

6 JULY, 2022 MGD + HPZ DESIGN PACKAGE FOR

# ILLEGAL PETE'S REFRESH

876 E. UNIVERSITY BLVD TUCSON, AZ

Rob Paulus Architects robpaulus.com

# **CONTENTS**

APPLICATION	3
PROJECT STATEMENT	4
AERIAL PHOTOGRAPHY	5
DEVELOPMENT PLAN	6
ELEVATIONS + MATERIALS	8
RENDERING	11
EXISTING CONDITIONS	12
SURROUNDING AREA	13
PRECEDENT EXAMPLES IN AREA	14
NEIGHBORHOOD MEETING INVITATION	
AFFIDAVIT OF MAILING	16
NEIGHBORHOOD MEETING - MATERIALS	42
NEIGHBORHOOD MEETING NOTES + SIGN IN SHEET	45
PARCEL DETAIL + RECORD MAP	46
APPLICABLE FEE'S	47
DEVELOPMENT ZONE	48
ARIZONA HISTORIC PROPERTY INVENTORY FORM	49

# **APPLICATION**



# **Special Districts Application**

Application Stage: ☐ Pre-application ☒ Application Permit Activity Number(s): T15SA00073 Case Number(s): MGD-15-01, HPZ-15-01 Date Accepted: 7/18/2022 PROPERTY LOCATION AND PROPOSED DEVELOPMENT Project / Development Name (if applicable): ILLEGAL PETE'S NORTH PATIO IMPROVEMENTS Property Address: 876 E UNIVERSITY BLVD, TUCSON, AZ 85719 Pima County Tax Parcel Number/s: 124-05-049A Current Zoning: UHC-1 Applicable Overlay Zone/Special District: ☐ Grant Road Investment District (GRID) □ Rio Nuevo Area ■ Main Gate District (MGD) ☑ Historic Preservation Zone (HPZ) □ Neighborhood Preservation Zone ☐ Infill Incentive District (IID) ☐ Sunshine Mile District Neighborhood Association (if any): WEST UNIVERSITY PROJECT TYPE (check all that apply): ☐ Change of use to existing building/site ☐ New building(s) on vacant land ☐ New building(s) on developed land ☐ New addition to existing building X Other: Description of Proposed Land Use: NEW SHADE STRCUTURE AND SEATING AT NORTH PATIO Number of Buildings and Stories/Height of Proposed Structure(s): TWO(2) NEW SHADES STRUCTURES AT 12' AND 21' Total Site Area (sq ft): 8,493 Total Gross Floor Area of Proposed Building(s) (sq ft): **HISTORIC STATUS** Site is within a: Please List: WEST UNIVERSITY HISTORIC DISTRICT Please List: ☐ National Register District Site is/includes: □ Non-contributing structure(s) ☐ Is adjacent to a contributing structure □Vacant **APPLICANT INFORMATION** (The person processing the application and designated to receive notices): APPLICANT NAME: Daniel Hutcherson, Rob Paulus Architects ROLE: □ Property owner □ Engineer □Attorney □Developer ☐ Other: PHONE: 520.624.9805 EMAIL: ROB@ROBPAULUS.COM ADDRESS: 990 E 17TH STREET, TUCSON, AZ 85719 PROPERTY OWNER NAME(S) (If ownership in escrow, please note): D&F HOLDINGS LLC EMAIL: PETE@ILLEGALPETES.COM PHONE: 303.817.9523 I hereby certify that all information contained in this application is complete and true to the best of my knowledge. SIGNATURE OF OWNER/APPLICANT\*

\*\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date: 07.06.2022



# 240 N Broadway Denver | CO 80203

www.illegalpetes.com

July 11, 2022,

To who it may concern,

I, Pete Turner, authorize Rob Paulus Architects to submit the MGD and HPZ Special Districts Application for the property at 876 E University Blvd, Tucson, Az, on behalf of Illegal Pete's.

Please let me know if there is something I need to sign or any other way I can help this process.

Best Regards,

Pete Turner

President

Illegal Pete's

7-11-22

# PROJECT STATEMENT

#### PROJECT DESCRIPTION

The 2015 renovation and re-purposing of the 876 University Boulevard building into a new restaurant marks the fourth phase of use for the 1911 structure. Designed initially as a single family residence in the early 1900's, the house then became a boarding home in the 30's, a clothing store in 1959 and is now a restaurant along the thriving Main Gate Square.

With today's new and evolving climate concerning our health and livelyhood, there is a new focus on outdoor dining and entertainment. The idea is to create shade both across the north outdoor dining area along with the upper north terrace with fixed seating in order for the users to feel comfortable in the warm summer months.

The design and approach for the new shade structure is to will preserve the authentic character of the existing building's exterior by creating a thin structure with interior columns so that the structure apears to float along with retractable roman shades that allow full view of the building when the shgade is pulled back. The lower shade would be completly free standing from the building while the upper shade would attached to the building in a minimal way that does not harm the integrity of the historic building.

A clear demarcation between the historic 1911 structure and the new 2022 design elements are thoughtfully articulated to follow the Secretary of Interior Historic Standards for Historic Rehabilitation. These new elements are differentiated from the old in plan, section, and elevation while allowing the integrity of the existing building to be the prominent architectural feature for the corner site.

The new additions and alterations are designed in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

#### HISTORY OF 876 UNIVERSITY BOULEVARD, TUCSON ARIZONA

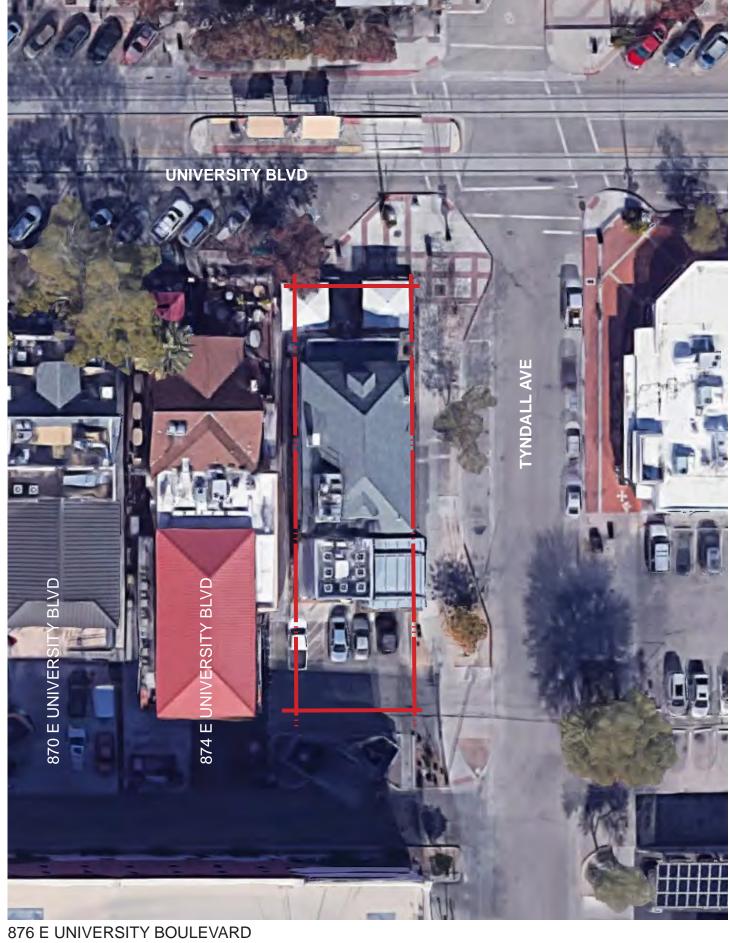
The structure at 876 University was built in 1910 by Captain Hiram M. Powell and his wife Jane. Captain Powell was the head of the military department at the University of Arizona.

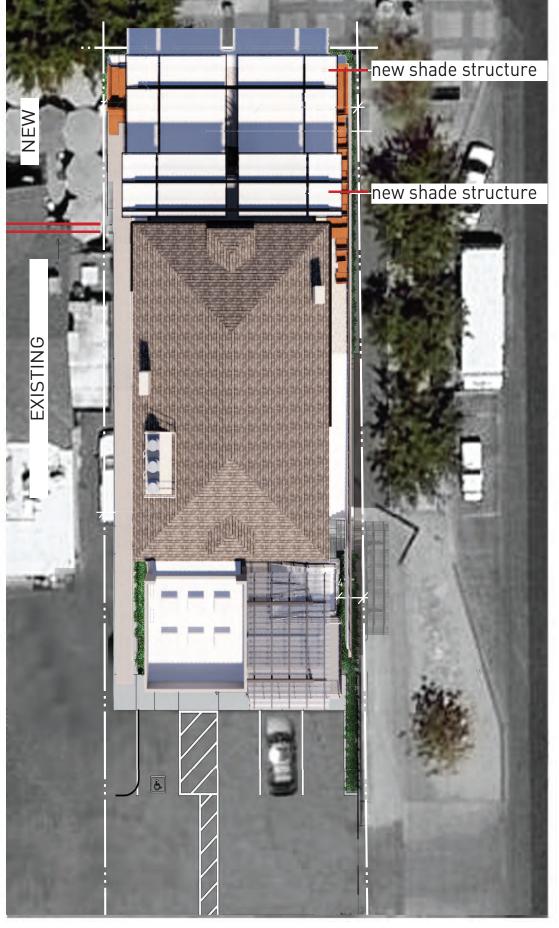
In 1915 Charles and Hattie Ferrin Soloman bought and moved into the house. Charles came from a pioneer family and was president of the Arizona National Bank. Hattie was one of four graduates from the University of Arizona class of 1898. Charles died in 1930 at 57. Hattie then turned the basement into a Better Woman shop called the Campus Lounge. She also converted the 2nd floor into a rooming house to college students and lived on the main floor. Hattie died in 1964.

Landmark Clothing, formerly the Franklin's Men Store, was opened in the building September 29th, 1959 and stayed in business till December 31, 2014. The property was purchased by Mort Edberg and the Ostroy trust in 1962 who recently sold the property to D&F Holdings LLC.

Transcribed from Mort Edberg, previous owner of 876 University

# **AERIAL PHOTOGRAPHY**





PROPOSED AERIAL

# **DEVELOPMENT PLAN**

#### **GENERAL NOTES**

- 1. DEVELOPER: ILLEGAL PETES INC. 240 BROADWAY DENVER, COLORADO 80203
- 2. THE GROSS SITE AREA IS 8.493 SQUARE FEET, OR 0.19 ACRES.
- 3. EXISTING ZONING IS **HC-1**. THIS PROJECT FALLS WITHIN THE MAIN GATE OVERLAY DISTRICT AND WILL BE DEVELOPED PER CITY OF TUCSON ORDINANCE 11015.
- 4. THE EXISTING USE IS RETAIL. THE PROPOSED USE OF THE DEVELOPMENT IS FOOD SERVICE AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.9.4.M.1 & 5 AND 4.9.13.0 FOR FOOD SERVICE. AS WELL AS 4.9.4.V.1, 3, & 5-9, 4.9.4.C.3 AND 4.9.13.0 FOR ALCOHOLIC BEVERAGE SERVICE AS AN ACCESSORY USE TO FOOD SERVICE.
- 5. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER,
- 6. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS
- 7. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS
- 8. ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED. DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC
- 9. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED OPERATE AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE
  WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COLINTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- 10. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS
- 11 MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY
  SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- 12 A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- 13. ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.

PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7' ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS

- "VAN ACCESSIBLE".
   THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5% THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- 14. THIS PROJECT IS WITHIN THE MAIN GATE OVERLAY DISTRICT (MGD), AS ADOPTED BY CITY OF TUCSON ORDINANCE 11015
- REQUIREMENTS FOR MAIN GATE OVERLAY DISTRICT ZONING MAXIMUM BUILDING HEIGHT = 30', PER UNDERLYING C-1 ZONING ACTUAL BUILDING HEIGHT = 27.2'

PERIMETER YARDS (SETBACKS): PER MAIN GATE OVERLAY DISTRICT

REQUIRED NORTH (STREET) SOUTH 70.5' MIN. 9' MIN \*ALL DIMENSIONS MEASURED TO FROM PROPERTY LINE

15. PARKING REQUIRED

MOTOR VEHICLE FOR MGD: 1 SPACE PER 1,000 SF TOTAL REQUIRED = 9,000/1,000 TOTAL PROVIDED

\*5 SPACES PROVIDED OFFSITE (NORTH)
\*\* 4 EXISTING ON-SITE PARKING SPACES TO BE REMOVED WHEN LOCAL
TRASH COMPACTOR ADDED PER DS15-30

ACCESSIBLE SPACES PROVIDED ACCESSIBLE SPACE PROVIDED TO BE VAN ACCESSIBLE

# Two working days before you dig |1-800-782-5348

#### **GENERAL NOTES (CONT'D)**

#### BIKE DARKING

TOTAL REQUIRED = 9,000/5,000

TOTAL PROVIDED

LONG TERM: 1 SPACE PER 12,000 SF (2 MIN.) TOTAL REQUIRED = 9,000/12,000 = 2 SPACES = 2 SPACES SPACES PROVIDED

LOADING ZONES REQUIRED LOADING ZONES PROVIDED

- = 0 SPACES
- 16. NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- 17. DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORMWATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%
- 18. MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- 19. PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 51 TONS OF SOLID WASTE PER YEAR (EQUATING TO 658 GALLONS PER WEEK). A MINIMUM OF ONE 3-CUBIC-YARD TRASH BIN WILL BE REQUIRED TO BE PICKED UP ON-SITE ONCE A WEEK. ONE 3-CUBIC-YARD RECYCLE BIN WILL ALSO BE PROVIDED.
- 20. TOTAL BUILDING GFA IS 9,000 SF (INCLUDING PATIO OPEN SPACE). TOTAL PAVED AREA IS 2,500 SF ±
- 21. TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY
- 22. TOTAL OPEN SPACE REQUIRED PER MGD IS 1,274 SF (15% OF TOTAL LAND AREA). TOTAL OPEN SPACE PROVIDED FOR THIS DEVELOPMENT IS APPROXIMATELY 1.380 SF (16% OF TOTAL LAND AREA).
- 23. TOTAL LANDSCAPED AREA REQUIRED PER MGD IS 345 SF (25% OF PROVIDED OPEN SPACE AT GROUND LEVEL). TOTAL LANDSCAPED AREA PROVIDED FOR THIS DEVELOPMENT IS APPROXIMATELY 715 SF (52% OF PROVIDED OPEN SPACE AT GROUND LEVEL).
- 23. THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA FOR CITY OF TUCSON ORDINANCE 11015, MAIN GATE OVERLAY
- 24. ANY WORK WITHIN WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- 25 THE FLOOD ZONE DESIGNATION IS "OTHER AREAS ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEDERAL EMERGENCY MANAGEMENT AGENCY RATE MAP PANEL 04019C2277L, WITH AN EFFECTIVE DATE OF JUNE

#### HPZ-15-23 NOTES

- A HISTORIC PRESERVATION ZONE REVIEW APPROVAL WAS PROVIDED ON MARCH 31st, 2015 WITH THE FOLLOWING CONDITIONS:
  - 1) RETURN TO WUHZAB FOR REVIEW OF REVISED PROPOSAL;
  - PROVIDE THREE (3) COPIES OF WORKING DRAWINGS TO THE ZONING ADMINISTRATION AT THE TIME OF PERMIT SIGN-OFF; AND, 3) OBTAIN THE APPROPRIATE PERMITS WITHIN ONE (1) YEAR OF THE

#### MGD-15-01 NOTES

- A MAIN GATE DISTRICT ZONE REVIEW APPROVAL WAS PROVIDED ON APRIL 8th, 2015 WITH THE FOLLOWING CONDITIONS:
- 1) PROVIDE THREE (3) COPIES OF WORKING DRAWINGS TO THE ZONING ADMINISTRATION AT THE TIME OF PERMIT SIGN-OFF; AND, 2) OBTAIN THE APPROPRIATE PERMITS WITHIN ONE (1) YEAR OF THE

SHEET INDEX

2. NOTES 3. SITE PLAN 4. UTILITIES & EASEMENTS PLAN 5. GRADING PLAN

7. DEMOLITION PLAN 8. HARDSCAPE PLAN 9. HARDSCAPE ENLARGEMENTS

10. LANDSCAPE PLAN
11. IRRIGATION PLAN
12. HARDSCAPE DETAILS

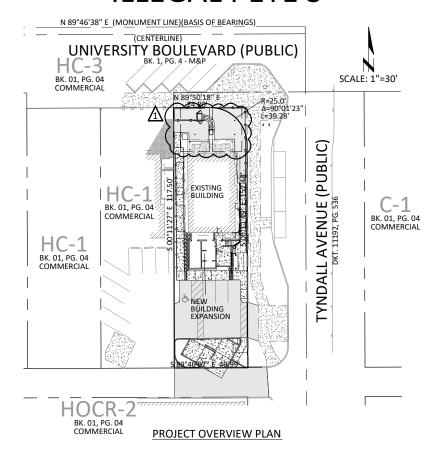
13. HARDSCAPE DETAILS

14. HARDSCAPE DETAILS

1. COVER SHEET

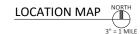
DETAILS

# **DEVELOPMENT PACKAGE for ILLEGAL PETE'S**





IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 07 T 14 S R 14 F G & S R M CITY OF





FS

TC

EXISTING CONTOUR • 2580.25 SPOT ELEV. (FIN. GRADE) Ö • (2580.25) SPOT ELEV. (EXIST. GRADE) PAINT STRIPE (E) EXISTING PAVEMENT EDGE **EXISTING CURB** Е EXISTING CONCRETE n. (G) NEW CURB 21) **NEW WALL** NEW CONCRETE NEW ASPHALT NEW FENCE/RAILING EXISTING EASEMENT RIGHT-OF-WAY

**EXISTING SIGN** EXISTING STREET/TRAFFIC LIGHT

EXISTING SEWER MANHOLE EXISTING WATER METER

EXISTING ELECTRIC MANHOLE

EXISTING ELECTRIC PULLBOX/METER EXISTING POWER POLE

EXISTING GAS MANHOLE PARKING SPACE COUNT

ZONING DIVISION SIGHT VISIBILITY TRIANGLE

FINISH SURFACE

TOP OF CURB/CONCRETE

FINISHED FLOOR ELEVATION

PROJECT BOUNDARY LINE

OTHER PARCEL LINE ROADWAY CENTERLINE

EXISTING SEWER

CYPRESS PROJECT NO: 15,003

**EXISTING WATER** EXISTING COMMUNICATION LINE

EXISTING OVERHEAD ELECTRIC EXISTING GAS LINE

DEVELOPMENT UNDER MAIN GATE DISTRICT ZONING OPTION

△ 06-20-22 ADD NEW CANOPIES AND ADA LIFT

LOCATED IN THE NORTHWEST QUARTER

OF SECTION 7, TOWNSHIP 14 S., RANGE 14 E., G.&S.R.M., PIMA COUNTY, ARIZONA.

ALSO KNOWN AS "BUFUS LOT 9" AS RECORDED IN BK. 1, PG. 4, OF MAPS AND

FOR REVISION 1 ONLY

2321

# **ARCHITECT**

ROB PAULUS ARCHITECTS LTD 990 E 17TH STREET, SUITE 100 TUCSON, ARIZONA 85719 ATTN: ROB PAULUS P: (520) 624-9805

#### LANDSCAPE ARCHITECT

ARC STUDIOS INC 5781 N PLACITA AMANECER TUCSON, ARIZONA 85718 ATTN: CHRIS WINTERS P: (520) 882-9655

#### OWNER/DEVELOPER ILLEGAL PETES, INC

240 BROADWAY DENVER, COLORADO 80203 EMAIL: pturner@illegalpetes.com SITE ADDRESS 876 F LINIVERSITY BOLLI EVARD UCSON, ARIZONA 85719

