Closed	1/1/1963, 1:00 AM
52	32.155582	-110.978049	3	Perm Closed	1/1/1963, 1:00 AM
53	32.155582	-110.978049	4	Perm Closed	1/1/1963, 1:00 AM
54	32.133564	-110.974572	1	Perm Closed	2/10/1988, 1:00 AM
55	32.147935	-110.978020	1	Perm Closed	<i>No Data</i>
56	32.133341	-110.990055	1	Open	6/15/2015, 12:00 AM
57	32.133341	-110.990055	2	Open	6/15/2015, 12:00 AM
58	32.133341	-110.990055	4	Open	6/15/2015, 12:00 AM
59	32.133539	-110.978126	6	Open	6/13/2023, 12:00 AM
60	32.133341	-110.990055	3	Open	6/15/2015, 12:00 AM



#	CONST_DESC	MATERIAL	GENERATED	Count
1	No Data	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
2	No Data	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
3	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
4	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
5	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
6	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
7	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
8	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
9	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
10	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
11	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
12	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
13	No Data	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
14	No Data	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
15	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
16	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
17	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
18	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
19	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
20	Single Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
21	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
22	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
23	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
24	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
25	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
26	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
27	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
28	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
29	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
30	Double Walled	Composite (Steel/Fiberglass or Steel/Polyethylene)	1/9/2024, 1:00 AM	1
31	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
32	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
33	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
34	Double Walled	Composite (Steel/Fiberglass or Steel/Polyethylene)	1/9/2024, 1:00 AM	1
35	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
36	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
37	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
38	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
39	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
40	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
41	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1

42	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
43	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
44	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
45	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
46	Double Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
47	Unknown	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
48	Unknown	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
49	Double Walled	Composite (Steel/Fiberglass or Steel/Polyethylene)	1/9/2024, 1:00 AM	1
50	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
51	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
52	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
53	Single Walled	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
54	Double Walled	Composite (Steel/Fiberglass or Steel/Polyethylene)	1/9/2024, 1:00 AM	1
55	Unknown	Asphalt coated or Bare Steel	1/9/2024, 1:00 AM	1
56	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
57	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
58	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	1
59	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	2
60	Double Walled	Fiberglass Reinforced Plastic	1/9/2024, 1:00 AM	2

## UST - Releases

#	LUST_NUM	STATUS	DISCOVERED	PLACE_ID	PLACE_TYPE
1	2354	Closed	6/18/1992, 12:00 AM	4294	GAS FILLING STATION - COMMERCIAL
2	4502	Closed	6/24/1996, 12:00 AM	4158	GAS FILLING STATION - COMMERCIAL
3	4502	Closed	6/24/1996, 12:00 AM	4158	GAS FILLING STATION - COMMERCIAL
4	4502	Closed	6/24/1996, 12:00 AM	4158	GAS FILLING STATION - COMMERCIAL
5	4502	Closed	10/15/2014, 12:00 AM	4158	GAS FILLING STATION - COMMERCIAL
6	3518	Closed	4/14/1994, 12:00 AM	4129	GAS FILLING STATION - COMMERCIAL
7	5448	Closed	4/16/2004, 12:00 AM	32343	GAS FILLING STATION - COMMERCIAL
8	5933	Confirmed	5/5/2023, 12:00 AM	29984	GAS FILLING STATION - COMMERCIAL
9	4190	Closed	8/24/1995, 12:00 AM	31246	EQUIPMENT YARD
10	4190	Closed	8/24/1995, 12:00 AM	31246	EQUIPMENT YARD
11	4190	Closed	9/16/2015, 12:00 AM	31246	EQUIPMENT YARD
12	4495	Closed	6/20/1996, 12:00 AM	7441	CITY/COUNTY PARK
13	4788	Closed	11/4/1997, 1:00 AM	5358	GAS FILLING STATION - COMMERCIAL
14	4788	Closed	11/4/1997, 1:00 AM	5358	GAS FILLING STATION - COMMERCIAL
15	4788	Closed	11/4/1997, 1:00 AM	5358	GAS FILLING STATION - COMMERCIAL

#	LATITUDE	LONGITUDE	GENERATED	FACILITY	CASE_NUM
1	32.135133	-110.978158	1/10/2024, 1:00 AM	0-001173	2354.01
2	32.149020	-110.977975	1/10/2024, 1:00 AM	0-001307	4502.01
3	32.149020	-110.977975	1/10/2024, 1:00 AM	0-001307	4502.02
4	32.149020	-110.977975	1/10/2024, 1:00 AM	0-001307	4502.03
5	32.149020	-110.977975	1/10/2024, 1:00 AM	0-001307	4502.04
6	32.141683	-110.968241	1/10/2024, 1:00 AM	0-001317	3518.01
7	32.134362	-110.968374	1/10/2024, 1:00 AM	0-001455	5448.01
8	32.133539	-110.978126	1/10/2024, 1:00 AM	0-002784	5933.01
9	32.137235	-110.968410	1/10/2024, 1:00 AM	0-003332	4190.01
10	32.137235	-110.968410	1/10/2024, 1:00 AM	0-003332	4190.02
11	32.137235	-110.968410	1/10/2024, 1:00 AM	0-003332	4190.03
12	32.144792	-110.981650	1/10/2024, 1:00 AM	0-005166	4495.01
13	32.134300	-110.978182	1/10/2024, 1:00 AM	0-005288	4788.01
14	32.134300	-110.978182	1/10/2024, 1:00 AM	0-005288	4788.02
15	32.134300	-110.978182	1/10/2024, 1:00 AM	0-005288	4788.03

