



HISTORIC PRESERVATION REVIEW APPLICATION



WORKER, INC.  
WORKER ARCHITECTURE PLLC  
workerincorporated.com  
520-664-4847  
BILL MACKEY



Date Submitted: \_\_\_\_\_

PDS Activity Number: T22CM024310

HPZ Case Number: \_\_\_\_\_

Property Development Name: 219 E 2ND ST

Property Address: 219 E 2ND ST

Pima County Assessor Parcel Number(s): 117-02-2380

HPZ:  Armory Park  Barrio Historico  El Presidio  Fort Lowell  West University

Applicant Name: Bill Mackey  Owner  Architect/Designer  Other

Applicant Address: ~~219 E 2ND ST~~ 825 N NORTON AVE

City/State/Zip: TUCSON AZ 85719

Phone: 520 664 4847 Email: bill@workerincorporated.com

Property Owner Name: JIM GLOCK

Property Owner Phone: 520 982 1648

Property Owner Email: Jamesglock@gmail.com

Description of Use (if Resident Artisan): \_\_\_\_\_

Signature of Owner: \_\_\_\_\_

Signature of Applicant (if not owner): [Signature]

PROPOSED NEW CONSTRUCTION or ALTERATION NEW CARPORT

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



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 BILL MACKEY



## Historic Application Cover Sheet and Checklist

Planning & Development Services Department, City of Tucson

HPZ Case No. \_\_\_\_\_ Date Accepted: \_\_\_\_\_

Activity No. T22CM02936 Site Address: 219 E 2ND ST.

HPZ:  Armory Park  Barrio Historico  El Presidio  Fort Lowell  West University

Historic Status:  Contributing  Non-Contributing  Vacant

Applicant Name: BILL MACKEY.  Owner  Architect/Designer  Other:

Owner (if different): DIM GLOCK

Brief Description of Proposed Work: NEW CARPORT

Type of Review:  Full  Minor  Rio Nuevo Area  Infill Incentive District

Development Zone:  Interior Lot  Corner Lot  Historic District Boundary Lot

HZAB and/or PRS courtesy review(s) conducted prior to application submission?  Yes  No

HZAB Review Date(s): MARCH 15 2022

PRS Review Date(s): NA.

Minor/Full	Required Materials
<input type="checkbox"/>	Fee
<input type="checkbox"/>	Completed and signed Historic Design Review Application form
<input type="checkbox"/>	City of Tucson Permit Application
<input type="checkbox"/>	Final UDC Compliance Review Zoning comments as issued by PDS staff
<input type="checkbox"/>	Description and photographs* of type, color and texture of proposed materials
<input type="checkbox"/>	Brief statement of proposal on separate 8½" x 11" pages, outlining scope of work subject to design guidelines in UDC 5.8.9
<input type="checkbox"/>	Dated site plan and elevations at 11" x 17"
<input type="checkbox"/>	Aerial photograph* of property with development zone drawn and labeled, printed on 8½" x 11" page. All buildings footprints within the development zone must be shown and labeled to indicate contributing/non-contributing historic status.
<input type="checkbox"/>	Arizona Historic Property Inventory Form (if available)
<input type="checkbox"/>	Photographs* of the project site and surrounding area
<input type="checkbox"/>	Photographs* of building elevations (north, south, east, west) <input type="checkbox"/> Not applicable

*Incomplete or illegible applications will not be accepted.*

Completed Applications must be submitted at: <https://www.tucsonaz.gov/file-upload-pdsd>

Revised December 2020

219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW  
 APPLICATION  
**G2**

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/5/2022	STEVE SHIELDS	ZONING	REVIEW	Reqs Change	<p>ZONING REVIEW TRANSMITTAL</p> <p>FROM: PSDS Zoning Review</p> <p>PROJECT: T22CM02436 219 E 2nd St - HR-3 Detached Carport with Deck and Relocate gates (1st Review)</p> <p>TRANSMITTAL: April 5, 2022 COMMENTS: the following comments are relative to an application for Historic Review (UDC 5.8.8).</p> <p>This site is located in the HR-3 zone (UDC 4.7.9). A single-family residence (SFR) is a permitted use in this zone (Table 4.8-2). See Use-Specific Standards 4.9.7.B.6.</p> <p>The minimum setback to a side street property line is ten (10) feet (UDC Section 6.4.5.C.1.b). Proposed setback is 0'-0"</p> <p>Per UDC Article 6.6.3.D Accessory structures, except for accessory dwelling units, shall not exceed 12 feet in height, unless attached to a principal structure. If attached to the principal structure, maximum height permitted shall be the same as for the principal structure. Based on the height provided on the plan, 14'-6", the proposed carport exceeds the allowed height. A Board of Adjustment for Variance may be required.</p> <p>If you have any questions about this transmittal, please contact Zone1.desk@tucsonaz.gov</p>
4/5/2022	SSHIELD1	ENGINEERING	REVIEW	Passed	None
4/5/2022	SSHIELD1	NPPO	REVIEW	Passed	None
4/18/2022	KEN VAN KARSEN	BUILDING-RESIDENTIAL	REVIEW	Reqs Change	Provide a complete plan set for review showing 2018 IRC compliance.

Showing 1 to 4 of 4 entries

Previous 1 Next



219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW  
**G3**  
 COT ZONING REVIEW COMMENTS