CIVIL DEVELOPMENT tucson, arizona 85716 ph: 520.261.7440

**DEVELOPMENT PACKAGE for ILLEGAL PETE'S** 

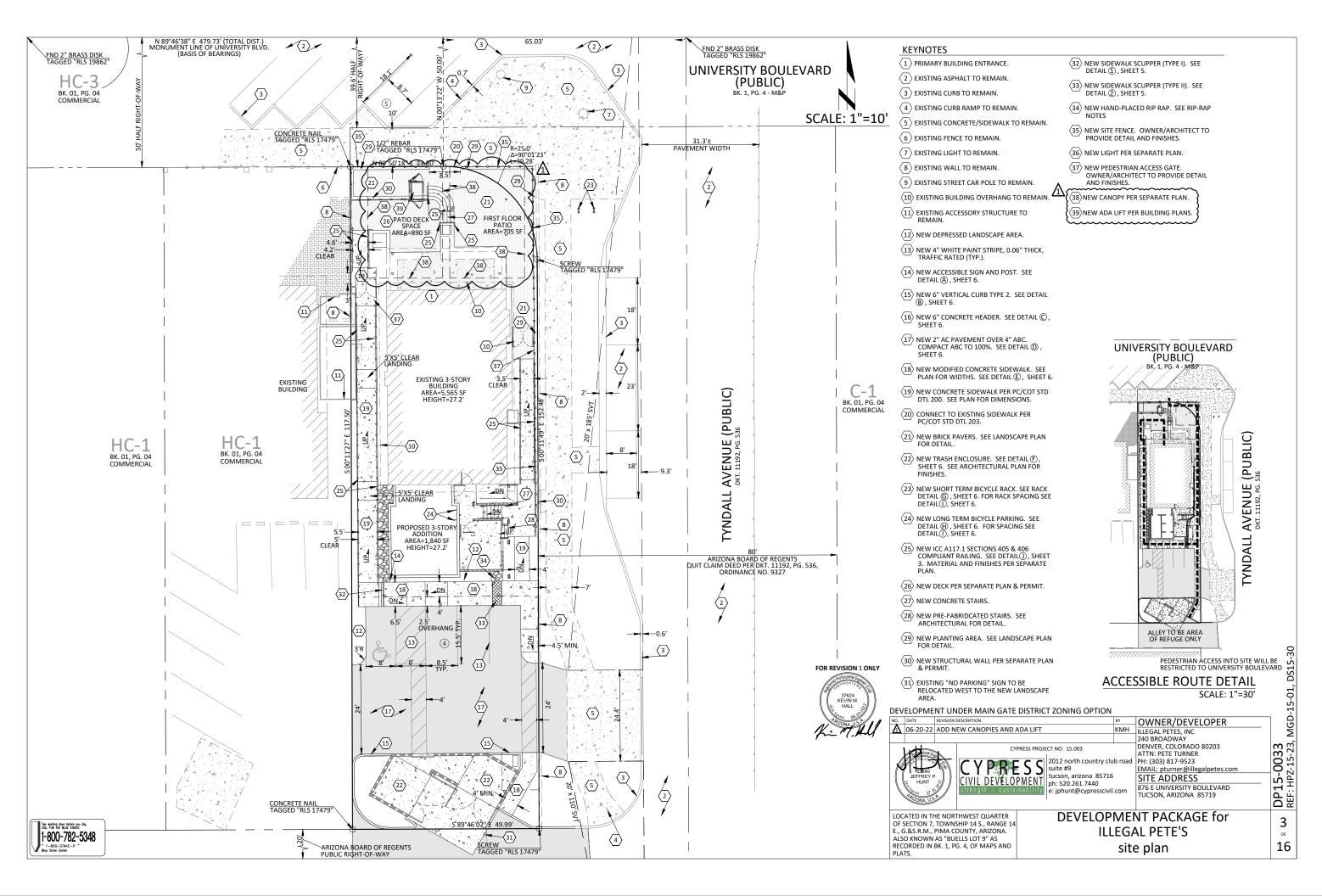
cover sheet

MGD-15-01,

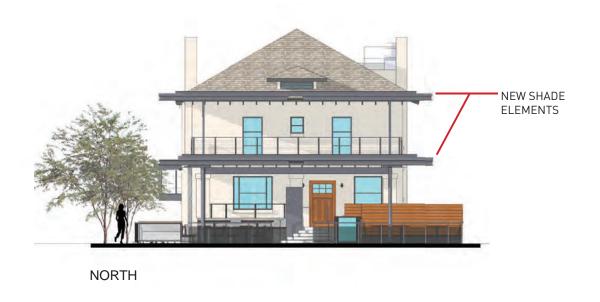
DP1. 1 16

L5-C HPZ-





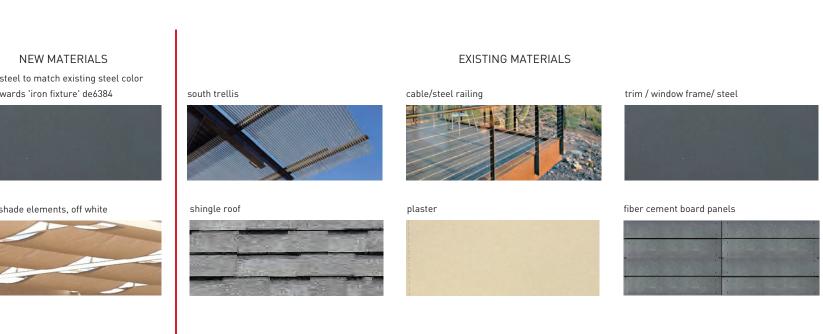
# **ELEVATIONS + MATERIALS**

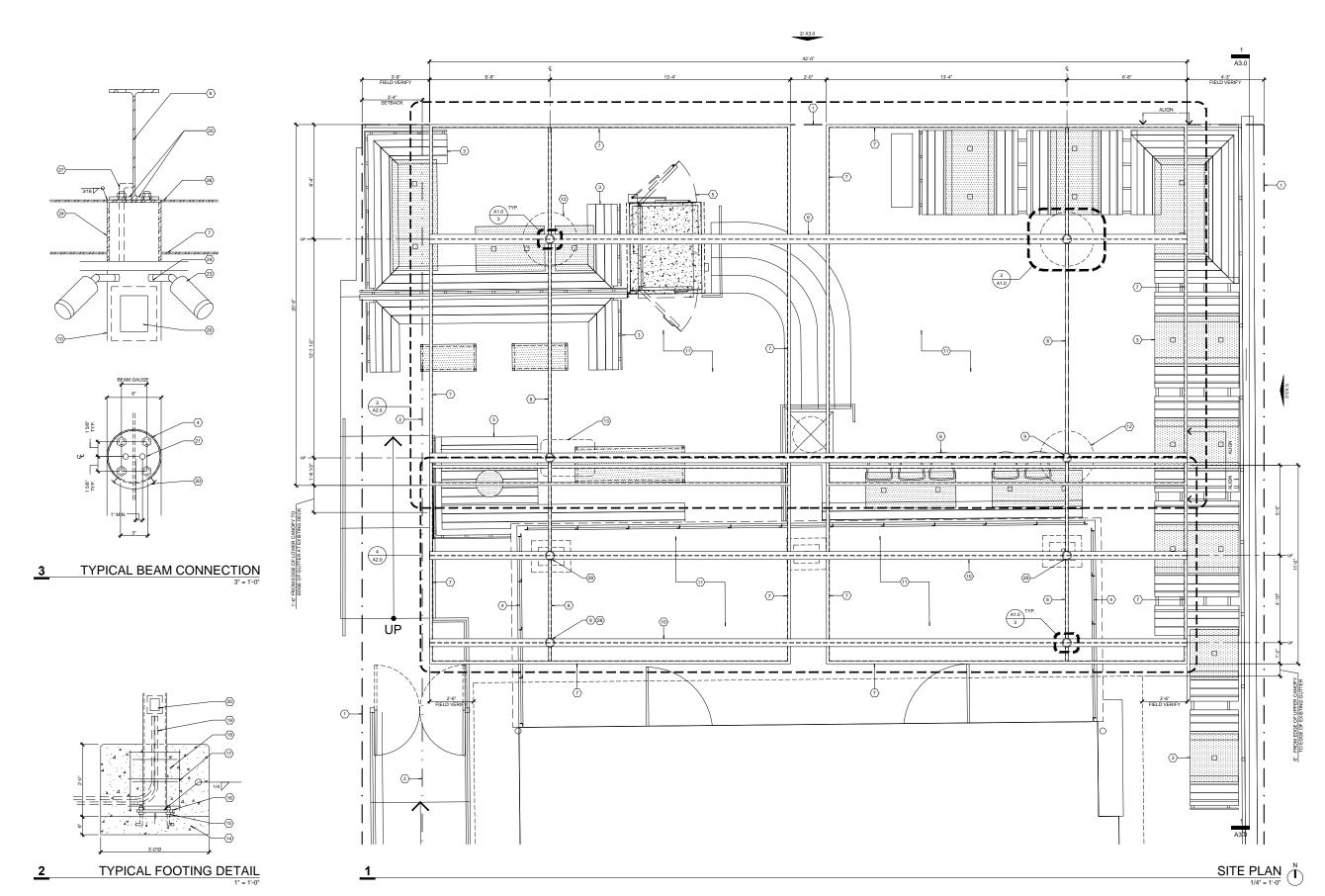












#### **GENERAL NOTES**

DIMENSIONS GIVE ARE NOMINAL AND FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

2. DIMENSIONS ARE FROM FACE OF FRAMING.

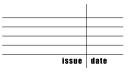
#### ○KEYNOTES

PROPERTY LINE

- 2. SETSBACKS
- 3. EXISTING STATIONARY TABLE AND SEATING
- 4. EXISTING BALCONY RAILING TO REMAINT
- EXISTING ADA LIFT
- W FLANGE W12 X26 PAINTED TO MATCH EXISTING STEEL, SEE STRUCTURAL SPEC
- C CHANNEL C8 X 11.5 PAINTED TO MATCH EXISTING STEEL, SEE STRUCTURAL SPEC

- 6" O.D. TUBE STEEL, SEE STRUCTURAL FOR SPECIFICATION
- RETRACTABLE ROMAN SHADE SAIL/ SYSTEM, SEE SPECIFICATION
- 12. 3' DIAMETER FOOTING, SEE STRUCTURAL 3' ASYMMETRICAL FOOTING, SEE STRUCTURAL
- 14. CONSTRUCTION FOOTING
- 15. DOUBLE NUTS, LEVELING. SEE SPEC
- 16. 1/2" X 12 X 1'-0" STEEL BASE PLATE WITH (4) 3/4" Ø ANCHOR BOLTS (3" EMBED)
- 17. (8) #4 VERTICAL EVENLY SPACED
- 18. (2) #4 DOWELS X 15' LONG WELDED TO EACH SIDE OF COLUMN (4) TOTAL
- UNDERGROUND WIRE SLEEVE, MISTING PIPE WHERE APPLICABLE
- 20. 3" X 4" CLEAR HAND HOLE WITH 5" X 6"
  REMOVABLE COVER PLATE. VERIFY HEIGHT IN
  FIELD WITH ARCHITECT
- 5/8" Ø HOLE FOR ELECTRICAL, AUDIO SYSTEM OR MISTING SYSTEM

- 23. LIGHT FIXTURE, SEE SPECIFICATION
- 24. 1/2" NPS COUPLING WELDED INTO POLE HOLE BEYOND FOR ELECTRICAL, MISTING SYSTEM, WHERE APPLICABLE
- 26. 1/2" X COLUMN Ø COLUMN CAP PLATE
- 27. RUN BLACK CONDUIT TO C CHANNEL FOR ELECTRICAL OR MISTER SYSTEM IF NECESSARY
- REMOVE EXISTING DECKING SYSTEM, WELD 6° Ø COLUMNS TO 10° X 10° TUBE STEEL, REAPPLY DECKING SYSTEM WHERE APPLICABLE. SEE STRUCTURAL SPEC



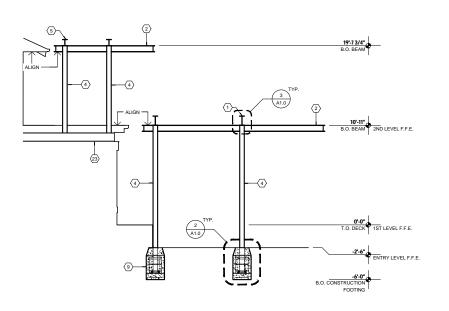
# REFRESH

#### ROB PAULUS ARCHITECTS LTD.

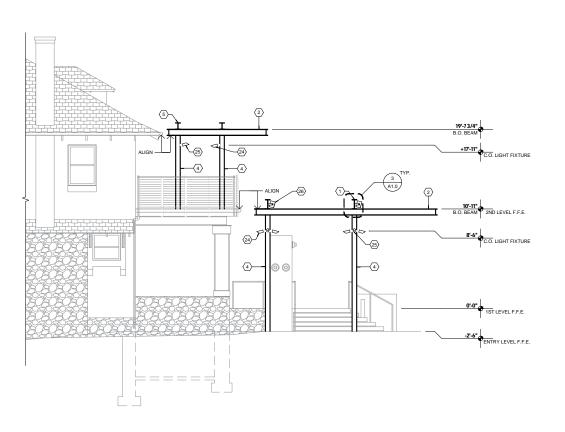
990 EAST 17TH STREET SUITE 100 TUCSON ARIZONA 85719 520.624.9805 W W W . R O B P A U L U S . C O M

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project no. 2021-011



EAST SECTION



NORTH ELEVATION

B.O. BEAM 2ND LEVEL F.F.E.