#	PLACE_NAME	ADDRESS	CITY	COUNTY	ZIP_CODE
1	CIRCLE K #65 - FORMER	6416 S 12TH AVE	TUCSON	Pima	85706
2	CIRCLE K #2700785	5690 S 12TH AVE	TUCSON	Pima	85706



3	CIRCLE K #2700785	5690 S 12TH AVE	TUCSON	Pima	85706
4	CIRCLE K #2700785	5690 S 12TH AVE	TUCSON	Pima	85706
5	CIRCLE K #2700785	5690 S 12TH AVE	TUCSON	Pima	85706
6	CIRCLE K #808	6070 S 6TH AVE	TUCSON	Pima	85706
7	CIRCLE K #2701631	2 W VALENCIA RD	TUCSON	Pima	85706
8	SPEEDWAY #2996	6500 S 12TH AVE	TUCSON	Pima	85756
9	TUCSON SOUTH CO SOC #121420	6300 S 6TH AVE	TUCSON	Pima	85706
10	TUCSON SOUTH CO SOC #121420	6300 S 6TH AVE	TUCSON	Pima	85706
11	TUCSON SOUTH CO SOC #121420	6300 S 6TH AVE	TUCSON	Pima	85706
12	CITY OF TUCSON - MISSION PARK	5900 S 12TH AVE	TUCSON	Pima	85706
13	UNOCAL #4839	6470 S 12TH AVE	TUCSON	Pima	85706
14	UNOCAL #4839	6470 S 12TH AVE	TUCSON	Pima	85706
15	UNOCAL #4839	6470 S 12TH AVE	TUCSON	Pima	85706

#	CADASTRAL	PRIORITY	LOCATION	REPORTED	CONFIRMED	CLOSURE	Count
1	D 14 13 10	Closed soil-only CoC levels meet RBCA Tier 1 standards	<i>No Data</i>	6/18/1992, 12:00 AM	6/18/1992, 12:00 AM	10/17/1994, 12:00 AM	1
2	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	8K PUL gasoline UST	6/25/1996, 12:00 AM	6/24/1996, 12:00 AM	2/24/2009, 1:00 AM	1
3	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	10K UL gasoline UST	6/25/1996, 12:00 AM	6/24/1996, 12:00 AM	2/24/2009, 1:00 AM	1
4	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	10K UL plus gasoline UST	6/25/1996, 12:00 AM	6/24/1996, 12:00 AM	2/24/2009, 1:00 AM	1
5	<i>No Data</i>	Closed soil-only CoC levels meet RBCA Tier 3 standards	10K PUL gasoline UST	10/28/2014, 12:00 AM	10/15/2014, 12:00 AM	1/7/2020, 1:00 AM	1
6	<i>No Data</i>	Closed soil-only CoC levels meet RBCA Tier 1 standards	<i>No Data</i>	5/10/1994, 12:00 AM	4/14/1994, 12:00 AM	4/14/1995, 12:00 AM	1
7	<i>No Data</i>	Closed soil and groundwater CoC levels meet RBCA Tier 2 or 3 standards under R18-12-263.04	(3) 10K gasoline USTs	3/9/2005, 1:00 AM	1/24/2005, 1:00 AM	3/15/2017, 12:00 AM	1
8	<i>No Data</i>	Undefined soil contamination	Eastern UST and various product piping locations (see 24 Hr Report)	6/8/2023, 12:00 AM	5/24/2023, 12:00 AM	<i>No Data</i>	1
9	<i>No Data</i>	Closed soil and groundwater CoC levels meet RBCA Tier 2 or 3 standards under R18-12-263.04	1K gasoline UST #1	8/24/1995, 12:00 AM	8/24/1995, 12:00 AM	5/28/2019, 12:00 AM	1
10	<i>No Data</i>	Closed soil-only CoC levels meet RBCA Tier 1 standards	Gasoline fuel dispenser	8/24/1995, 12:00 AM	8/24/1995, 12:00 AM	10/6/2008, 12:00 AM	1
11	<i>No Data</i>	Closed soil-only CoC levels meet RBCA Tier 1 standards	6K gasoline UST	9/24/2015, 12:00 AM	9/16/2015, 12:00 AM	4/18/2016, 12:00 AM	1
12	<i>No Data</i>	Closed soil-only CoC levels meet RBCA Tier 1 standards	1K UL gasoline UST	6/20/1996, 12:00 AM	6/20/1996, 12:00 AM	11/6/1996, 1:00 AM	1
13	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	12K UL gasoline UST #1	11/5/1997, 1:00 AM	11/4/1997, 1:00 AM	2/14/2003, 1:00 AM	1

14	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	12K UL gasoline UST #2	11/5/1997, 1:00 AM	11/4/1997, 1:00 AM	2/14/2003, 1:00 AM	1
15	<i>No Data</i>	Closed groundwater and soil CoC levels meet RBCA Tier 1 standards	500 g used oil UST	11/5/1997, 1:00 AM	11/4/1997, 1:00 AM	2/14/2003, 1:00 AM	1



Clean Air, Safe Water,  
Healthy Land for Everyone

## Superfund Site | Tucson International Airport Area

EPA #: AZD980737530

**Superfund National Priority List (NPL) Status:** The EPA listed this site on Sept. 9, 1983

### Location

The Tucson International Airport Area Superfund Site (TIAA) is a Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) site in Tucson, Arizona. The site is on the National Priorities List (NPL), which is periodically updated by the U.S. Environmental Protection Agency (EPA). The TIAA Superfund site contains seven project areas including: Air Force Plant 44 (AFP-44), Tucson Airport Remediation Project (TARP), the Airport Property, the 162nd Fighter Wing Arizona Air National Guard (AANG) facility, Texas Instruments, Inc. (formerly Burr-Brown Corporation), the former West-Cap property, and West Plume B. The site is located in the southern portion of Tucson, south of Ajo Way, north of Hughes Access Road, west of Alvernon Way, and east of Interstate 19. The Tucson International Airport is located within the site.

