



MEMORANDUM

DATE: January 10, 2024
For January 25, 2024 Hearing

A handwritten signature in blue ink, appearing to read "Kristina Swallow".

TO: John Iurino
Zoning Examiner

FROM: Kristina Swallow, Director
Planning & Development Services

**SUBJECT: REZONING - PLANNING & DEVELOPMENT SERVICES REPORT
TP-ENT-1123-00043 Pantano Storage – 8750 E Golf Links Rd
C-1 to C-2 (Ward 4)**

Issue – This is a request by Lazarus & Silvyn, P.C., on behalf of the property owners, R.D.S Inc, to rezone a 2.33 acre property from C-1 Commercial to C-2 Commercial, for the purpose of a multi-story self-storage facility. The proposal includes a 3-story 104,021 square-foot building. Main vehicle access is provided from East Golf Links Road with a secondary access through a cross-access agreement through the parcel immediately adjacent to the west. The preliminary development plan also includes 17 parking spaces, and landscaped borders with a 6-foot CMU wall surrounding the property. The subject site is on the south side of East Golf Links Road, and approximately 1000 feet east of South Pantano Parkway (See case location map).

Planning & Development Services Recommendation – The Planning & Development Services Department recommends approval of C-2 zoning subject to the attached preliminary conditions.

Background Information

Existing Land Use: Vacant

Zoning Descriptions:

Existing: Commercial Zone(C-1): This zone provides for low intensity and other uses that are compatible with adjacent residential uses. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses.

Proposed: Commercial Zone (C-2): This zone provides for general commercial uses that serve the community and region. Residential and select other agriculture, civic, recreational and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses.

Adjacent Zones and Land Uses:

North: C-1; Golf Links Road, primarily vacant with some office uses.

East: O-3; Residential land use

South: C-1; Residential land use

West: C-1; Vacant, tire shop/car wash development in progress. Gas station/convenience store.

Previous Cases on the Property: None

Related Cases: None

Project Background/Applicant's Request – This is an application for rezoning to C-2 for the construction of an enclosed three-story self-storage facility. A rezoning to C-2 is being requested to allow for Project's desired building height of 40-feet which is not permitted in the C-1 where height is restricted to 16-feet. The applicant proposes a reduction in provided parking based on the typical usage patterns of a self-storage facility, which is typically a self-serve business with only one or two staff members on-site at any given time. The applicant will provide the two required ADA-compliant spaces.

Neighborhood Meeting – The applicant held a neighborhood meeting on September 12, 2023 at 6:00pm, which was advertised using labels provided by the Development Services Department. The meeting was held in person at New Life Wesleyan Church at 8900 E Golf Links Road, 800 feet from the project site and near the affected neighborhoods. The neighbor attendee had concerns about hours of operation, mechanical equipment noise, and landscaping. The applicant team answered all questions.

Planning Considerations – Land use policy direction for this area is provided by *Plan Tucson* and the *South Pantano Area Plan*.

Plan Tucson - *Plan Tucson* supports the development of commercial uses at the intersections of arterial streets and supports infill development that is sensitive to site and neighborhood conditions.

Design Considerations

Land Use Compatibility – The site abuts town home style residential land uses to the east and south. It is located on Golf Links Road, a dedicated arterial gateway route as identified by the *Major Streets and Routes* overlay. Access is from Golf Links Road or the parcel to the west, no direct connection between the project and surrounding residential is shown. The relatively low-intensity use of a self-storage facility is compatible with neighboring residential, especially with typical open-hours which exclude night-time operation.

The Preliminary Development Plan shows a 6-foot CMU wall surrounding the project site to screen the neighborhoods to the south and east, as well as landscaped border areas planted with

drought-tolerant vegetation and two rainwater harvesting basins along the west and northwest edge of the site.

Design Compatibility – The applicant proposes a single building, three stories high, centrally located on the subject site. The building roof will be 34 feet high, with a parapet extending to 37 feet and mechanical equipment screens extending to 40 feet. The building will have several entrances, with the primary access points and management office on the north side of the building. The east, west, and southern walls will have drive-up storage units, and this area will be access-limited by keypad-controlled between the walls of the facility and project perimeter.

The trash enclosure is located at the northeast corner of the property. While this is relatively close to the existing residential to the east, it is also close to Golf Links Road. This was a modification requested by staff, as the pre-submittal application showed the dumpster in the southeast corner. Personal storage is generally not a noxious use and this compromise position was found acceptable.

The building will have no windows on the east, south, or west sides in consideration of the privacy of all adjacent residents and properties.

Road Improvements/Vehicular Access/Transit – Primary access to the property is from Golf Links Road, with a secondary access through cross-access agreement with the parcel to the west. Customer access will be well-defined with lighting and signage. The private street providing access to the Rivendell Townhomes to the east will not be used for project access and circulation and will not experience additional use. The project will also not impact the private HOA-owned guest parking on an adjacent lot in the residential neighborhood to the south and will be screened from view and access by the planned 6-foot CMU wall.