**EAST ELEVATION** 

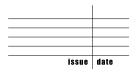
**GENERAL NOTES** DIMENSIONS GIVE ARE NOMINAL AND FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

2. DIMENSIONS ARE FROM FACE OF FRAMING.

3. ANY CHANGES AND OR ADDITIONS SHALL NOT INTERFERE WITH THE EXISTING HISTORIC IDEATION OF THE STRUCTURE.

### KEYNOTES ©

- W FLANGE W12 X26 PAINTED TO MATCH EXISTING STEEL, SEE STRUCTURAL SPEC
- C CHANNEL C8 X 11.5 PAINTED TO MATCH EXISTING STEEL, SEE STRUCTURAL SPEC
- HSS RECTANGLE STEEL TUBING 8 X 2 X 3/16\*
  PAINTED TO MATCH EXISTING STEEL, SEE
  STRUCTURAL SPEC
- 6" O.D. TUBE STEEL, SEE STRUCTURAL FOR SPECIFICATION
- W FLANGE W8 X 21 PAINTED TO MATCH EXISTING STEEL (DUNN EDWARDS 'IRON FIXTURE', SEE STRUCTURAL FOR SPEC
- RETRACTABLE ROMAN SHADE SAIL/ SYSTEM, SEE SPECIFICATION
- 7. 3' DIAMETER FOOTING, SEE STRUCTURAL
- 3' ASYMMETRICAL FOOTING, SEE STRUCTURAL
- 9. CONSTRUCTION FOOTING
- 10. DOUBLE NUTS, LEVELING. SEE SPEC
- 1/2" X 12 X 1'-0" STEEL BASE PLATE WITH (4) 3/4" Ø ANCHOR BOLTS (3" EMBED)
- 12. (8) #4 VERTICAL EVENLY SPACED
- 13. (2) #4 DOWELS X 15\* LONG WELDED TO EACH SIDE OF COLUMN (4) TOTAL
- 14. UNDERGROUND WIRE SLEEVE, MISTING PIPE WHERE APPLICABLE
- 15. 3' X 4" CLEAR HAND HOLE WITH 5" X 6" REMOVABLE COVER PLATE. VERIFY HEIGHT IN FIELD WITH ARCHITECT
- 16. 5/8" Ø HOLE FOR ELECTRICAL, AUDIO SYSTEM OR MISTING SYSTEM
- 17. (4) 5/8" THREADED STUDS
- 18. LIGHT FIXTURE, SEE SPECIFICATION
- 19. 1/2" NPS COUPLING WELDED INTO POLE
- 20. HOLE BEYOND FOR ELECTRICAL, MISTING SYSTEM, WHERE APPLICABLE
- 21. 1/2" X COLUMN Ø COLUMN CAP PLATE
- 22. RUN BLACK CONDUIT TO C CHANNEL FOR ELECTRICAL OR MISTER SYSTEM IF NECESSARY
- 23. EXISTING 10" X 10" STRUCTURAL TUBE STEEL
- DOWN LIGHTS ON COLUMN AT 8'-0" A.F.F., SEE SPEC
- 25. UP LIGHTS ON COLUMN AT 8'-0" A.F.F., SEE SPEC
- 26. WEATHER PROOF SPEAKER SYSTEM, BLUETOOTH COMPATIBLE, MOUNT TO W FLANGE. SEE SPECIFICATION AND VERIFY WITH OWNER
- 27. EXISTING DECK OVERHANG





ROB PAULUS ARCHITECTS LTD.
990 EAST 17TH STREET SUITE 100
TUCSON ARIZONA 85719 520.624.9805
W W W . R O B P A U L U S . C O M

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project no. 2021-011

**A3.0** 

# **RENDERING**



# **EXISTING CONDITIONS**



NORTH





EAST



WEST

# **SURROUNDING AREA**



VIEW TO THE NORTH



VIEW TO THE SOUTH



VIEW TO THE EAST



VIEW TO THE WEST



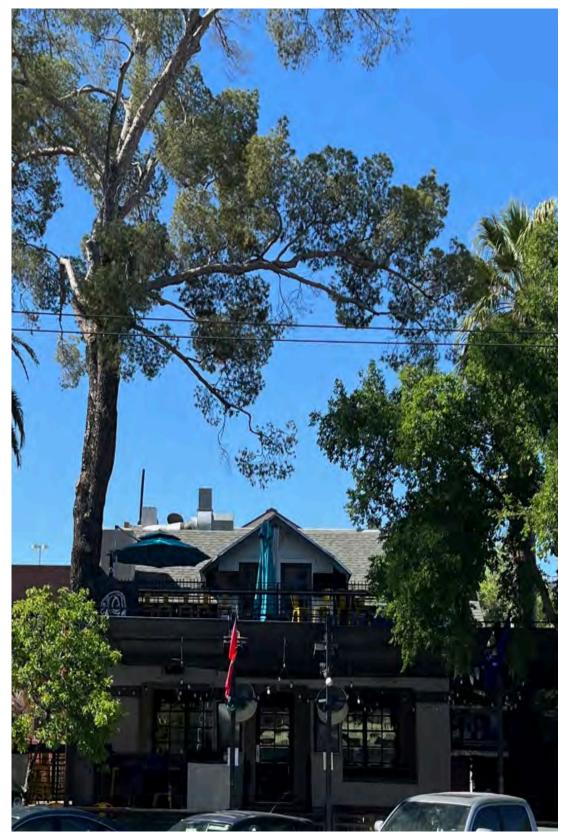
# PRECEDENT EXAMPLES IN AREA



870 E UNIVERSITY BLVD FIXED SHADE STRUCTURE



874 E UNIVERSITY BLVD



870 E UNIVERSITY BLVD UPPER DECK WITH SHADE

# **NEIGHBORHOOD MEETING INVITATION**

## **Rob Paulus Architects Ltd**

1

June 15, 2022

### **Notice of Virtual Neighborhood Meeting**

You are cordially invited to attend a presentation related to the REFRESH of the exterior of the Illegal Pete's located at 876 East University Boulevard.

Meeting time: June 30th at 5:30pm

**Meeting Location:** Virtual Meeting via Zoom – see meeting instructions on other side. **Subject:** Proposal: Illegal Pete's REFRESH, New Shade Structures, Application for Main

Gate District + Historic Review

Located in the center of the Historic Main Gate Square District in Tucson, Arizona, the Illegal Pete's REFRESH project enhances the restaurant experience with new retractable shade canopies at the existing outdoor area at the lower north space and upper balcony. The project will provide much needed shade to the existing outdoor dining area with a design that is complementary to the existing historic structure. The improvements will join the neighboring establishments, to the west of this property, that already provide extensive shade and will offer a more comfortable and thermally advantageous space for outdoor gathering and dining. The project will also provide a safer gathering space for customers during the era of Covid.

Design and Development team members will provide a brief overview of the REFRESH project with three dimensional images, site and floor plans and building elevations available for your viewing.

Your questions and comments about the project will be welcomed during the meeting but may also be submitted in writing to the project applicant, Kenneth Lowe, at <a href="mailto:kenneth@robpaulus.com">kenneth@robpaulus.com</a>, (520) 624-9805.

We are looking forward to your participation in assisting us in adding to the vibrant Main Gate Square experience.

#### Meeting Agenda

- 1. Introductions
- 2. Presentation of Project
  - Project Overview
  - Site Plan
  - Elevations
  - Perspectives
  - o Floor Plan
  - Surroundings
- Questions and Answers along with comments via email
- 4. Adjournment



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lame and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.	
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POSTAL SERVICE ®			Cert	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100  Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office  Postmaster, per (name of receiving employee)	Affix Stamp Here Postmark with Date of the P	f Receipt.	U.S. POSTAGE PAID TUCSON, AZ JUN 15, 22 AMOUNT \$2.82 R2304E107364-12	,
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4.	ALBERT DONALD J REVOC LIVING TR 522 E 2ND ST TUCSON AZ 85705				
5.	ALONSO ANA MARIA & KILLICK DAVID J CP/RS 1042 N 5TH AVE TUCSON AZ 85705			(4)	
6.	ALVA ORLANDO & FAITH ANN CP/RS 101 E UNIVERSITY BLVD APT 12 TUCSON AZ 85705				

PS Form **3665**, January 2017 (Page <u>18</u> of <u>104</u>) PSN 7530-17-000-5549

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POSTAL SERVICE

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Certificate of Mailing — Firm

Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receivin	of Pieces Received at Post Office Management of Pieces Received At			U.S. POSTAGE PAI TUCSON, AZ 98726 JUA15-22 AMOUNT \$2.82 R2304E107364-	
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25-27 E 4TH STREET LLC 307 E 5TH ST TUCSON AZ 85705

tress of Sender S s Architects 990 East t Suite 100 rizona 85719	TOTAL NO. of Pieces Listed by Sender TOTAL NO. of Pieces Listed by Sender Pieces Received at Post Office  Postmaster, per (name of receiving amployee)	Affix Stamp Here Postmark with Date of Received	U.S. POSTAGE PAID TUCSON, AZ 45726 JUN 15 22 AMOUNT \$2.82 R2304E107364-12	
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PS Form 3665, January 2017 (Page 20 of 104) PSN 7530-17-000-5549

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Name and Address of Sender

Certificate of Mailing — Firm

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BARDORFF ALEXANDER & WILLIAMS TERESA 203 W UNIVERSITY BLVD TUCSON AZ 85705			
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POSTAL SERVICE *				Cer	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date			
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PS Form **3665**, January 2017 (Page <u>22</u> of <u>104</u>) PSN 7530-17-000-5549

UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO.	TOTAL NO.	Affix Stamp Here			
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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of	of Receipt.		
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6.	DAVIS JACOB D & AM 635 E 4TH ST TUCSON AZ 85705	IY C CP/RS				

PS Form **3665**, January 2017 (Page <u>24</u> of <u>104</u>) PSN 7530-17-000-5549

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Certificate of Mailing — Firm

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PS Form **3665**, January 2017 (Page <u>23</u> of <u>104</u>) PSN 7530-17-000-5549

POSTAL SERVICE ®				Certi	ficate of Mail	ing — Firm	
Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East	TOTAL NO. of Pieces Listed by Sender of						
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PS Form 3665, January 2017 (Page 26 of 104) PSN 7530-17-000-5549