THIS PROJECT  
219 E 2ND ST

1ST ST

2ND ST



6TH AVENUE

ARIZONA AVENUE

5TH AVENUE

SITE AERIAL  
NTS

219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW



SITE AERIAL

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21 FEB 2022  
PRELIMINARY

THIS PROJECT  
219 E 2ND ST



2ND STREET

ARIZONA AVENUE

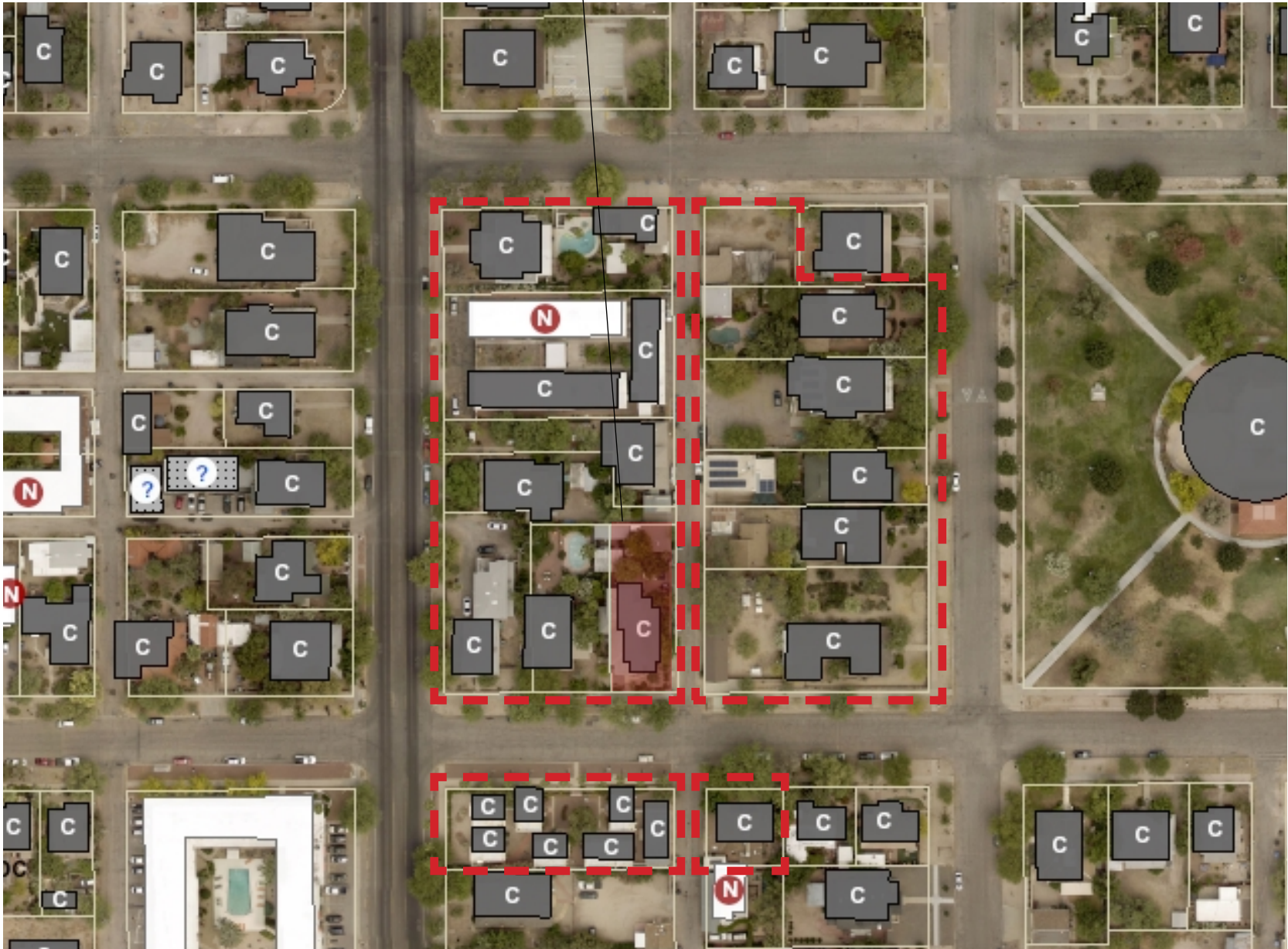
SITE AERIAL  
NTS



THIS PROJECT  
219 E 2ND ST

1ST ST

2ND ST



6TH AVENUE

ARIZONA AVENUE

5TH AVENUE

SITE AERIAL  
NTS

DEVELOPMENT ZONE



219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW

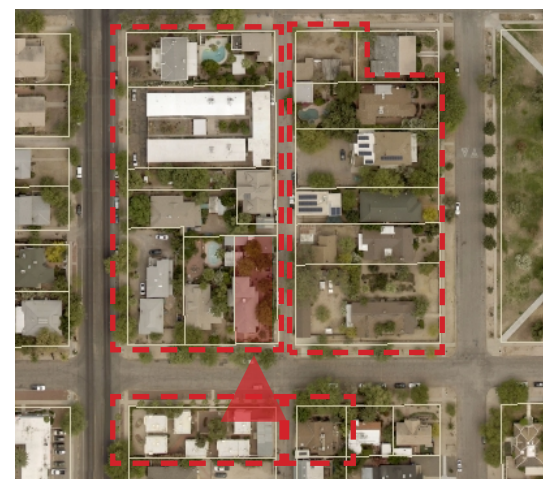
SITE AERIAL - CONTRIBUTING PROPERTIES







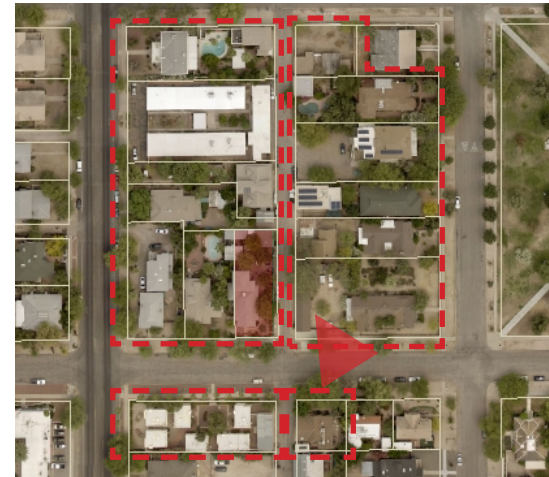
219 EAST 2ND ST  
SOUTH ELEVATION  
CONTRIBUTING PROPERTY







219 EAST 2ND ST  
EAST ELEVATION  
CONTRIBUTING PROPERTY



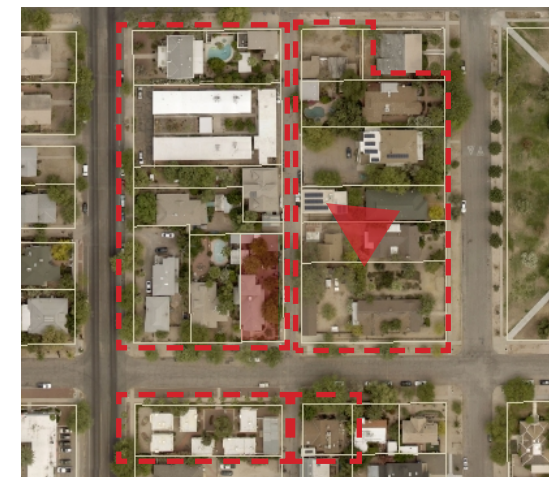
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21 FEB 2022  
PRELIMINARY





924 N 6TH AVE  
EAST ELEVATION  
CONTRIBUTING PROPERTY



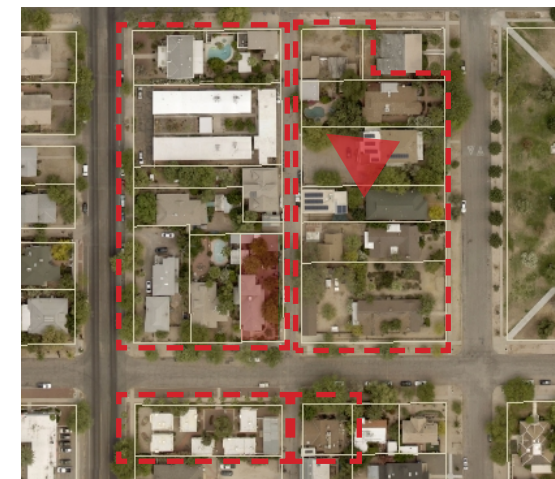




938-940 N ARIZONA AVE  
EAST ELEVATION  
CONTRIBUTING PROPERTY



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219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW  
SITE PHOTOS - EXISTING  
**G10**