### Contaminants of Concern

The current contaminants of concern in groundwater include trichloroethene (TCE), dichloroethene (DCE), chloroform and chromium. Polychlorinated biphenyls and metals contamination have also been found in some soils at the site. During spring and summer 2002, 1,4-dioxane was discovered at the AFP-44, TARP and the Airport Property project areas. To date, per- and polyfluoroalkyl substances (PFAS) have been detected in groundwater at concentrations above the EPA Health Advisory Level (HAL) of 70 nanograms per liter at the Airport Property, TARP, AANG and West Plume B project areas. Contaminants of concern may change as new data becomes available.

### Public Health Impact

The City of Tucson is the main municipal water provider at this site. All municipal wells in the area that were contaminated with VOCs have been shut down. The municipal water supply in the area now comes from wells outside the site. Some privately owned domestic wells in the area have been impacted, but have either been shut down or converted to irrigation wells. If you are drinking water from a private well within the boundaries of the site, please contact the ADEQ Project Manager.

In February 2015, Pima County DEQ sampled private wells within the TIAA site. Four of these wells were impacted by low levels of 1,4-dioxane. From October-December 2019, ADEQ sampled private wells within the TIAA site for PFAS; three private drinking water wells were impacted with PFAS above the EPA HAL. ADEQ, Tucson Water, and the Air National Guard are working together to ensure that these wells are no longer used for drinking water.

Areas with soil contamination at or very close to the surface have been excavated so that currently there are no known public health impacts resulting from contaminated soils.



## Site Hydrogeology

The TIAA site is located within the Tucson Basin, a northwest trending alluvial valley covering an area of about 750 square miles in the Santa Cruz River drainage basin of southeastern Arizona. Site hydrogeology is complex and is detailed within reports and studies available at the TIAA Superfund site information repository.

The Tucson Basin is a broad, down-faulted, sediment-filled depression bounded by mountain ranges composed of crystalline rock. Thousands of feet of alluvial sediment, weathered and eroded from the surrounding mountains, were deposited in the Tucson Basin. Major west-northwest trending drainages intersecting the site include Airport Wash and Hughes Wash, both of which are tributaries of the ephemeral Santa Cruz River.

The regional aquifer (historically targeted for groundwater resource development for public water supply purposes) is composed of three major hydrostratigraphic units: the upper zone of the regional aquifer, the lower zone of the regional aquifer, and the undivided regional aquifer. A middle aquitard divides the regional aquifer into upper and lower zones under most of the site. In the southern and central portions of the site, groundwater contamination has been found mainly within the upper zone of the regional aquifer as the vertical extent of contamination has been limited by the presence of the middle aquitard.

Depth to groundwater in the regional aquifer varies from 80 to 240 feet below ground surface. The general groundwater flow direction is toward the north-northwest. For more detailed discussion of the site hydrogeology of each of the seven TIAA Superfund site project areas, please refer to their individual web pages.

## Action Taken

Remediation systems are operating to remove VOCs at TARP, AANG, the Airport Property (Three Hangars), West-Cap, Texas Instruments, and AFP-44. Preliminary Assessment / Site Investigation (PA/SI) activities have been conducted at AANG and AFP-44 to assess the nature and extent of PFAS in the environment. Existing groundwater wells have been sampled for PFAS within several project areas, including AFP-44, TARP, Airport Property, AANG, and West Plume B. At the TARP treatment facility, Tucson water maintains carbon treatment to remove PFAS in accordance with the City's strict PFAS operational guidance.

## Status

The Air Force finalized investigation of offsite 1,4-dioxane groundwater contamination north of AFP-44 (North of Los Reales Road/TARP) and proposed technologies to address this contamination. The existing groundwater remediation system at AFP-44 includes an advanced oxidation treatment system to treat 1,4-dioxane, which began continuous operation in 2009, and air strippers to remove TCE. In 2015, the Air Force issued a Record of Decision (ROD) for No Further Action (NFA) at the 1980s Pistol Range at AFP-44. The Air Force also began treatability studies to determine the effectiveness of hydraulically fracturing and in-situ treatment of groundwater contamination within fine-grained units underlying AFP-44. In August 2020, they completed a Record of Decision for groundwater. The Air Force completed a PFAS Preliminary Assessment in 2018 and a PFAS Site Inspection (SI) is ongoing.

The Tucson Airport Authority operates a shallow groundwater zone (SGZ) remedy to treat TCE that includes pumping, treating, and reinjecting SGZ groundwater and a soil vapor extraction (SVE) system. ADEQ and U.S. EPA have engaged the Settling Defendants for the Airport Property project area in a series of technical meetings to try to better understand the local hydrogeology in this area and determine the effectiveness of the SGZ remedy. Recently, an additional paleochannel with TCE and 1,4-dioxane contaminated groundwater was discovered and these data are being incorporated into the conceptual site model. Additionally, select monitoring wells within the Airport Property project area were sampled for PFAS in 2019 and PFAS were detected in several wells.

In 2014, the Tucson Water Department constructed an advanced oxidation process (AOP) treatment system that began operating. The purpose of the AOP treatment system is to remove 1,4-dioxane and TCE from the contaminated regional aquifer groundwater. Tucson Water maintains carbon treatment as part of the AOP system which removes PFAS in accordance with the City's strict PFAS operational guidance.