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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO: of Pieces Received at Post Office™	Affix Stamp Here	. Consolut			
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PS Form **3665**, January 2017 (Page <u>28</u> of <u>104</u>) PSN 7530-17-000-5549

UNITED STATES POSTAL SERVICE			Cert	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office	Affix Stamp Here Postmark with Date			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)			U.S. POSTAGE PAID TUCSON, AZ 85728 JUN 15 22 JUN 15 22	
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5.	EAST 6TH STREET LLC 203 W UNIVERSITY BLVD				
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6.	EDWARDS LEASEHOLD EXCHANGE LLC 518 E UNIVERSITY BLVD				
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Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719

**Rob Paulus** 

TOTAL NO. of Pieces Listed by Sender

U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT \$2.82 R2304E107364-12

GRACE FAMILY LIVING TR 1004 N 6TH AVE TUCSON, AZ 85705

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PS Form **3665**, January 2017 (Page <u>30</u> of <u>104</u>) PSN 7530-17-000-5549

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Certificate of Mailing — Firm

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.	
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UNITED STATES Certificate of Mailing — Firm

Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender    TOTAL NO. of Pieces Received at Post Office™   Postmaster, per (name of receiving employee)	Affix Stamp Here Postmark with Date of Receipt.  JUN 15 1022
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1.	HARAYDA MARK A & ALMA R JT/RS	
3.	311 E 5TH ST	
	TUCSON AZ 85705	
	HARMAN NORMAN JOHN JR	
4.	631 N 5TH AVE	
	TUCSON AZ 85705	
5.	HAZAN DAVID & ASHLEY CP/RS	
W.	705 N 7TH AVE	
	TUCSON AZ 85705	
	HEILMAN BRONWEN W S & HALL DAVID H CP/RS	
6.	603 N 3RD AVE	
	TUCSON AZ 85705	
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PS Form **3665**, January 2017 (Page <u>32</u> of <u>104</u>) PSN 7530-17-000-5549

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Certificate of Mailing — Firm

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**Rob Paulus** 

U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82 R2304E107364-12

USPS* Tracking Number	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
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	JENSON GEORGE R 1/2 & JENSON GEORGE R &				
4.	501 E 1ST ST				
	TUCSON AZ 85705				
	JOHNSON AMY LOUISE & AARON MICHAEL CP/RS				
5.	910 N 4TH AVE # 1				
2-2-15	TUCSON AZ 85705				
	JOHNSON RONALD J JR				
6.	643 N 4TH AVE				
2-22-21-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1	TUCSON AZ 85705				

PS Form 3665, January 2017 (Page 34 of 104) PSN 7530-17-000-5549

See Reverse for Instructions

UNITED STATES
POSTAL SERVICE ®

Certificate of Mailing — Firm

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.	
Rob Paulus				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6	4		U.S. POSTAGE PAID TUCSON, AZ
	Postmaster, per (name of received)	(ing employee)	0000	\$2.82 R2304E107364-12

USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
Firm-specific identifier	HENDERSON SCOTT L & KATHERINE ANDREWS			ON AZ MAIN	
1.	CP/RS			0	
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2.	1029 N 5TH AVE		1	4\	
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3.	620 E 4TH ST				
	TUCSON AZ 85705				
	HOUSE DAYNA L				_
4.	101 E UNIVERSITY BLVD APT 9				
***************************************	TUCSON AZ 85705				
	HUNN ROBIN T				
5.	332 E 5TH ST				
	TUCSON AZ 85705				
6	HUTCHISON SCOT M & JENNIFER S REVOC TR		-		
v.	301 E 4TH ST				
	TUCSON AZ 85705				
PS Form <b>3665</b> , January 2017 (Page <u>33</u> of <u>104</u> ) is				San D	everse for Instruc

UNITED STATES
POSTAL SERVICE ®

Certificate of Mailing — Firm

Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date	e of Receipt.				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	U.S. POSTAGE PAID TUCSON, AZ 1872 22 22 AMOUNT \$2.82 R2304E1073B4-12					
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code ***)	Postage	Fee	Special Handling	Parcel Airlift		
1.	KENT JUDITH & BAZGAN IOAN DIMITRIE JT/RS 102 E 1ST ST TUCSON AZ 85705						
2.	KETTLEWELL SUSAN A 610 N 2ND AVE TUCSON AZ 85705		(See	N AZ MAIN OFF			
3.	KINCAID CHARLES DAVIS 120 E SPEEDWAY BLVD TUCSON AZ 85705			(N) 15 2022			
4.	KIRK DANIEL P & ALYSSA G JT/RS 517 N 3RD AVE TUCSON AZ 85705		THE STATE OF THE S	WS 85728-5TY2 882			
5.	KISIEL HAYLEY H 425 E 1ST ST TUCSON AZ 85705			0			
6.	KITTELSON KAREN 514 N 2ND AVE TUCSON AZ 85705						

PS Form 3665, January 2017 (Page 36 of 104) PSN 7530-17-000-5549

UNITED STATES POSTAL SERVICE ®			Certi	ificate of Mail	ing — Firi
Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100  Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Reco	eipt.	U.S. POSTAGE PAIL	D.
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1.	JONES CLYDE JAMES & PETERSON SPIKE JT/RS 526 E 4TH ST			RUCSON AZ MA	

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***************************************	TUCSON AZ 85705			0000	
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h.	830 N ARIZONA AVE				
***************************************	TUCSON AZ 85705				
	KARRA RAMESH & JULIE A CP/RS				
	1015 N 5TH AVE				
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	KARSK RICHARD S				
	311 E 4TH ST				
	TUCSON AZ 85705				
	KEMP BRIAN D				
<u>,</u>	445 E UNIVERSITY BLVD	2 II			
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POSTAL SERVICE ®	TOTAL NO. TOTAL NO.	Affix Stamp Here			
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l.,	RS	1			
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PS Form 3665, January 2017 (Page 40 of 104) PSN 7530-17-000-5549

See Reverse for Instructions

Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date	of Receipt.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receivin	g employee)			U.S. POSTAGE PA TUCSON, AZ 85726 JUN 15, 22 AMOUNT	AID
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1.	KUNDE EUGENE R					
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Certificate of Mailing — Firm

UNITED STATES POSTAL SERVICE ®  Jame and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719			Affix Stamp Here Postmark with Date of Receipt.	U.S. POSTAGE PAID TUCSON, AZ JUN 15.28 JUN 15.28 <b>\$2.82</b>	
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Ġ,	304 E 4TH ST			85726-911	
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j.	616 N 4TH AVE				
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5.	717 N 7TH AVE				
	TUCSON AZ 85705				
S Form <b>3665</b> , January 2017 (Page <u>37</u> of <u>104</u> )				Sec Re	verse for Instr

UNITED STATES
POSTAL SERVICE ® Certificate of Mailing — Firm TOTAL NO.
of Pieces Received at Post Office Postmark with Date of Receipt. TOTAL NO. of Pieces Listed by Sender Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East U.S. POSTAGE PAID 17th Street Suite 100 TUCSON, AZ 95726 JUN 15, 22 AMOUNT Tucson, Arizona 85719 \$2.82 82304E107364-12 USPS® Tracking Number Address (Name, Street, City, State, and ZIP Code™) Postage Special Handling Parcel Airlift Fee (Name, Street, City, State, and ZIP Code™)
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POSTAL SERVICE ®			Cer	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender of Pieces Received at Post Office	Affix Stamp Here Postmark with Date of	Receipt.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)		9	U.S. POSTAGE PAID TUCSON, AZ 85728 JUN 15.22 JUN 15.22	
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5.	MC DONNELL RICHARD A & MARCI L CP/RS				
5,	505 E 5TH ST	4			
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	MC GINNIS SUSAN E				
6.	1045 N 3RD AVE				
	TUCSON AZ 85705				

PS Form **3665**, January 2017 (Page <u>42</u> of <u>104</u>) PSN 7530-17-000-5549.

PS Form **3665**, January 2017 (Page <u>41</u> of <u>104</u>) PSN 7530-17-000-5549

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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of	Receipt.		
Rob Paulus  Rob Paulus Architects 990 East  17th Street Suite 100  Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	COOO OOO	!	U.S. POSTAGE PAID TUGSON, AZ JUN 15 22 JUN 15 22 AMOUNT \$2.82 R2304E107364-12	
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Firm-specific Identifier	MILES SYLVIA JO				T. Carrie L. Carrie
1.	619 E 5TH ST	K			
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3.	MILNOR ADAM ASH & BUNCH CLAIRE ELIZABETH			11 15 2022	
o.	CP/RS		(Mar)		
	548 E UNIVERSITY BLVD		1.00	10/	
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4.	MOLINA FERNANDO B & CHRISTINE R CP/RS				
*	620 N 5TH AVE				
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5.	MORRISON MELANIE & SCHWARTZ KERRY L JT/				
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7.00.00.00.00.00.00.00.00.00.00.00.00.00	224 E 2ND ST				
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6.	MORSE MICHAEL L & SANDRA C			1111111111111	
·	127 E UNIVERSITY BLVD				
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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here	of Paraint		
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UNITED STATES POSTAL SERVICE ®  Name and Address of Sender		OTAL NO.	Affix Stamp Here			
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Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6		<b>3</b>	U.S. POSTAGE PAID TUCSON, AZ 85728 JUN 15-22 AMOUNT		
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6.	602 E 4TH ST					
	TUCSON AZ 85705					

PS Form **3665**, January 2017 (Page <u>48</u> of <u>104</u>) PSN 7530-17-000-5549

of Pieces Listed by Sender of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of	Receipt.		
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NORTH FOURTH PROPERTIES LLC			1	
		10	7 MAIN	
TUCSON AZ 85705		SON	OF	
NORTHERN LIGHTS LLC		12/	120	
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O MALLEY CAROL A LIVING TR				
602 N 7TH AVE				
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OLAGUE JASON ANDRES				
TUCSON AZ 85705				
	Postmaster, per (name of receiving employee)  Address (Name, Street, City, State, and ZIP Code **)  NORTH FOURTH PROPERTIES LLC 833 N 4TH AVE TUCSON AZ 85705  NORTHERN LIGHTS LLC 140 E 4TH ST TUCSON AZ 85705  NOWICKI CHRISTOPHER & NOWICKI MATTHEW JT/RS 648 E SPEEDWAY BLVD TUCSON AZ 85705  NUNEZ OSCAR A 101 E UNIVERSITY BLVD APT 4 TUCSON AZ 85705  O MALLEY CAROL A LIVING TR 602 N 7TH AVE TUCSON AZ 85705  OLAGUE JASON ANDRES 428 E 5TH ST	Postmark with Date of  Postmark with Date of  Postmark with Date of  Address (Name, Street, City, State, and ZIP Code™)  NORTH FOURTH PROPERTIES LLC  833 N 4TH AVE TUCSON AZ 85705  NORTHERN LIGHTS LLC 140 E 4TH ST TUCSON AZ 85705  NOWICKI CHRISTOPHER & NOWICKI MATTHEW JT/RS 648 E SPEEDWAY BLVD TUCSON AZ 85705  NUNEZ OSCAR A 101 E UNIVERSITY BLVD APT 4 TUCSON AZ 85705  O MALLEY CAROL A LIVING TR 602 N 7TH AVE TUCSON AZ 85705  OLAGUE JASON ANDRES 428 E 5TH ST	of Pieces Listed by Sender  Of Pieces Received at Post Office™  Postmark with Date of Receipt.  Postmark with Date of Receipt	Postmark with Date of Receipt.  Postmark with Date of Receipt.