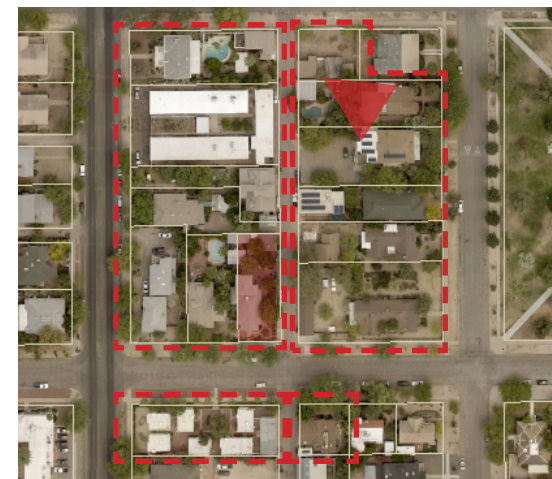




224 E 1ST ST  
 EAST ELEVATION  
 CONTRIBUTING PROPERTY



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219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW  
 G11 SITE PHOTOS - EXISTING

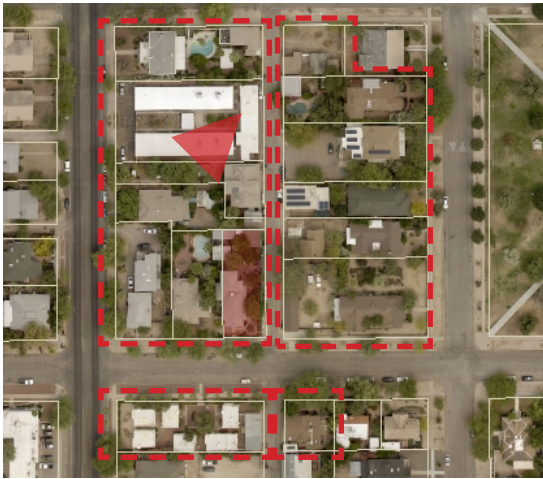




942-946 N ARIZONA AVE  
WEST ELEVATION  
NON-CONTRIBUTING PROPERTY



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219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW  
SITE PHOTOS - EXISTING

**G12**

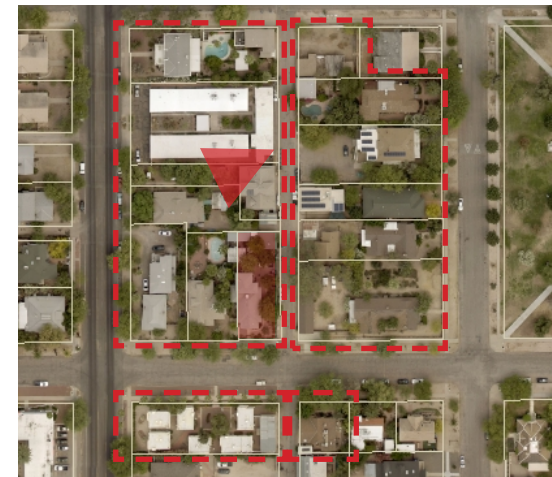




937 N 5TH AVE  
WEST ELEVATION  
CONTRIBUTING PROPERTY  
(GARAGE IS A NON-CONTRIBUTING STRUCTURE)



931 N 5TH AVE  
WEST ELEVATION  
CONTRIBUTING PROPERTY

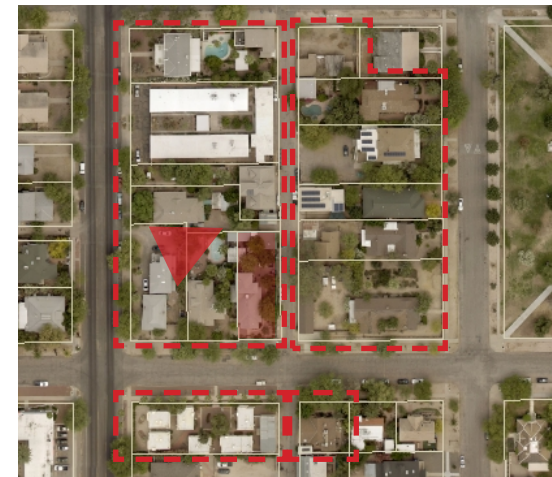




919 N 5TH AVE  
WEST ELEVATION  
CONTRIBUTING PROPERTY  
(GARAGE IS A NON-CONTRIBUTING STRUCTURE)



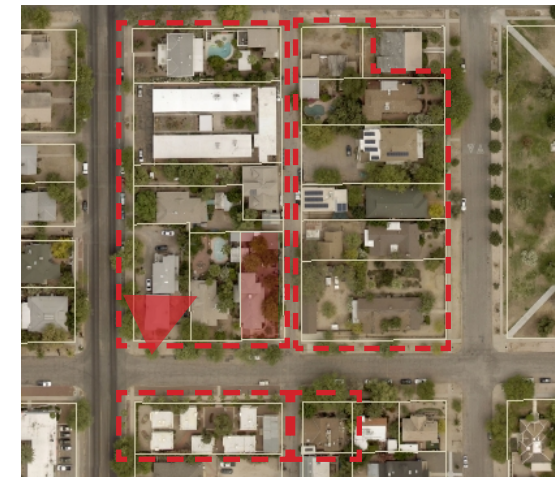
907 N 5TH AVE  
WEST ELEVATION  
CONTRIBUTING PROPERTY  
(SHED IS A NON-CONTRIBUTING STRUCTURE)







903 N 5TH AVE  
WEST ELEVATION  
CONTRIBUTING PROPERTY  
(GARAGE IS A NON-CONTRIBUTING STRUCTURE)



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224 E 2ND ST  
NORTH ELEVATION  
CONTRIBUTING PROPERTY



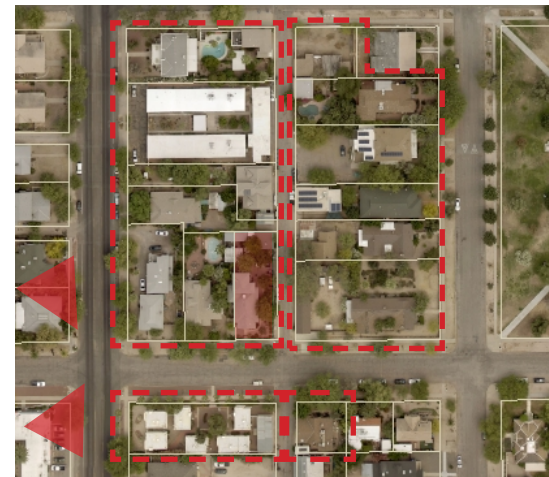
210 E 2ND ST  
NORTH ELEVATION  
CONTRIBUTING PROPERTY