The project is expected to generate little noise, light, or traffic, and should have basically no impact on adjacent residential property. Estimated trips for personal storage use on this site is only 152 daily trips.

Landscaping and Screening – Landscaping will be provided along Golf Links Road to enhance the views of the Property from the right-of-way. Existing landscaping within the ROW is intended to remain in place. The project will include landscape borders as depicted on the preliminary development plan, using drought-tolerant desert plants and trees.

The existing oleander screening adjacent to the private drive of Rivendell Townhomes will be removed and improved with a mix of desert landscaping and trees.

The project will incorporate water harvesting techniques into the landscaping design to mitigate the urban heat island effects originating from the project. The site will feature a mix of native, drought-tolerant trees and shrubs. The landscaping will provide a visually interesting buffer for neighboring properties and create a desert aesthetic onsite. Lighting will be provided on the building's façade, shielded, and directed down and away from neighboring properties.

Conclusion –The proposed rezoning of the site from C-1 to C-2 is appropriate for this location, is compatible with existing surrounding land uses, and is compliant with *Plan Tucson* and the *South Pantano Area Plan*. Subject to compliance with the attached preliminary conditions, approval of the requested C-2 zoning is recommended.

File Location:

C:\Users\gs\City of Tucson\PL - Advanced Planning - Entitlements\REZONINGS\2023\TP-ENT-1123-00043 Pantano Storage – E
Golf Links Rd

Preliminary Conditions

TP-ENT-1123-00043 Pantano Storage – Golf Links Road,
Rezoning C-1 to C-2 (Ward 4)

PROCEDURAL

1. A development package in substantial compliance with the preliminary development plan dated November 24, 2023, and required reports, are to be submitted and approved in accordance with the *Administrative Manual*, Section 2-06.
2. The property owner shall execute a waiver of potential claims under A.R.S. Sec. 12-1134 for this zoning amendment as permitted by A.R.S. Sec. 12-1134 (I) in the form approved by the City Attorney and titled “Agreement to Waive Any Claims Against the City for Zoning Amendment”.
3. Historic or prehistoric features or artifacts discovered during future ground disturbing activities should be reported to the City of Tucson Historic Preservation Officer. Pursuant to A.R.S. 41-865 the discovery of human remains and associated objects found on private lands in Arizona must be reported to the Director of Arizona State Museum.
4. Any relocation, modification, etc., of existing utilities and/or public improvements necessitated by the proposed development shall be at no expense to the public.
5. Five years are allowed from the date of initial authorization to implement and effectuate all Code requirements and conditions of rezoning/special exception.

SITE ACCESS/CIRCULATION/EASEMENT

6. A cross-access agreement with the parcel immediately to the west shall be established prior to any Development Package submittal, and a copy of the cross-access agreement is to be included with the Development Package submittal.

DRAINAGE/LANDSCAPE

7. As a condition of the rezoning, critical basin detention will be required.
8. Commercial Rainwater Harvesting must meet 60% of the irrigation needs of the proposed development.

TUCSON AIRPORT AUTHORITY

9. “According to the Federal Aviation Administration (FAA) Notice Criteria Tool, no Notice Criteria are exceeded. Applicants are therefore not required to file FAA

Form 7460. However, if the use of cranes is anticipated during development and construction activities, the applicant must file FAA Form 7460 at least 45 days in advance of such use, to provide the applicant with sufficient time to respond to any concerns identified by the FAA. Please file Form 7460 at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.”

TUCSON WATER

10. The owner/developer shall construct a new 8” water main at their own expense from the existing 8” public water main constructed under Plan No. 090-1979 in Common Area “A” of the Rivendell Townhouses Unit II, Lots 47-105 and Common Areas A, B and C subdivision recorded at Book 31, M&P, Page 022 to the westernmost boundary of APN 136130060 for the purpose of providing water service to APNs 1361300050 & 1361300040.
11. The required new 8” water main shall be located within a new public water easement that is a minimum of 15’ wide, or within a public utility easement of adequate width to properly accommodate the proposed public utility lines within the easement.
12. The required new 8” water main and new easement shall be located within the northernmost east-west parking area access lane shown on the Preliminary Development Plan, and terminate in the cross-access easement to the west, west of the 24” Dia. HDPE Basin Equalizer Pipe identified by Keynote No. 44 on the on the Preliminary Development Plan.

WASTEWATER CAPACITY

13. Pima County Wastewater Reclamation provides the condition that the owner/developer shall obtain written documentation from the Pima County Regional Wastewater Reclamation District (PCRWRD) that treatment and conveyance capacity is available for any new development within the rezoning area, no more than 90 days before submitting any tentative plat, development plan, sewer improvement plan or request for building permit for review. Should treatment and/or conveyance capacity not be available at that time, the owner/developer shall have the option of funding, designing, and constructing the necessary improvements to Pima County’s public sewerage system at his or her sole expense or cooperatively with other affected parties. All such improvements shall be designed and constructed as directed by the PCRWRD.