Following issuance of the April 2012 Record of Decision (ROD) amendment for Area B [AANG, West-Cap, West Plume B, and Texas Instruments], U.S. EPA implemented an In-Situ Chemical Oxidation (ISCO) remedy to replace the pump and treat remedy at West-Cap. Texas Instruments and the National Guard Bureau (NGB)/AANG have also implemented ISCO. Monitored natural

attenuation continues for VOCs within West Plume B. PFAS have been detected in groundwater at AANG and West Plume B. AANG completed a PFAS PA in 2016 and an SI in 2018. A Remedial Investigation (RI) is expected to begin in 2021 to further investigate PFAS in this area.

For more detailed discussion of the status of each of the seven TIAA Superfund site project areas, please refer to their individual web pages.

Learn more about this Superfund site on the EPA website | [View Site >](#)

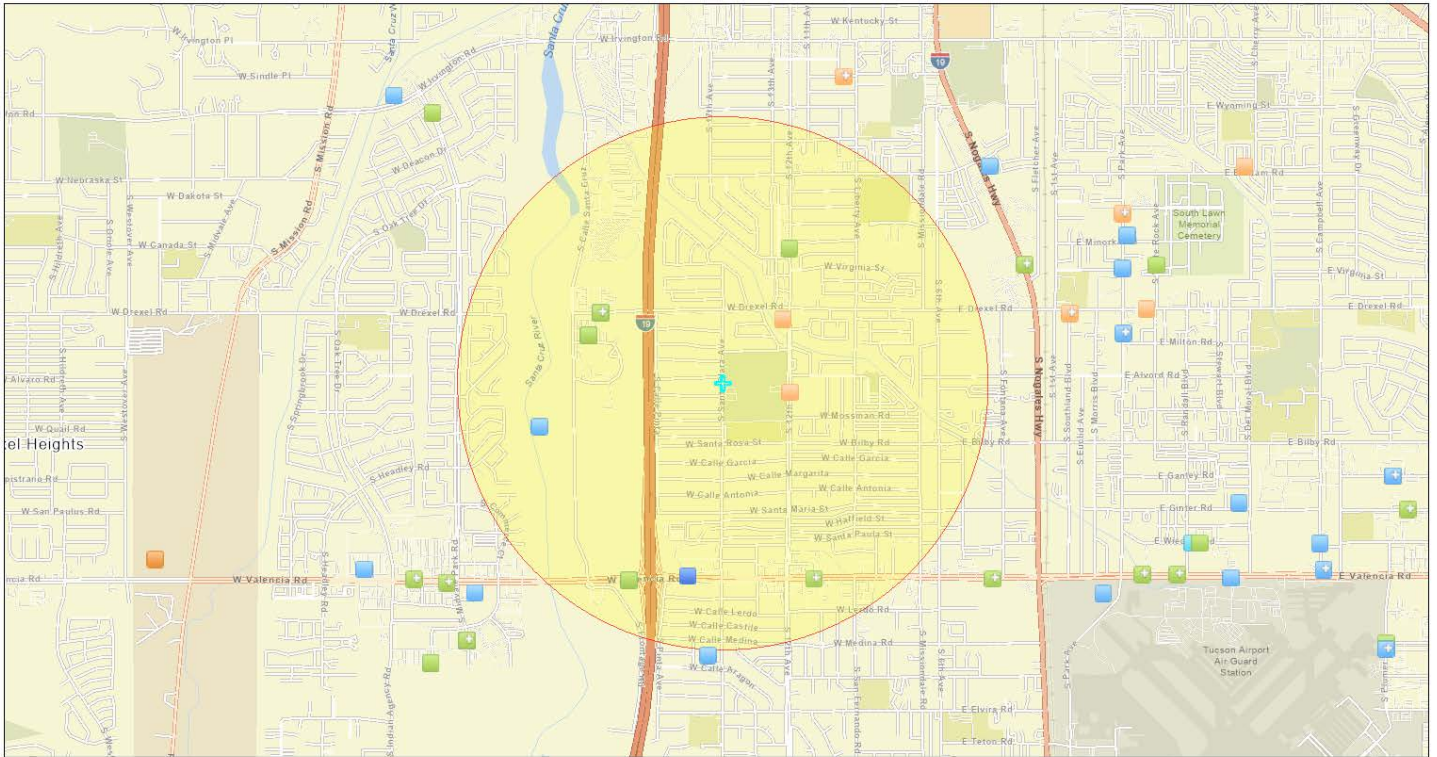
- [FORMS](#)
- [PERMIT APPLICATION STATUS](#)
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- [LAW & RULE](#)
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# NEPAssist Report

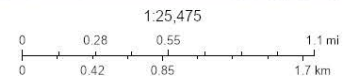
## Mission Manor Park, Tucson, AZ 85706

### A3 Landscape



January 10, 2024

- Water Dischargers (NPDES)
- Water Dischargers (NPDES)
- Brownfields (ACRES)
- Brownfields (ACRES)
- Hazardous Waste (RCRAInfo)
- Hazardous Waste (RCRAInfo)
- Superfund (NPL)
- Air Pollution (ICIS-AIR)
- Toxic Releases (TRI)
- Project Buffer
- + Mission Manor Park, Tucson, AZ 85706