PS Form **3665**, January 2017 (Page <u>45</u> of <u>104</u>) PSN 7530-17-000-5549

Name and Address of Sender	TOTAL NO. TOTAL NO. of Pieces Listed by Sender of Pieces Received at Post	Affix Stamp Her			
Rob Paulus	Ut Fledes Listed by Sellider	Postmark with Dat	e of Receipt.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6 6			U.S. POSTAGE PAI TUCSON, AZ 85726	D
	Postmaster, per (name of receiving employee)	## M	0000	JUN 15 22 AMOUNT \$2.82 R2304E107364-1	2
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
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3.	541 E UNIVERSITY BL				
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4.	819 N 4TH AVE				
	TUCSON AZ 85705				
	NELSON ARNOLD & MARILYN JT/RS				
5.	518 E 1ST ST				
	TUCSON AZ 85705				
2	NEUFELD BRENDA G LIVING TR		-		
6.	914 N 4TH AVE				
	TUCSON AZ 85705				

UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO.	TOTAL NO	Affix Stamp Here			
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Rob Paulus			3			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6	6			U.S. POSTAGE PAID TUCSON, AZ 85725 JUN 15 22 AMOUNT	
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5.	318 E SPEEDWAY BLV	'D	]			
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PS Form 3665, January 2017 (Page 49 of 104) PSN 7530-17-000-5549

Name and Address of Sender	TOTAL NO.	TOTAL NO.	Affix Stamp Here			
Rob Paulus	of Pieces Listed by Sender	of Pieces Received at Post Office™	Postmark with Date			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving	employee)		<b>≥</b>	U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT	
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6.	1044 N 4TH AVE					
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PS Form 3665, January 2017 (Page 52 of 104) PSN 7530-17-000-5549

See Reverse for Instructions

See Reverse for instructions

TOTAL NO.
of Pieces Received at Post Office™ Affix Stamp Here
Postmark with Date of Receipt. Name and Address of Sender TOTAL NO. of Pieces Listed by Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719 U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82 USPS\* Tracking Number Firm-specific Identifier Address (Name, Street, City, State, and ZIP Code™) Postage Special Handling ROSS SEAN HENRY 245 E 4TH ST TUCSON AZ 85705 SANDERS SAM E & GAMBOIAN NANCY L CP/RS 919 N 5TH AVE TUCSON AZ 85705 SAXE GREGORY M & SHEERAN OLIVIA JT/RS 615 E 1ST ST TUCSON AZ 85705 SCHLESINGER WILLIAM D 510 E 4TH ST UNIT 1 TUCSON AZ 85705 SCHOONMAKER SEAN & ELISE CP/RS 219 E 4TH ST TUCSON AZ 85705 SCHRAG-TOSO FAMILY TR 112 E 1ST ST TUCSON AZ 85705 PS Form 3665, January 2017 (Page 50 of 104) PSN 7530-17-000-5549 See Reverse for Instructions

UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here	of Receipt.		
Rob Paulus		11 5 10 11 11				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6	le			U.S. POSTAGE PAI TUCSON, AZ 95726 JUN 15, 22 JUN 15, 22 AMOUNT	D
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	3115 N FAIRVIEW AVE	UNIT 117				
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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received	at Post Office™	Affix Stamp Here Postmark with Date			
Rob Paulus  Rob Paulus Architects 990 East  17th Street Suite 100  Tucson, Arizona 85719	6 6			<b>3</b>	U.S. POSTAGE PAID TUCSON, AZ	
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1.	624 N 7TH AVE			GON A	MAIN	
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2.	SEXTON JAY & RUBY CP/RS			T JUN T	5 2022	
<u>.                                    </u>	621 N 3RD AVE			1000	3 2022	
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3	SHELBEN PROPERTIES LLC			WS 8572	6.95**	
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4.	616 E UNIVERSITY BLVD					
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5.	JT/RS					
	1021 N 2ND AVE					
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3.	SMALL JOANNE					
	512 E 2ND ST					
	TUCSON AZ 85705					

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TOTAL NO. TOTAL NO.	Affin Stamp Hara		
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VAN LEEUWEN WILLEM & CHAVARRIA SARA CP/		12 September 12 Se	
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	Address (Name, Street, City, State, and ZIP Code **)  UNIVERSITY CITY CHURCH 604 N 6TH AVE TUCSON AZ 85705  URBANIAK SHANE & URBANIAK DAVID 924 N 3RD AVE TUCSON AZ 85705  VAN LEEUWEN WILLEM & CHAVARRIA SARA CP/ RS 729 N 6TH AVE TUCSON AZ 85705  VAZQUEZ MIGUEL I & GONZALEZ LIZBETH CP/RS 632 E SPEEDWAY BLVD TUCSON AZ 85705  VERNON BENJAMIN & JULIE CP/RS 312 E 2ND ST TUCSON AZ 85705  VERSON JOSHUA M	Of Pieces Listed by Sender  Of Pieces Received at Post Office**  Postmark with Date of Receipt.	

PS Form **3665**, January 2017 (Page <u>56</u> of <u>104</u>) PSN 7530-17-000-5549

See Reverse for Instructions

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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receivin	g employee)			U.S. POSTAGE PAID	
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v.	1022 N BEAN AVE			13	60)	
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5.	911 N 2ND AVE					
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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender of Pieces Received at Post Office	Affix Stamp Here			
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Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6 6		2	U.S. POSTAGE PAID	
	Postmaster, per (name of receiving employee)	000	100 m	TUCSON, AZ 55728 JUN 15 22 AMOUNT \$2.82 R2304E107364-12	
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	TOMAT ELISA & HOE WARREN CP/RS				
3.	608 E 4TH ST				
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5.	2742 W CARNAUBA ST				
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6	TURNER DAMON C & GLOVER LENOR A LIVING				
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	TUCSON AZ 85705				

See Reverse for Instructions

Rob Paulus Architects 990 East

Name and Address of Sender

17th Street Suite 100

Tucson, Arizona 85719

Rob Paulus

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U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT

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USPS® Tracking Number Firm-specific Identifier Address (Name, Street, City, State, and ZIP Code™) Parcel Airlift Postage Special Handling WEINSTEIN SUZANNE & WEINSTEIN TERESA F JT/RS 515 E 2ND ST TUCSON AZ 85705 WEISHEIT WESLEY
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TUCSON AZ 85705 JUN 15 2022 WEST KAREN K 728 N BEAN AVE APT 2 TUCSON AZ 85705 WHEELWRIGHT MARY 237 E 4TH ST TUCSON AZ 85705 WILLIAMS JILL M & APICELLA MORGAN B G JT/RS 911 N 6TH AVE TUCSON AZ 85705 WILLIAMS RICKY E & CARA CP/RS 205 E UNIVERSITY BLVD TUCSON AZ 85705

PS Form 3665, January 2017 (Page 58 of 104) PSN 7530-17-000-5549

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POSTAL SERVICE ®				Cer	tificate of Mail	ing — Firm
Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender  Postmaster, per (name of receiving	TOTAL NO. of Pieces Received at Post Office The	Postmark with Date		U.S. POSTAGE PAID TUCSON, AZ JUNESTES 22 JUNESTES 22 JUNESTES 22 JUNESTES 22 R2304E107384-12	
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3.	WADE NATHAN THOMA 116 E 2ND ST TUCSON AZ 85705	AS		NS 657	26.971216	
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5.	TUCSON AZ 85705 WARREN LARRIE 1010 N 7TH AVE TUCSON AZ 85705					
6.	WATTS NICHOLAS JAM 630 E HARVILL DR UNI TUCSON AZ 85705					

UNITED STΔTES POSTAL SERVICE ®				Cer	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100  Tucson, Arizona 85719	Postmaster, per (name of raceiv	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of	Receipt.	U.S. POSTAGE PAID TUCSON. AZ JUN 15, 22 JUN 15, 22 AMOUNT <b>\$2.82</b> R2304E107364-12	,
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3.	STRONG PAULINE TR 830 N HAYDEN DR TUCSON AZ 85710	ł .			\$ 95725-971/2 \$3	
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5.	BGP LLC 4400 E BROADWAY B TUCSON AZ 85711	LVD STE 516			140	
6.	BRADY CHRISTINA 5755 E 4TH ST TUCSON AZ 85711					

PS Form 3665, January 2017 (Page 60 of 104) PSN 7530-17-000-5549

UNITED STATES
POSTAL SERVICE

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Certificate of Mailing — Firm

Name and Address of Sender  Rob Paulus	of Pieces Listed by Sender of Pieces Received at Post Office**  Po				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	100	2000 2000	U.S. POSTAGE PAID TUCSON, AZ JUN 15, 22 JUN 15, 22 ANOUNT \$2.82 R2304E107384-12	
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	TUCSON AZ 85706				
5.	AMHERST CLUB HOMEOWNERS ASSOC INC 8755 E BROADWAY BLVD				
	TUCSON AZ 85710				

FICKE FRITZ A & LEAH A CP/RS 9167 E COCKLEBERRY LN TUCSON AZ 85710

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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Hen Postmark with Date	e e of Receipt.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	U.S. POSTAGE PAI TUCSON. AZ JUN 15 122 JUN 15 122 JUN 15 122 S 2.82 R2304E107364-			7
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	PIMA MONTHLY MEETING HOLDING COMPANY				-
5.	3301 E LESTER ST			-	
	TUCSON AZ 85716				
	RUIZ ANGELA B & JORGE CP/RS				
6.	515 S AVENIDA DE PALMAS				
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PS Form 3665, January 2017 (Page 64 of 104) PSN 7530-17-000-5549

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Name and Address of Sender  Rob Paulus	of Pieces Listed by Sender of Pieces Received at Post Office™		of Pieces Listed by Sender of Pieces Received at Post Office™ Po			of Receipt.	of.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of roceive	ing employee)		DOUGE.	U.S. POSTAGE PAI TUCSON, AZ 58728 JUN 18 22 AMOUNT \$2.82 R2304E107384-1				
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	BARBEE MIKE & AMY								
6.	9140 E CANYON TER	RACE DR							
	TUCSON AZ 85715		_						
PS Form <b>3665</b> , January 2017 (Page <u>62</u> of <u>104</u> ) PSN 75	77 CAN 5540				Pag P	everse for Instruct			

Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	Affix Stamp Here Postmark with Date				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	le			U.S. POSTAGE PA TUCSON, AZ 85726 JUN 15, 22 JUN 15, 22	D	
	Postmaster, per (name of receiv	( ing employee)	***	0000	\$2.82 R2304E107364-	12
USPS* Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	A Division Development of the De		of Receipt.		
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COPPER UNIVERSITY LLC 2709 E 8TH ST TUCSON AZ 85716