203 E 2ND ST  
SOUTH ELEVATION  
CONTRIBUTING PROPERTY



211 E 2ND ST  
SOUTH ELEVATION  
CONTRIBUTING PROPERTY



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## ARIZONA STATE HISTORIC PROPERTY INVENTORY

PROPERTY NAME		block 18	WU-69 lot 14
LOCATION 219 E. 2nd St.			
CITY/TOWN/VICINITY Tucson, Az.	COUNTY Pima		
OWNER Vincent and Margaret De Sanctis			
OWNER'S ADDRESS 219 E 2nd St Tucson, Az. 85705			
FORM COMPLETED BY Isabel S Fathauer			
ADDRESS 1915 E. Camino Miraval Tucson, Az.			
PHOTO BY Bob Earl	DATE 7-79		
VIEW front			
PRESENT USE residence	ACREAGE		
STYLE OR CULTURAL PERIOD territorial with american vict. bung. infl.			
SIGNIFICANT DATES 1912			
PHYSICAL DESCRIPTION One story residence, stone foundation, brick walls white stucco surface, self trim, wood walled enclosed front porch, with hip roof, main building has pyramid roof of asphalt mixed green and gray shingles. No chimney, stone retaining wall, good cond. little changed.			
STATEMENT OF SIGNIFICANCE Significant because it was constructed during the territorial era.			
VERBAL BOUNDARY DESCRIPTION Tucson, E. 61.6' of lot 10 and 11 and <sup>S</sup> 4' of e. 61.6' of lot 7 blk 18			
117-02-238-6		WU-5-219	

219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW  
 PROPERTY INVENTORY FORM

# G17





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LOOKING NORTH FROM SOUTH SIDE OF SITE

219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW  
SITE PHOTOS - PROJECT AREA

**G18**





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LOOKING EAST FROM WEST SIDE OF SITE

219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW  
SITE PHOTOS - PROJECT AREA

**G19**



**PROJECT INFORMATION**

project	CARPORT AND DECK
address	219 E 2ND ST
property owner	GLOCK-MACRI LIVING TR
business owner	NA
parcel	117-02-2380
S-T-R	121413E
zoning	HR-3
overlays	WEST UNIVERSITY HISTORIC DISTRICT
historic	CONTRIBUTING PROPERTY
previous requests and requirements	NA
lot area	8378 SF
existing use	SINGLE FAMILY DWELLING
proposed use	SINGLE FAMILY DWELLING
lot size minimum	5000 SF
residential density	1 RESIDENCE PER 5000 SF
lot coverage max allowed (residential)	70%
lot coverage actual	1693 SF EXISTING HOUSE 430 SF EXISTING ACCESSORY STRUCT 214 SF EXISTING ACCESSORY STRUCT 298 SF EXISTING ACCESSORY STRUCT 253 SF EXISTING VEHICULAR AREA (PROPOSED CARPORT COVER EXISTING VEHICULAR USE AREA)
height allowed	2888 SF TOTAL 34.4%
height proposed	PER DEVELOPMENT ZONE AND HISTORIC REVIEW U.D.C. 5.8.9 14'6"
setback - street allowed ARIZONA AVE	PER DEVELOPMENT ZONE AND HISTORIC REVIEW U.D.C. 5.8.9 0'4" TO EAST PROPERTY LINE
setback - street allowed 2ND ST	PER DEVELOPMENT ZONE AND HISTORIC REVIEW U.D.C. 5.8.9 87'3" TO SOUTH PROPERTY LINE
setback - perimeter allowed	PER DEVELOPMENT ZONE AND HISTORIC REVIEW U.D.C. 5.8.9 36'11" TO WEST PROPERTY LINE 39'9" TO NORTH PROPERTY LINE
motor vehicle parking required	NA - NO CHANGE OF USE, NO EXPANSION > 25%
motor vehicle parking proposed	1 SPACE - EXISTING
bicycle parking required	NA
bicycle parking proposed	NA
street landscape border MS&R	RESIDENTIAL USE, SINGLE FAMILY, NONE REQUIRED (TABLE 7.6.4-1)
street landscape border non-MS&R	RESIDENTIAL USE, SINGLE FAMILY, NONE REQUIRED (TABLE 7.6.4-1)
landscape border adjacent zones	NONE
native plant preservation	NA