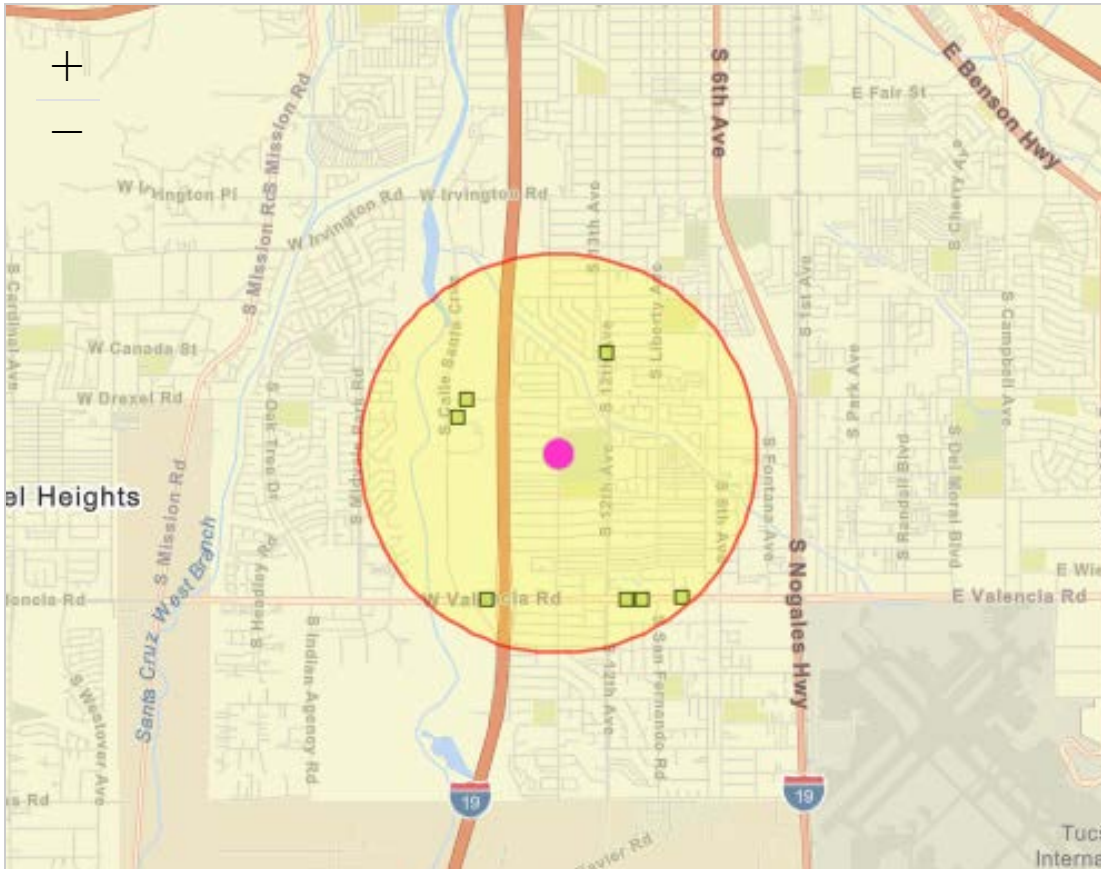
CONANIP, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS

Project Location	32.144573-110.981852
Within 1 mile of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	yes
Within 1 mile of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Federal Land?	no
Within 1 mile of an impaired stream?	no
Within 1 mile of an impaired waterbody?	no
Within 1 mile of a waterbody?	yes
Within 1 mile of a stream?	yes
Within 1 mile of an NWI wetland?	Available Online
Within 1 mile of a Brownfields site?	yes
Within 1 mile of a Superfund site?	no

Within 1 mile of a Toxic Release Inventory (TRI) site?	yes
Within 1 mile of a water discharger (NPDES)?	yes
Within 1 mile of a hazardous waste (RCRA) facility?	yes
Within 1 mile of an air emission facility?	yes
Within 1 mile of a school?	yes
Within 1 mile of an airport?	no
Within 1 mile of a hospital?	no
Within 1 mile of a designated sole source aquifer?	yes
Within 1 mile of a historic property on the National Register of Historic Places?	no
Within 1 mile of a Land Cession Boundary?	yes
Within 1 mile of a tribal area (lower 48 states)?	no
Within 1 mile of the service area of a mitigation or conservation bank?	yes
Within 1 mile of the service area of an In-Lieu-Fee Program?	yes
Within 1 mile of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 1 mile of a Munitions Response Site?	no
Within 1 mile of an Essential Fish Habitat (EFH)?	no
Within 1 mile of a Habitat Area of Particular Concern (HAPC)?	no
Within 1 mile of an EFH Area Protected from Fishing (EFHA)?	no
Within 1 mile of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 1 mile of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 1 mile of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