CROW JOHN H FAMILY TR 727 N TREAT AVE TUCSON AZ 85716

JONES RUSSELL 3401 E WAVERLY ST TUCSON AZ 85716 PS Form 3665, January 2017 (Page 66 of 104) PSN 7530-17-000-5549

PS Form 3665, January 2017 (Page 65 of 104) PSN 7530-17-000-5549

Parcel Airlift

See Reverse for Instructions

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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date				Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date			
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3.	MY BEST HOME EVER PO BOX 40070 TUCSON AZ 85717	LLC		ONS 85728-8712	6		3.	FLEMING ROBERT B 8 1745 E RIVER RD STE TUCSON AZ 85718			04	85726-8112	
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TUCSON AZ 85717

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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.	
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PS Form 3665, January 2017 (Page 68 of 104) PSN 7530-17-000-5549

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PS Form 3665, January 2017 (Page 70 of 104) PSN 7530-17-000-5549

UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO.	TOTAL NO.	Affix Stamp Here			
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17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)  J. C. L.	000	300 00	U.S. POSTAGE PAID TUCSON, AZ 198728 J.W. 15, 22 AMOUNT \$2.82 R2304E107364-12	
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1.	AJ & J CP TR 2261 E MABEL ST TUCSON AZ 85719		(25°)	SON AZ MAIN OR	
2.	ALEXANDER MARY J 1710 E WAVERLY ST TUCSON AZ 85719		(1)	UN 15 2022	
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4.	ARIZONA BOARD OF REGENTS 220 W 6TH ST PO BOX 210300 TUCSON AZ 85719				
5.	BARNES JACQUELINE 734 E 4TH ST TUCSON AZ 85719			180	
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UNITED STATES POSTAL SERVICE				Certificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender		Affix Stamp Here Postmark with Date of R	eceipt.	
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Le	6		U.S. POSTAGE PAID TUCSON, AZ 95726 JUN 15, 22 AMOUNT	
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5.	724 CM LLC 724 E UNIVERSITY BI	.VD			
	TUCSON AZ 85719				
6.	AGGIE HOUSE INC 819 N EUCLID AVE TUCSON AZ 85719				

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17th Street Suite 100

Tucson, Arizona 85719

**Rob Paulus** 

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PS Form 3665, January 2017 (Page 74 of 104) PSN 7530-17-000-5549

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PS Form 3665, January 2017 (Page 73 of 104) PSN 7530-17-000-5549

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U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82

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Parcel Airlift

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Name and Address of Sender

**Rob Paulus** 

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Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	0000		U.S. POSTAGE PAID TUCSON, AZ 85725 22 JUN 5072 AMOUNT \$2.82 R2304E107364-12	
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4,	HAYNES GEORGE L & VESELKO-HAYNES 1071 E SENECA ST TUCSON AZ 85719				
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PS Form 3665, January 2017 (Page 76 of 104) PSN 7530-17-000-5549

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TOTAL NO. of Pieces Listed by Sender TOTAL NO. of Pieces Received at Post Office™ Affix Stamp Here Postmark with Date of Receipt. **Rob Paulus** Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719 U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT \$2.82 011 --

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PS Form 3665, January 2017 (Page 80 of 104) PSN 7530-17-000-5549

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Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office	Affix Stamp Here  Postmark with Date of Recei	ipt.			
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3.	MILLER KATHY GIOKARIS		857200			
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PS Form <b>3665</b> , January 2017 (Page <u>78</u> of <u>104</u> )			See	1		

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POSTAL SERVICE \* Certificate of Mailing — Firm TOTAL NO. TOTAL NO. Affix Stamp Here Name and Address of Sender f Pieces Received at Post Office™ Pieces Listed by Sender Postmark with Date of Receipt.

**Rob Paulus** Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719

U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT \$2.82 R2304E107364-12

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WHATED STREET,

USPS® Tracking Number Address
(Name, Street, City, State, and ZIP Code™)

KAUFMAN ASHER & NICHOLS CATHERINE ANN Postage Fee Special Handling Parcel Airlift CP/RS 1030 N 1ST AVE **TUCSON AZ 85719** KNIPE DEAN H 727 E 6TH ST JUN 15 202 TUCSON AZ 85719 LAUFFER EURA R & DIANE C JT/RS 728 E 5TH ST TUCSON AZ 85719 LITTLE VALEDA LEE 634 N 1ST AVE TUCSON AZ 85719 LUND RAY E 126 N 1ST AVE TUCSON AZ 85719 MARSH VAN SLYKE LIVING TR 707 E 1ST ST TUCSON AZ 85719

UNITED STATES
POSTAL SERVICE ® Rob Paulus

17th Street Suite 100

Tucson, Arizona 85719

Rob Paulus Architects 990 East

TOTAL NO. of Pieces Listed by Sender

TOTAL NO. of Pieces Received at Post Office™

Affix Stamp Here

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U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15, 22 AMOUNT \$2.82 R2304E107364-12

Certificate of Mailing — Firm

USPS® Tracking Number Address (Name, Street, City, State, and ZIP Code™) Parcel Airlift Special Handling Postage Fee POSTAL HISTORY FOUNDATION INC 920 N 1ST AVE TUCSON AZ 85719 REDESIGN BY BLASER LLC 1 JUN 15 2022 1745 E GLENN ST APT 227 TUCSON AZ 85719 RILEY ROBIN M 2035 E 5TH ST TUCSON AZ 85719 SALAIZ DEBRA S & TWYLA & SALAIZ GRACE S JT/ 1332 E HAMPTON ST TUCSON AZ 85719 SEA TAB LLC 870 E UNIVERSITY BLVD TUCSON AZ 85719 SENSIBARRIO LLC 1050 S TYNDALL AVE TUCSON AZ 85719

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PS Form 3665, January 2017 (Page 82 of 104) PSN 7530-17-000-5549

See Reverse for Instructions

UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here			
Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100  Tucson, Arizona 85719	or neces based by Sender	( )	Postmark with Date	of Receipt.	U.S. DOCTAGE BAID	
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	CITY OF TUCSON					
6.	PO BOX 27210					
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Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	6 6			U.S. POSTAGE PAID TUCSON, AZ 95725 JUN 15, 22 AMOUNT	·
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3.	PO BOX 36434	13			
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5.	PO BOX 36163	-		1-2	
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PS Form 3665, January 2017 (Page 84 of 104) PSN 7530-17-000-5549 /% S

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UNITED STATES

Certificate of Mailing - Firm

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4	PO BOX 44297		
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UNITED STATES POSTAL SERVICE ®			Cer	tificate of Mail	ing — Firm
Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East 17th Street Suite 100  Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office™  Postmark with Date of Receipt.  U.S. POSTAGE PAID TUCSON. AZ 3UN 15. 22 AMOUNT  **STATE***  **STATE**  **STATE**				
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	4236 W CALVA DRAW PL				
	TUCSON AZ 85745				

PS Form **3665**, January 2017 (Page <u>86</u> of <u>104</u>) PSN 7530-17-000-5549

PS Form 3665, January 2017 (Page 85 of 104) PSN 7530-17-000-5549

Name and Address of Sender  Rob Paulus			Affix Stamp Here Postmark with Date of Receipt.			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719					U.S. POSTAGE PAID TUCSON, AZ 58728 22 JUN 15 22 JUN 15 22	
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POSTAL SERVICE ® Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	TOTAL NO. of Pieces Listed by Sender  TOTAL NO. of Pieces Received at Post Office **  Postmaster, per (name of receiving employee)	Affix Stamp Here Postmark with Date of Rec-	U.S. POSTAGE PAID TUCSON. AZ 198726 JUN 18 22 AMOUNT \$2.82 R2304E107384-12	
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Name and Address of Sender	TOTAL NO. of Places Listed by Sender  TOTAL NO. of Places Received at Post Office™	Affix Stamp Her Postmark with Dat			
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4	4121 W EL CAMINO DEL CERRO				
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5.	5121 W SALERNO DR				
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Name and Address of Sender  Rob Paulus	TOTAL NO. of Pieces Listed by Sender TOTAL NO. of Pieces Received at Post Office	Affix Stamp Here Postmark with Date of t	Receipt.		
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)	1000 0000		U.S. POSTAGE PAID TUGGON. AZ 95725 22 JUNE 22 AMOUNT \$2.82 R2304E107364-12	9
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1.	622 SECOND STREET LLC		12	18	
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D.	6979 E WILD CANYON PL				
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6.	4835 N PASEO SONOYTA				
	TUCSON AZ 85750				

PS Form 3665, January 2017 (Page 90 of 104) PSN 7530-17-000-5549

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Name and Address of Sender  Rob Paulus  Rob Paulus Architects 990 East	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date			
17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiv	ling amployee)	2000s	<b>1</b>	U.S. POSTAGE PAID TUCSON, AZ B5726 JUN 15, 22 AMOUNT \$2.82 R2304E107364-12	
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PS Form 3665, January 2017 (Page 92 of 104) PSN 7530-17-000-5549

POSTAL SERVICE ®

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Name and Address of Sender  Rob Paulus			Affix Stamp Here Postmark with Date			
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster; per iname of receiving a	employee)	0000	<b>∌</b> %	U.S. POSTAGE PAID. TUCSON, AZ B5728 21 JANOUNT \$2.82 R2504E107364-12	
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	TUCSON AZ 85751					

MOON FAMILY PROPERTIES LLC PO BOX 30817 TUCSON AZ 85751

MORNING STAR PROPERTY MANAGEMENT LLC PO BOX 30817 TUCSON AZ 85751

POSTAL SERVICE ®			Cer	tificate of Mail	ing — Firm	
Name and Address of Sender  Rob Paulus	TOTAL NO. of Places Listed by Sender  TOTAL NO. of Places Received at Post Office™	Affix Stamp Her Postmark with Date				
Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719	Postmaster, per (name of receiving employee)			U.S. POSTAGE PA TUCSON, AZ 95728 JUN 15, 22 AMOUNT		
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USPS® Tracking Number	Address	Postage	Fee	Special Handling	Parcel Airlift	
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1.	BELLA VISTA VENTURES LLC					
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	LINDALE TUCSON LLC 50% & M LOFTS TUCSON					
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PS Form 3665, January 2017 (Page 94 of 104) PSN 7530-17-000-5549

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UNITED STATES POSTAL SERVICE ®  Name and Address of Sender	TOTAL NO. TOTAL NO.		Affix Stamp Here			
Rob Paulus	of Pieces Listed by Sender of Pieces Received	at Post Office™	Postmark with Date	of Receipt.		
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2.	ROBERTSON LYNN E & KRISTINE L JT	/RS		127	12	
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	WALTERS FAMILY TR					
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	SOUTHERLAND GROUP LLC					
5.	13995 N THUNDERBIRD RD					
	PRESCOTT AZ 86305					
	WARD CHERYL L & MATTHES DONALD	T JT/RS				
6.	707 W HILL ST					
************************	SILVER CITY NM 88061					