THIS PROJECT - 219 E 2ND ST

**ASSESSOR RECORD MAP**  
NTS

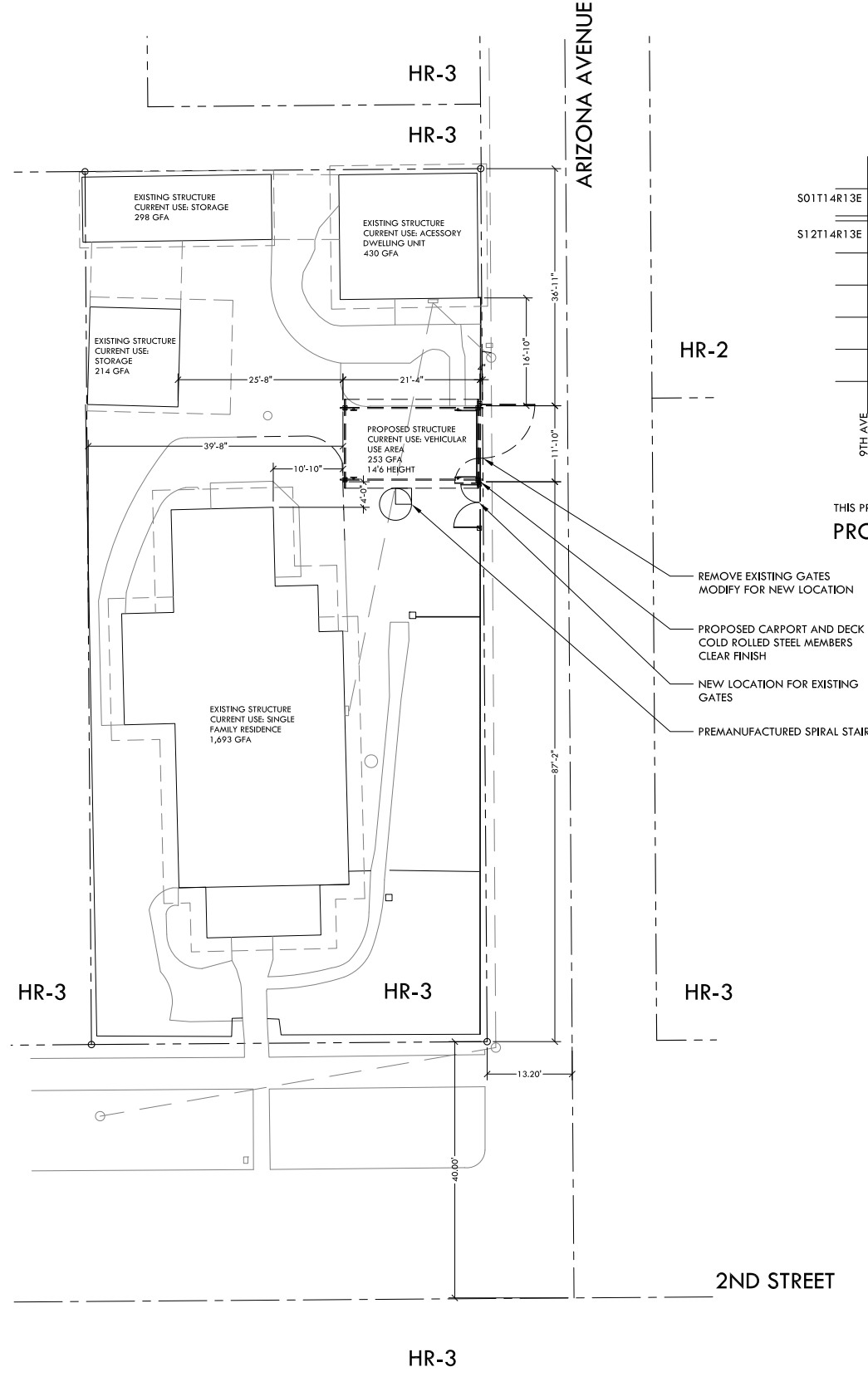


THIS PROJECT - 219 E 2ND ST

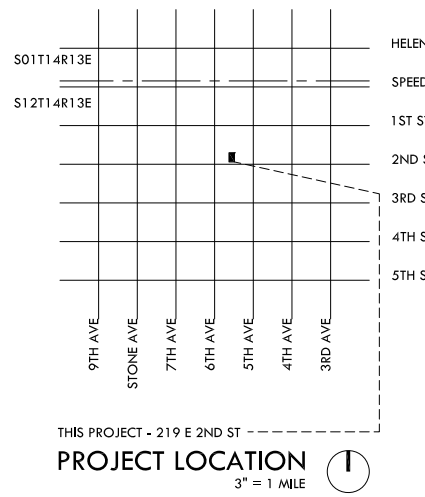
**SITE AERIAL**  
NTS



CONTRIBUTOR C  
NON-CONTRIBUTOR NC  
DEMOLISHED CONTRIBUTOR DC  
**HISTORIC PROPERTIES**  
NTS



**SITE PLAN**  
1:10



THIS PROJECT - 219 E 2ND ST  
**PROJECT LOCATION**  
3" = 1 MILE

- REMOVE EXISTING GATES  
MODIFY FOR NEW LOCATION
- PROPOSED CARPORT AND DECK  
COLD ROLLED STEEL MEMBERS  
CLEAR FINISH
- NEW LOCATION FOR EXISTING  
GATES
- PREMANUFACTURED SPIRAL STAIR