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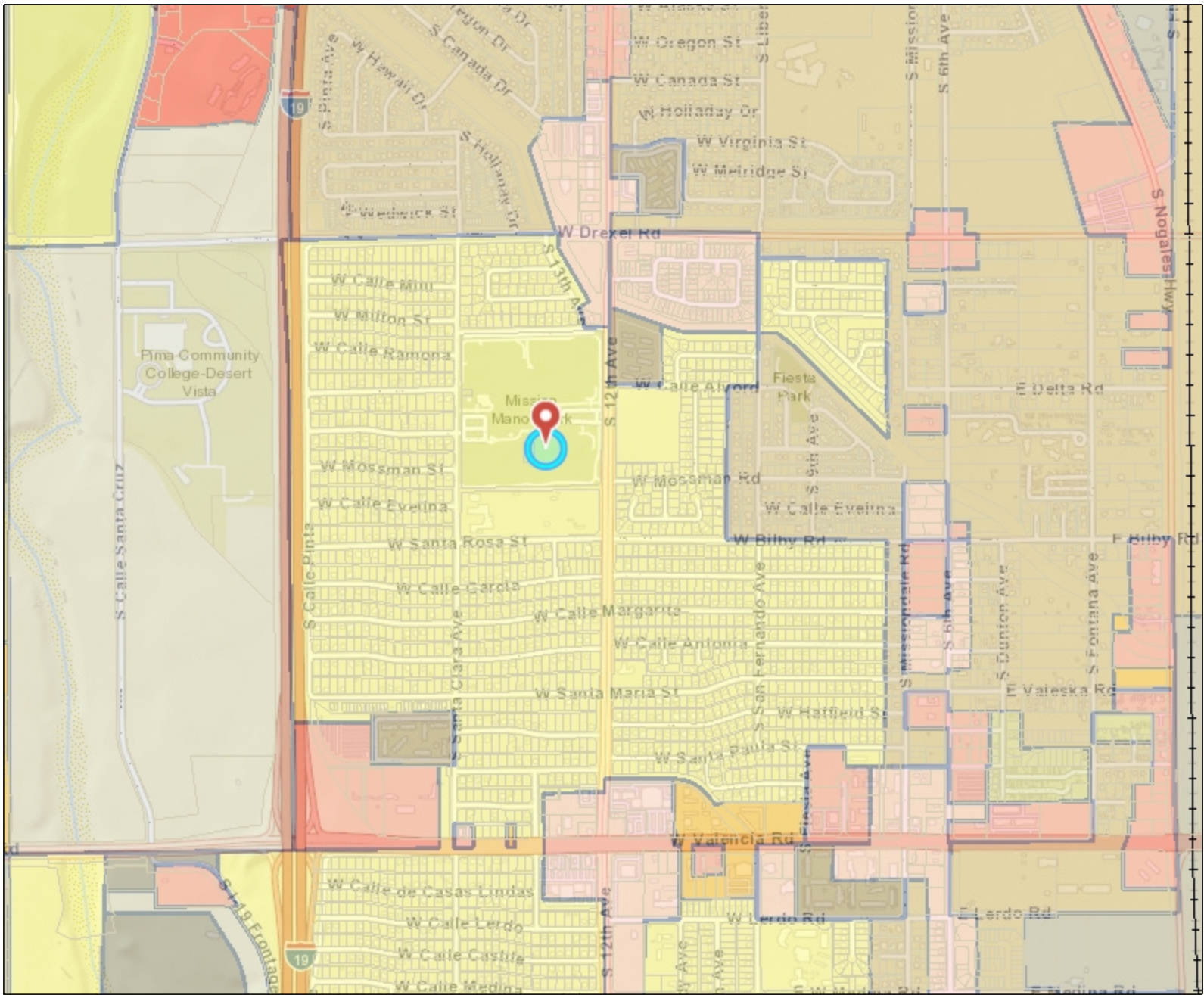
CONANP, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/N... Powered by Esri (<http://www.esri.com/>)

**Report question: *Within 1 of a Hazardous waste site? yes***

Modify question by entering a new buffer distance and unit for the selected study area:

Name	Distance
<input type="checkbox"/> SAN XAVIER ROCK AND MATERIALS VALENCIA P (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD980357727">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD980357727</a> )	0.82 mile
<input type="checkbox"/> MINIT LUBE 1122 (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD982436446">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD982436446</a> )	0.81 mile
<input type="checkbox"/> ECONO LUBE N TUNE 116 (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD982512170">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD982512170</a> )	0.85 mile
<input type="checkbox"/> PIMA COMMUNITY COLLEGE (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD098044795">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD098044795</a> )	0.54 mile
<input type="checkbox"/> HONEYWELL CCAPG (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000038224">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000038224</a> )	0.53 mile
<input type="checkbox"/> EFTC SOUTHWEST OPERATIONS (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD097113856">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZD097113856</a> )	0.53 mile
<input type="checkbox"/> FAMILY DOLLAR 5088 (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000517029">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000517029</a> )	0.95 mile
<input type="checkbox"/> FAMILY DOLLAR 6302 (TUCSON,AZ) ( <a href="https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000517961">https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=AZR000517961</a> )	0.56 mile

# Mission Manor Park, Tucson, AZ 85705

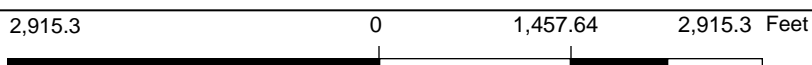


**Notes**  
 Zoning Map

**Legend**

Parcels	HR-2	C-2	O-3	P-1
Railroads	NR-2	HC-2	HO-3	I-1
<b>Tucson Zoning</b>	R-3	C-3	P	I-2
<all other values>	HR-3	HC-3	HP	OCR-1
PAD-41; PAD-37;	NR-3	HLC-3	RX-1	OCR-2
R-1	NR-3	UC-3	HLRX-1	MU
HLR-1	C-1	HNC	RX-2	RH
HR-1	HC-1	O-1	HRX-2	RV
NR-1	HLC-1	O-2	SR	MH-1
R-2	UC-1	HO-2	HSR	
HLR-2	UHC-1			

1: 18,056







# EJScreen Community Report

This report provides environmental and socioeconomic information for user-defined areas, and combines that data into environmental justice and supplemental indexes.