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A	DELTA BETA HOUSE LLC	-						
4.	7969 ENGINEER RD STE 108							
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5.	SANTA CRUZ RAFAELA M							
O.	6280 LAKE ARROWHEAD DR							
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	SAN DIEGO CA 92121							

PS Form **3665**, January 2017 (Page <u>96</u> of <u>104</u>) PSN 7530-17-000-5549

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	LINK APARTMENTS LLC					
4.	1334 PARK VIEW AVE STE 10	00				
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5.	BERNARD HOLDINGS LLC					
3.	32210 PHANTOM DR					
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_	7TH DAY PROPERTY LLC					
6.	17525 VENTURA BLVD STE 3	12				
	ENCINO CA 91316					

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4.	GALVIN RAPHAEL P & YVONNE M 2003 LIVING TR 718 26TH AVE				
	SAN MATEO CA 94403				
	PADWAY MICHAEL N & DIANE J JT/RS				
5.	40 BASINSIDE WAY ALAMEDA CA 94502				
	THE WILLIAM STATES				
6.	AVENIDA RON L & DAWN M &				
0.	3700 DEER TRAIL DR				
	DANVILLE CA 94506				

PS Form 3665, January 2017 (Page 98 of 104) PSN 7530-17-000-5549

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i	607 GRAND AVE				
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6.	806 FERNBROOK CT				
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PS Form **3665**, January 2017 (Page <u>100</u> of <u>104</u>) PSN 7530-17-000-5549

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9 STRAWBERRY LNDG MILL VALLEY CA 94941 PS Form **3665**, January 2017 (Page <u>99</u> of <u>104</u>) PSN 7530-17-000-5549

1048 N 2ND AVE LLC 6469 BENVENUE AVE OAKLAND CA 94618

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k.	BOYER DEAN O & MAI	RY P CP/RS		130	\$726-9T*	
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3.	416 E 9TH AVE				
	SPOKANE WA 99202				
4.	CUTTING SUMMER ANN & ANDREW SCOTT CP/				
	1230 H ST ANCHORAGE AK 99501				
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y	TUCSON AZ				
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## **NEIGHBORHOOD MEETING - MATERIALS**







# ELEVATIONS + MATERIALS









NEW ELEVATIONS

# NEW CANOPY







# SITE PLAN





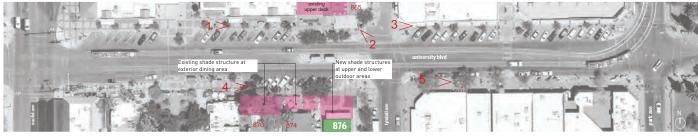


# MAIN GATE CONTEXT

















# SURROUNDING CONTEXT







**ROB PAULUS ARCHITECTS** 

# SURROUNDING CONTEXT









**ROB PAULUS ARCHITECTS** 

# EXISTING BUILDING















## COMPATIBILITY

Building Height Compatibility
The original historic building height will remain the highest structure on site. All new vertical construction will be
lower in height than the existing building. The width of the new canopies to cover the outdoor dining areas will be wider
than the existing structure but will remain within the setback limitations.

Building Form
The additions to the building have been designed to require the least amount of change to the materials and features of the existing building in order to retain and preserve the historic character of the property. The new components and canopies of the project are designed with the Secretary of the Interior Historic Standards for Historic Rehabilitation:
The new work shall be differentiated from the old and New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpeded.

Rhythm

The overall rhythm of the existing building is maintained and made more apparent to passing pedestrians with the elimination of the Jumbrella shade elements as the primary shade source at the north patio. The new shade canopies are also pulled away from the existing structure to provide a gap that differentiates old from new while providing easy removal of the new elements in the future, if so desired, per Historic Standards.

Proportion
Proportions of the original building are maintained with distinct transitions between new and old construction allowing
the original form to read as a separate time unto itself. The new canopies continue the same language as the 2015
shaded dining area at the south of the structure, maintaining a clear distinction between old and new.

Color
The existing building colors will maintain the dark color of the main structural steel. All new structural steel of the canopy will be painted out to match this dark gray color of existing steel work. Steel color shall have a light reflective value between 5-25.

Materials

Existing materials will be retained such as: stucco finish, painted wood structure and windows. New materials: steel shade canopy structure and new roman shade acrylic fabric will counterpoint the 1911 building and provide a differentiation between old and new.

Roof Type
Existing shingle roof material will not be affected or added to during this design. The new canopies of exterior fabric in a retractable roman shade configuration will allow maximum shade flexibility for seasonal and weather changes.

Landscaping
Landscaping of the property will not be affected during these improvements to the property.

Surface Texture
The original wall, roof and overhang surface textures will remain in place. The new retractable roman shade elements will offer an ephement lexture to the mix that is already present on adjacent properties and restaurants along University Boulevard.

Site Utilization
The front dining area of the existing structure follows the precedent of the 2015 addition along with adjacent properties and creates fully shaded exterior dining for customers at this restaurant.

All existing electrical service is routed underground from a nearby power pole. All other utilities are currently underground and will remain so.

### Projections and Recessions

Projections and Recessions

New canopies are designed with minimal structure and fabric shade to provide the least amount of visible interference to the existing building. The new roman shade elements will provide more visual reference to the existing building than the existing jumbrells shades that occupy the outdoor sealing area at the north of the property.



44

### **NEIGHBORHOOD MEETING NOTES + SIGN IN SHEET**

### **MEETING RECORD**

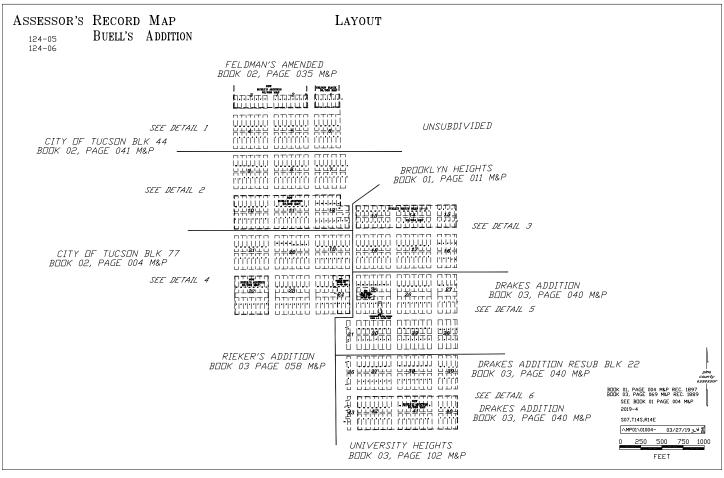
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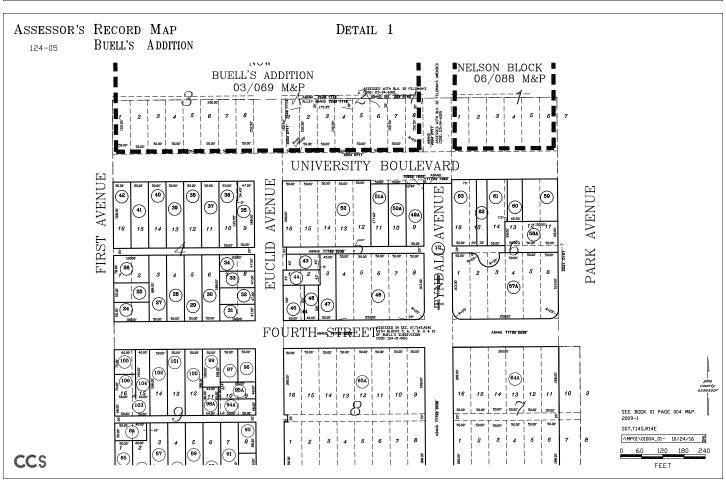
### **SIGN IN SHEET**

Rob Paulus Architects (Rob Paulus, Kenneth Lowe, Dan Hutcherson)



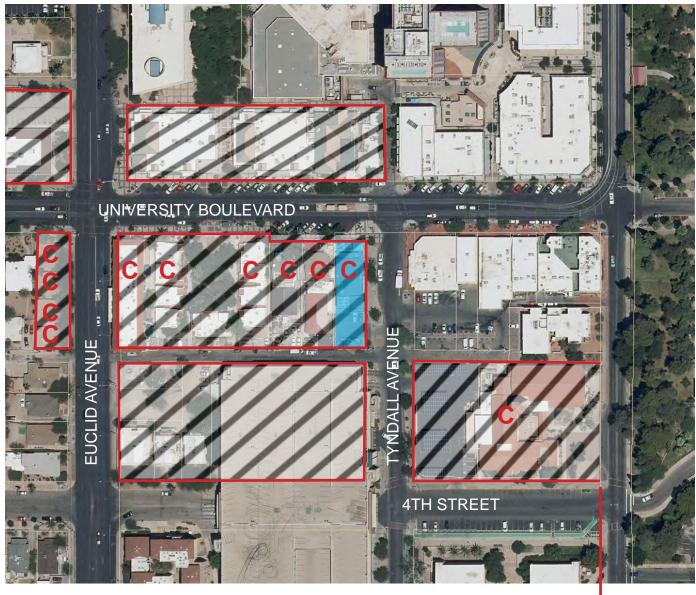
### PARCEL DETAIL + RECORD MAP





## **APPLICABLE FEE'S**

## **DEVELOPMENT ZONE**



**AERIRL PHOTO** 



**DEVELOPMENT ZONE** 

C

CONTRIBUTING HISTORIC PROPERTY



THIS PROJECT

### ARIZONA HISTORIC PROPERTY INVENTORY FORM

## ARIZONA STATE HISTORIC PROPERTY INVENTORY

Buell Block 5

PROPERTY NAME Franklin's Men's Store LOCATION 876 E. University CITY/TOWN/VICINITY COUNTY Tucson Pima UWNER

Morton & Ostroy Irving & Shirley Edberg OWNER'S ADDRESS

> 876 E. University Blvd. Tucson, AZ 85719

FORM COMPLETED BY Isabel S. Fathauer

ADDRESS

1915 E. Camino Mirayal Tucson, AZ 85718

PHOTO BY DATE Barbara Armstrong 11/79 VIEW Front

PRESENT USE Franklin's Men's Store

STYLE OR CULTURAL PERIOD

Bungalow with stick influence SIGNIFICANT DATES 1911

PHYSICAL DESCRIPTION

Two story building, former residence, stone foundation, brick load bearing walls, tan stucco surface, brown trim, front porch, pyramid roof with front ventilator. red asphalt shingles, chimneys. Good condition.

### STATEMENT OF SIGNIFICANCE

Significant because it was constructed during the territorial era.

ACREAGE

One of a collection of bungalows in the area.

Former residence of C.F. Solomon President of Arizona Southwest Bank Prominent civic leader. His wife Hattie was a 2nd generation Tucsonan and graduated in the 3rd class at the U of A and graduated in the verbal boundary description

Buells Lot 9 tri portion on NE corner Block 5 (QCD: Dkt. 5459 pg. 832 02-08-77)

7-05-049-0

WU-5-1003

711

Lot 9