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STRUCTURAL ENGINEERING  
TURNER STRUCTURAL  
520-323-3422

SHEET INDEX  
1 G1.1 SITE PLAN  
ZONING INFORMATION

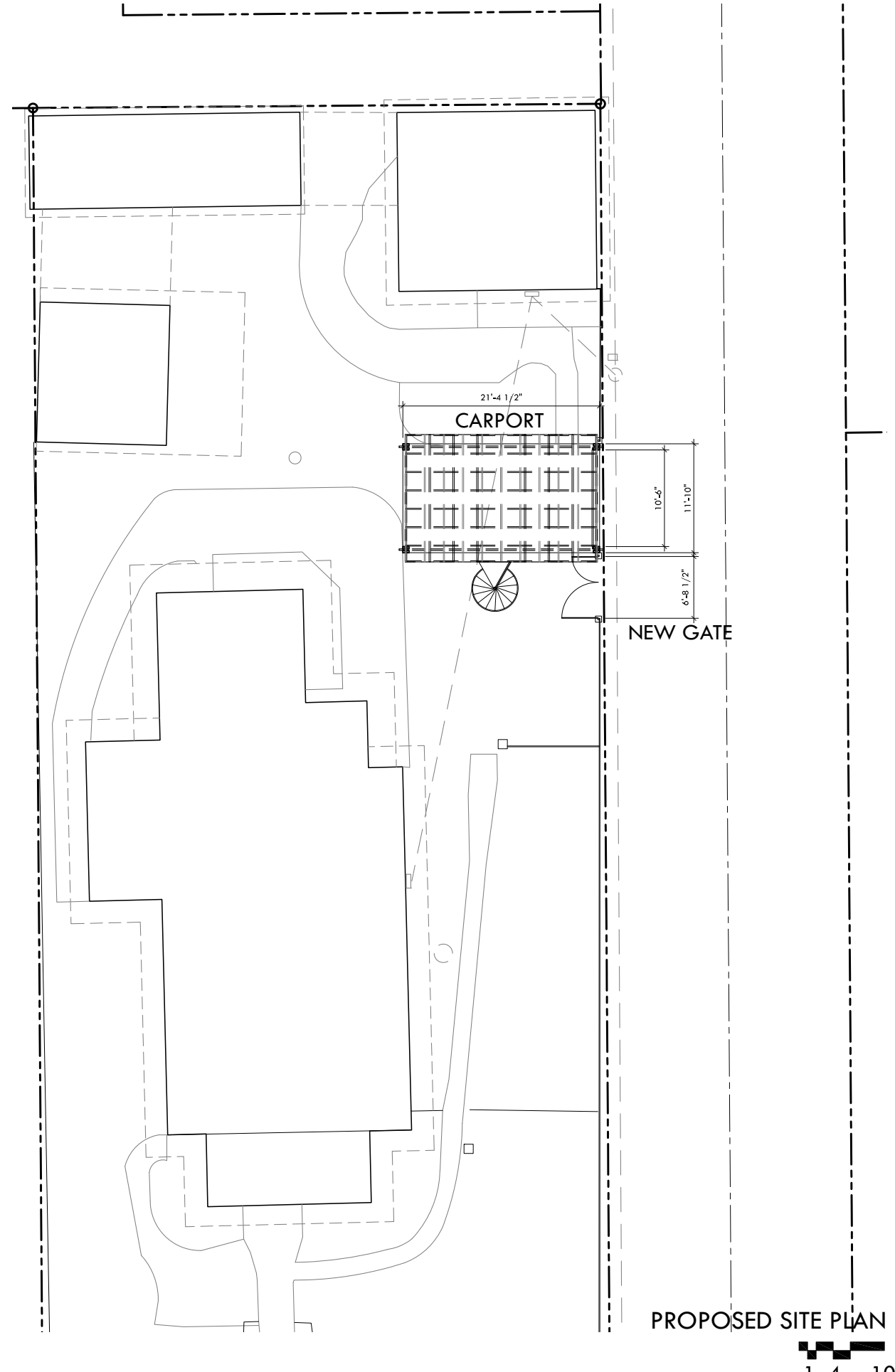
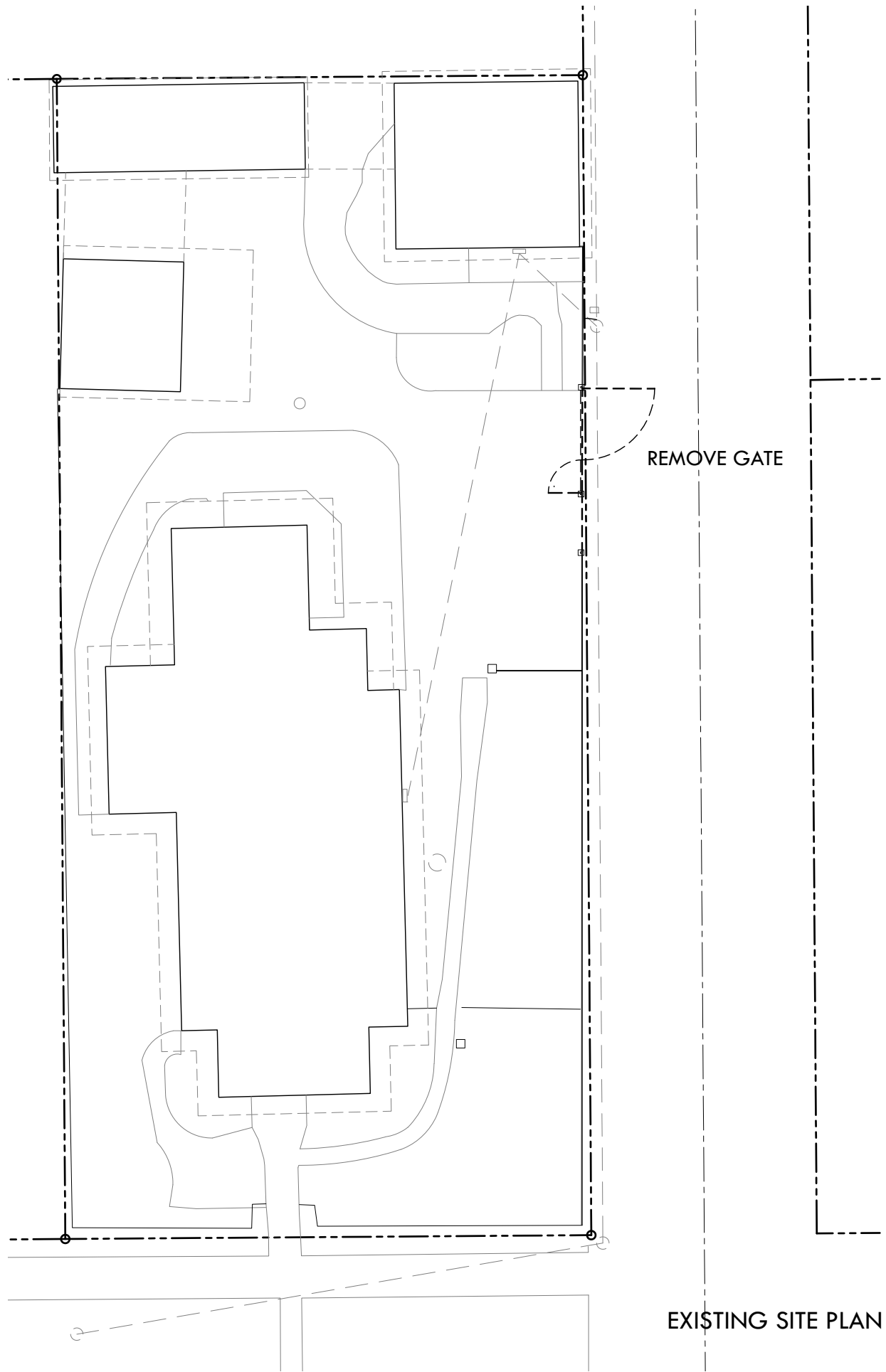
RELATED REVIEWS  
T22CMXXXX  
HPZ-XX-XXX (X-XX-22)