## Tucson, AZ

1 mile Ring Centered at 32.144577,-110.981848

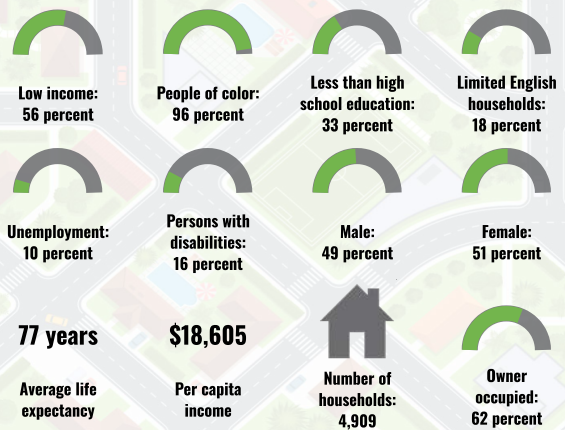
Population: 15,653

Area in square miles: 3.14

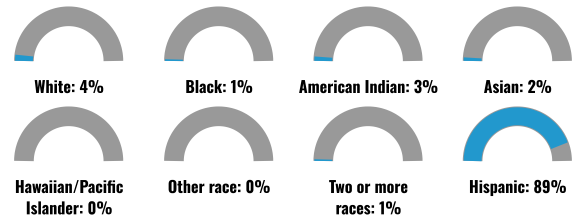
A3 Landscape



### COMMUNITY INFORMATION



### BREAKDOWN BY RACE



### BREAKDOWN BY AGE



### LIMITED ENGLISH SPEAKING BREAKDOWN



### LANGUAGES SPOKEN AT HOME

LANGUAGE	PERCENT
English	35%
Spanish	63%
Other Indo-European	1%
Other and Unspecified	1%
Total Non-English	65%

Notes: Numbers may not sum to totals due to rounding. Hispanic population can be of any race. Source: U.S. Census Bureau, American Community Survey (ACS) 2017-2021. Life expectancy data comes from the Centers for Disease Control.

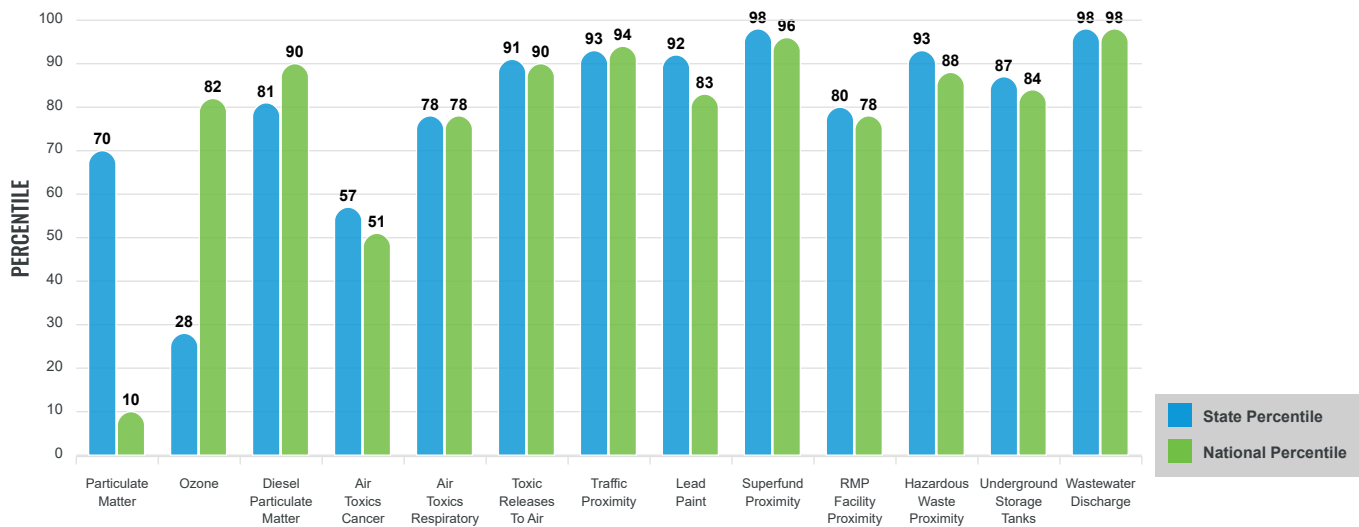
# Environmental Justice & Supplemental Indexes

The environmental justice and supplemental indexes are a combination of environmental and socioeconomic information. There are thirteen EJ indexes and supplemental indexes in EJScreen reflecting the 13 environmental indicators. The indexes for a selected area are compared to those for all other locations in the state or nation. For more information and calculation details on the EJ and supplemental indexes, please visit the [EJScreen website](#).

## EJ INDEXES

The EJ indexes help users screen for potential EJ concerns. To do this, the EJ index combines data on low income and people of color populations with a single environmental indicator.