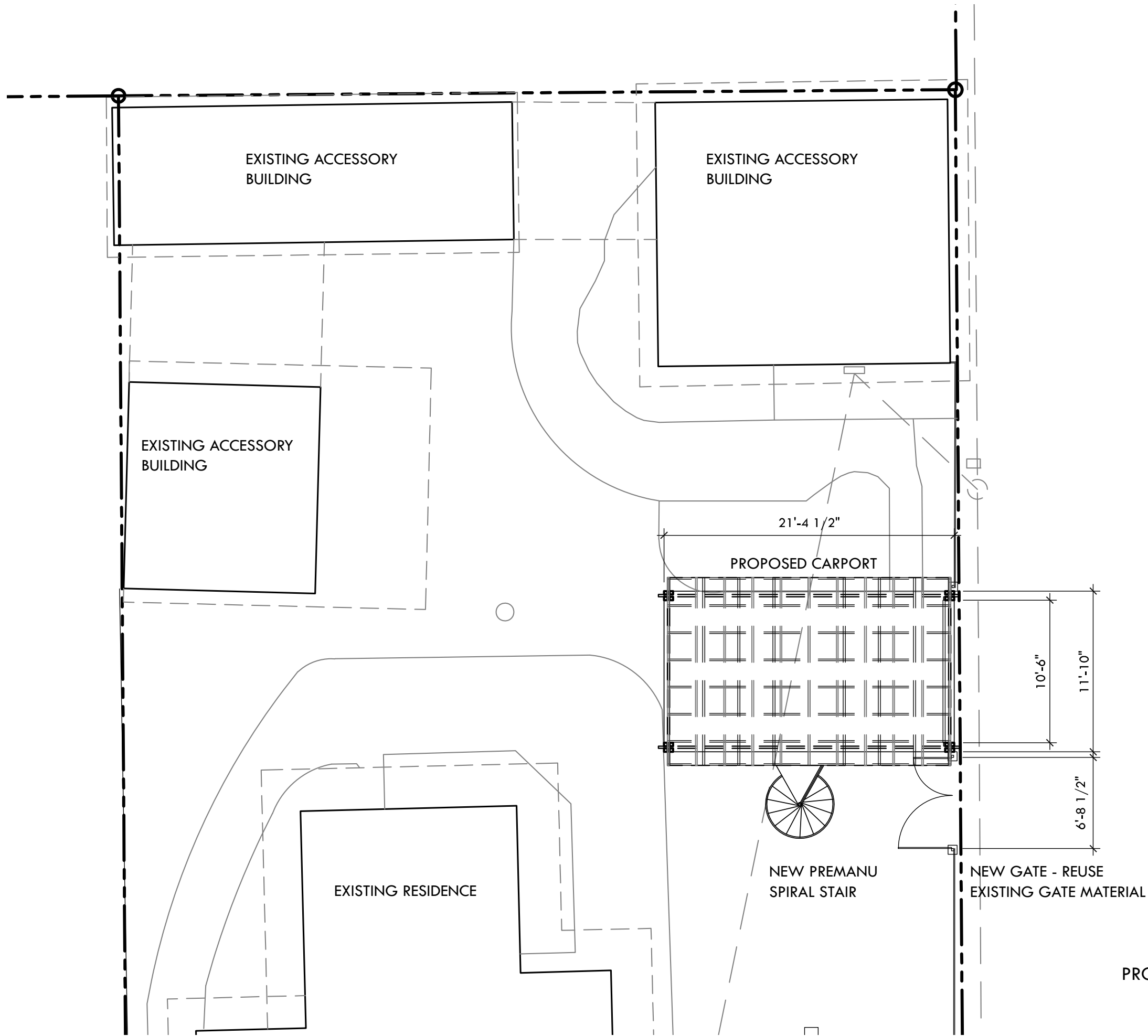
**G1.1**  
219 E 2ND ST  
TUCSON, AZ 85705  
SITE PLAN AND ZONING INFORMATION

1 OF 1

219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW  
**G20**  
SITE PHOTOS - PROJECT AREA







PROPOSED SITE PLAN



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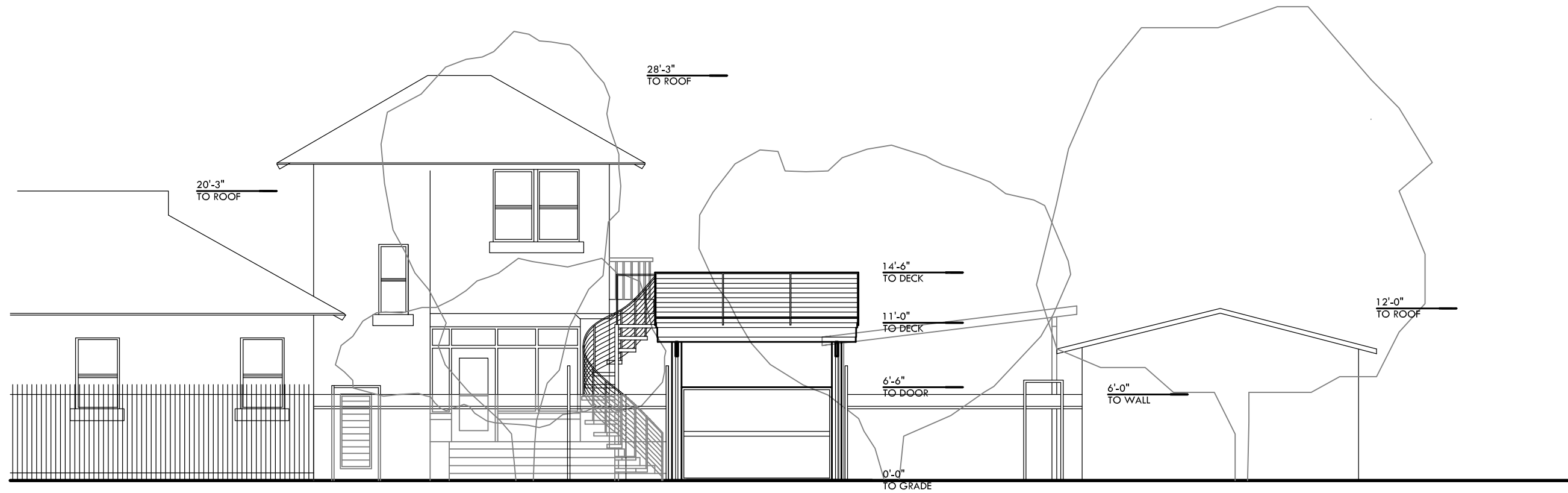
219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW  
 PROPOSED SITE PLAN

**G22**

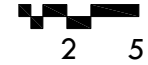




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PROPOSED EAST ELEVATION



MATERIALS:

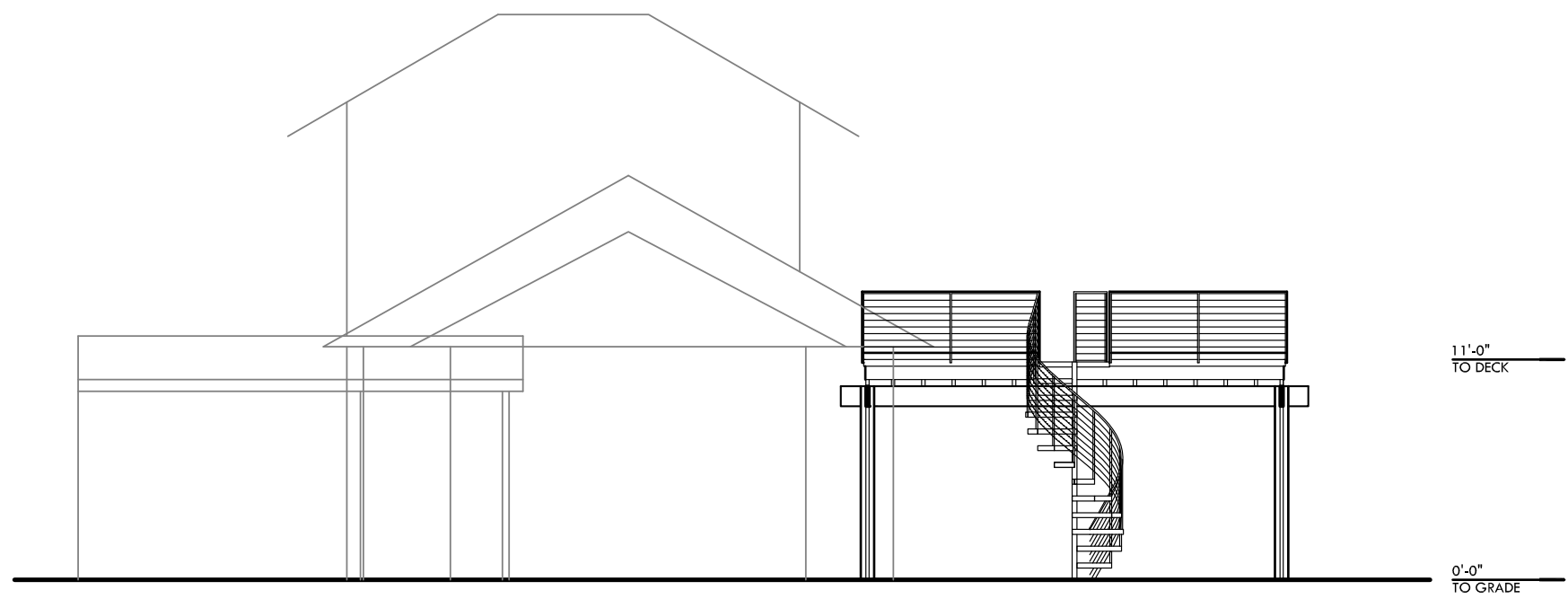
COLUMNS, BEAMS, FASCIA  
 COLD ROLLED STEEL, CLEAR SEAL