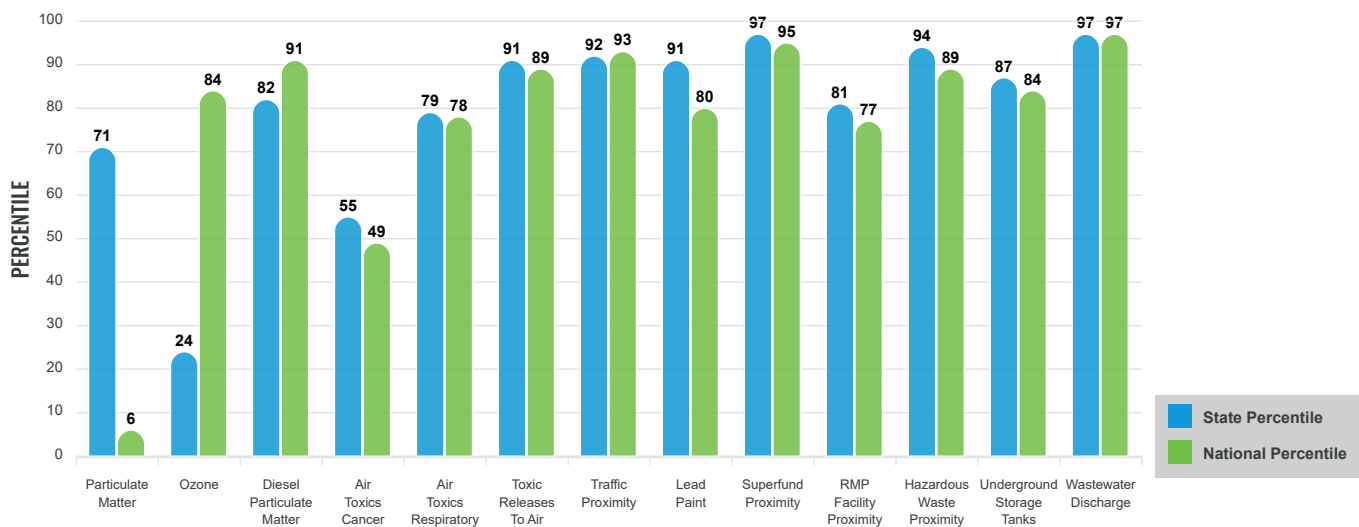
### EJ INDEXES FOR THE SELECTED LOCATION



## SUPPLEMENTAL INDEXES

The supplemental indexes offer a different perspective on community-level vulnerability. They combine data on percent low-income, percent linguistically isolated, percent less than high school education, percent unemployed, and low life expectancy with a single environmental indicator.

### SUPPLEMENTAL INDEXES FOR THE SELECTED LOCATION



These percentiles provide perspective on how the selected block group or buffer area compares to the entire state or nation.

Report for 1 mile Ring Centered at 32.144577,-110.981848



# EJScreen Environmental and Socioeconomic Indicators Data

SELECTED VARIABLES	VALUE	STATE AVERAGE	PERCENTILE IN STATE	USA AVERAGE	PERCENTILE IN USA
<b>POLLUTION AND SOURCES</b>					
Particulate Matter (µg/m <sup>3</sup> )	4.86	5.87	31	8.08	2
Ozone (ppb)	60.7	66.1	9	61.6	46
Diesel Particulate Matter (µg/m <sup>3</sup> )	0.293	0.278	48	0.261	67
Air Toxics Cancer Risk* (lifetime risk per million)	20	25	13	25	5
Air Toxics Respiratory HI*	0.3	0.31	30	0.31	31
Toxic Releases to Air	990	2,800	75	4,600	59
Traffic Proximity (daily traffic count/distance to road)	260	190	78	210	80
Lead Paint (% Pre-1960 Housing)	0.24	0.089	87	0.3	52
Superfund Proximity (site count/km distance)	0.17	0.077	93	0.13	81
RMP Facility Proximity (facility count/km distance)	0.14	0.38	47	0.43	42
Hazardous Waste Proximity (facility count/km distance)	0.99	0.71	80	1.9	61
Underground Storage Tanks (count/km <sup>2</sup> )	1.9	1.7	71	3.9	58
Wastewater Discharge (toxicity-weighted concentration/m distance)	1.3	5.8	84	22	92
<b>SOCIOECONOMIC INDICATORS</b>					
Demographic Index	76%	38%	92	35%	93
Supplemental Demographic Index	27%	14%	91	14%	92
People of Color	96%	44%	94	39%	92
Low Income	56%	32%	83	31%	85
Unemployment Rate	10%	6%	81	6%	81
Limited English Speaking Households	18%	4%	94	5%	92
Less Than High School Education	33%	12%	91	12%	93
Under Age 5	7%	5%	71	6%	71
Over Age 64	12%	20%	41	17%	33
Low Life Expectancy	21%	19%	63	20%	62

\*Diesel particulate matter, air toxics cancer risk, and air toxics respiratory hazard index are from the EPA's Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. Cancer risks and hazard indices from the Air Toxics Data Update are reported to one significant figure and any additional significant figures here are due to rounding. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.

**Sites reporting to EPA within defined area:**

Superfund .....	0
Hazardous Waste, Treatment, Storage, and Disposal Facilities .....	0
Water Dischargers .....	2
Air Pollution .....	1
Brownfields .....	2
Toxic Release Inventory .....	3

**Other community features within defined area:**

Schools .....	8
Hospitals .....	0
Places of Worship .....	7

**Other environmental data:**

Air Non-attainment .....	No
Impaired Waters .....	No

Selected location contains American Indian Reservation Lands* .....	No
Selected location contains a "Justice40 (CEJST)" disadvantaged community .....	Yes
Selected location contains an EPA IRA disadvantaged community .....	Yes

Report for 1 mile Ring Centered at 32.144577,-110.981848

## EJScreen Environmental and Socioeconomic Indicators Data

HEALTH INDICATORS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Low Life Expectancy	21%	19%	63	20%	62
Heart Disease	6.5	6	65	6.1	58
Asthma	11.7	10.6	85	10	87
Cancer	4.4	6.1	27	6.1	15
Persons with Disabilities	15%	13.9%	64	13.4%	65

CLIMATE INDICATORS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Flood Risk	1%	6%	40	12%	16
Wildfire Risk	0%	48%	0	14%	0

CRITICAL SERVICE GAPS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Broadband Internet	13%	13%	63	14%	55
Lack of Health Insurance	19%	10%	85	9%	90
Housing Burden	No	N/A	N/A	N/A	N/A
Transportation Access	Yes	N/A	N/A	N/A	N/A
Food Desert	Yes	N/A	N/A	N/A	N/A

Footnotes

Report for 1 mile Ring Centered at 32.144577,-110.981848