RAILING  
 COLD ROLLED STEEL RAILINGS  
 STAINLESS STEEL HORIZONTAL

DECK  
 SUSTAINABLE WOOD PRODUCT  
 CEDAR, BLACK LOCUST, IPE . . .

GARAGE DOOR  
 METAL PANEL AND FRAME SIMILAR TO  
 EXISTING FENCE

STAIR  
 PREMANUFACTURED SPIRAL  
 PAINT FINISH



PROPOSED SOUTH ELEVATION

219 EAST 2ND STREET  
 HPZ PACKAGE - COURTESY REVIEW

ELEVATIONS

G23



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219 EAST 2ND STREET  
HPZ PACKAGE - COURTESY REVIEW

VIEW OF STRUCTURE FROM RESIDENCE

**G24**



### 5.8.9. DESIGN STANDARDS

#### A. Generally

##### 3. New Construction or

New construction or alterations or additions to a Noncontributing Property within an HPZ shall reflect the architectural style of, and be compatible with, the Contributing Properties located within its development zone.

*Two factors played in the design of the carport: 1. honor a utilitarian approach to the design while invoking Craftsman details, and 2. minimize the impact the new construction has on the existing structure.*

*Beam and framing overhangs and groupings of 4 posts at each corner recall Craftsman detailing found within the neighborhood. The structure is designed with minimal sizes for the members and utilizes horizontal stainless steel cable for the railing - allowing objects behind the structure to be seen.*

#### B. Height

Heights of principal structures in the project's development zone are used to compare to proposed new construction of, or additions to, principal structures. Likewise, the height of proposed accessory structures is compared to other accessory structure heights in the development zone. (See Figure 5.8-A.)

##### 3. New Construction

New construction shall be constructed no higher than the tallest Contributing Property located within its development zone and shall generally conform to the typical height within the development zone.

*The height of the deck is similar to the eave height (wall height) of the original contributing structure on the property.*

#### C. Setbacks (See Figure 5.8-B.)

##### 3. New Construction

New construction shall maintain the prevailing street and interior perimeter yard setbacks existing within its development zone.

*The zero setback along Arizona Avenue is typical in the development zone - most notably at 938-940 N Arizona Ave.*

#### D. Proportion

##### 3. New Construction

New construction shall reflect the prevailing proportions of Contributing Properties within its development zone.

*The most similar contributing property is at 938-940 N Arizona Avenue. This is a simple carport structure with posts and a flat roof - similar to the proposed ramada.*

#### E. Roof Types

##### 3. New Construction

New construction shall have a roof compatible in configuration, mass, and materials to the prevailing historic style and period of the existing within the development zone in which the proposed structure will be constructed.

*Flat roof. See D above.*

#### F. Surface Texture

##### 3. New Construction

New construction shall have a surface texture that is appropriate to the historic style of similar structures within the development zone and shall reflect the historic periods existing within the HPZ.

*Smooth steel - similar to wood as seen on many porches within the development zone.*

#### G. Site Utilization

##### 3. New Construction

Site utilization of new construction shall be consistent with the site utilization of Contributing Properties within the development zone.

*Development zone has many garage and shed buildings found throughout.*

#### H. Projections and Recessions

##### 3. New Construction

New construction shall have projections and recessions, such as porches, steps, awnings, overhangs, entrances, and windows, that are compatible with the existing historic styles within the development zone and reflect the historic periods of the HPZ.

*Beam and framing overhang at perimeter - beams at different heights - grouping of 4 columns at each corner - all reminiscent of Craftsman style found throughout neighborhood.*

#### I. Details

##### 3. New Construction

New construction shall have architectural details, such as cornices, lintels, arches, grill work, shutters, window and door trim, and canales, that are compatible with the existing historic styles and historic periods of Contributing Properties within the development zone.

*See H above.*

#### J. Building Form

##### 3. New Construction

New construction shall have size, mass, and scale that are compatible with the existing Contributing Properties within the development zone.

*Similar to D and H.*

#### K. Rhythm

##### 3. New Construction

New construction shall reflect the proportion, pattern, and rhythm of openings of Contributing Properties in its development zone.

*NA*

#### L. Additional Review Standards

To provide flexibility in the review of applications that reflect the diverse and unique characteristics of the various HPZs, other pertinent factors generally affecting the appearance, harmony, and efficient functioning of the HPZ may be used as appropriate for the particular application, such as the following:

##### 1. Color

Color of a building or structure, including trim, roof, and other details, shall be appropriate to the architectural style of the subject structure and its historic period. Color may be reviewed in the context of a required HPZ review; painting alone shall not be considered through an HPZ review.

*The proposed ramada will be rusted steel.*

#### 2. Landscaping

Plantings and other ornamental features shall reflect the historic period of the subject structure. Landscaping may be reviewed in the context of a required HPZ review; landscaping alone shall not be considered through an HPZ review.

*NA*

#### 3. Enclosures

Fences, walls, or other physical features used to enclose open space or provide privacy shall be compatible with the architectural style of the subject structure and with Contributing Properties within the development zone and shall reflect the historic period of the HPZ.

*Existing, previously approved, wall will be repurposed.*

#### 4. Utilities

New above ground power and telephone line installation and new utility connections shall be reviewed for appropriateness and compatibility, especially the use of electric utility boxes on front facades.

*NA*

#### N. Motor Vehicle and Bicycle Parking Areas

Parking in accordance with Section 7.4, Motor Vehicle and Bicycle Parking, is required. Parking may be provided on- or off-site with zoning that allows parking as a principal use. Off-site parking spaces for uses within the HPZ shall not be located more than 600 feet, within the same or another block, from the land use the spaces serve, except within the boundaries of the El Presidio HPZ where required parking spaces may be provided not more than 600 feet beyond the HPZ boundary (See Figure 5.8-D). All new or modified vehicular use areas within the HPZ shall be landscaped and screened as required by Section 7.6, Landscaping and Screening Standards, using compatible structural and plant materials.

*Parking is allocated for on site. Carport ramada is on lot line with 7' screen.*



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