SIGNAGE

14. Illuminated signs may only be on the north elevation. This is to respect the existing residential development to the south, southwest, and east of the site.
15. Hours of illumination must coincide with business hours of operation.

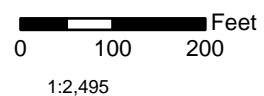
ZONING EXAMINER CONDITIONS

TP-ENT-1123-00043 8750 E Golf Links Rd, C-1 to C-2

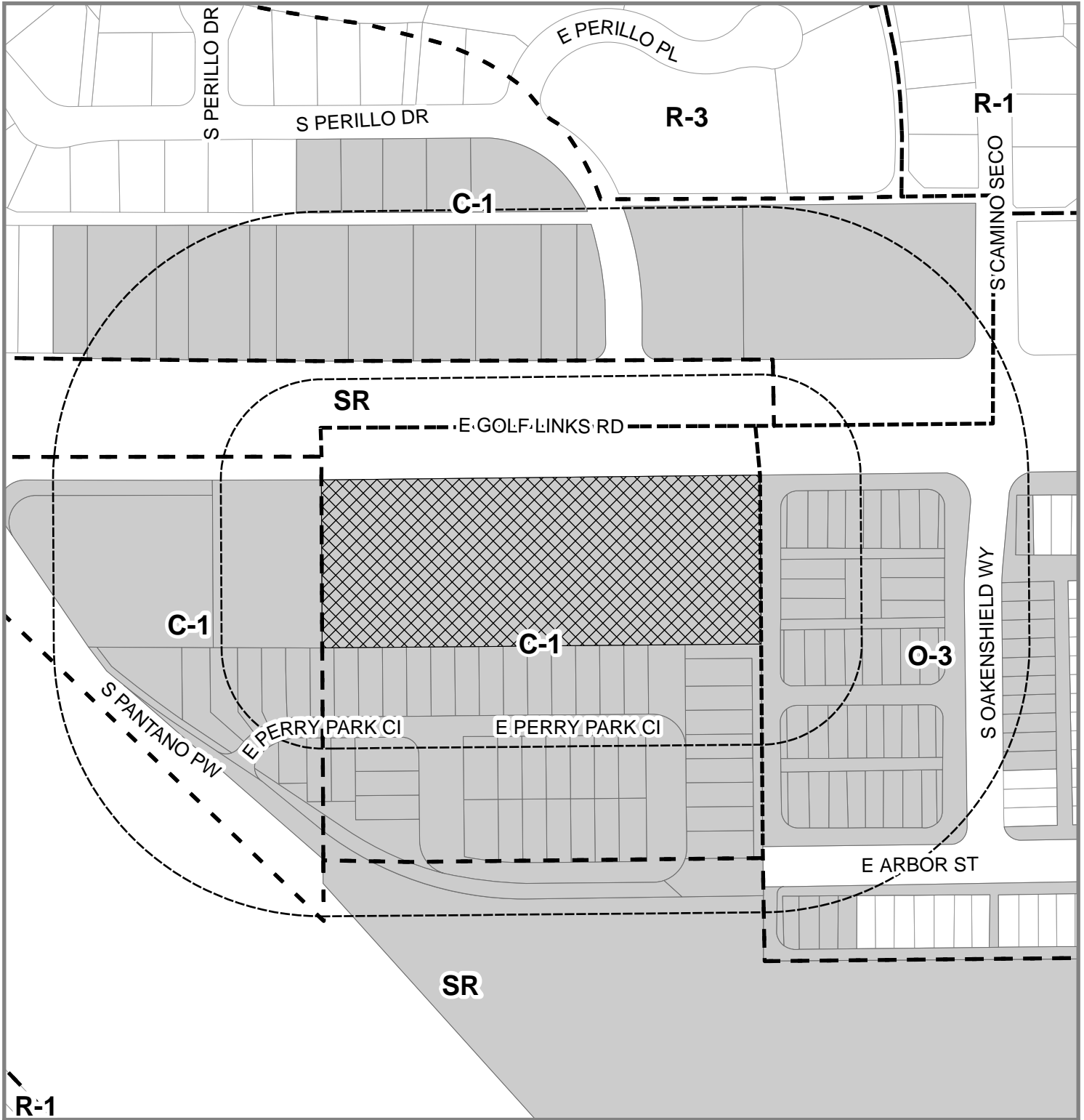


 Area of Rezoning




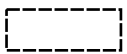

Address: 8750 E GOLF LINKS RD
Base Maps: Twp. 1403 Range 1502 Sec. 28
Twp. 1403 Range 1502 Sec. 27
Ward(s): 4



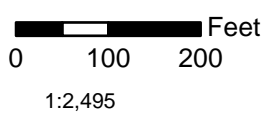
TP-ENT-1123-00043 8750 E Golf Links Rd, C-1 to C-2



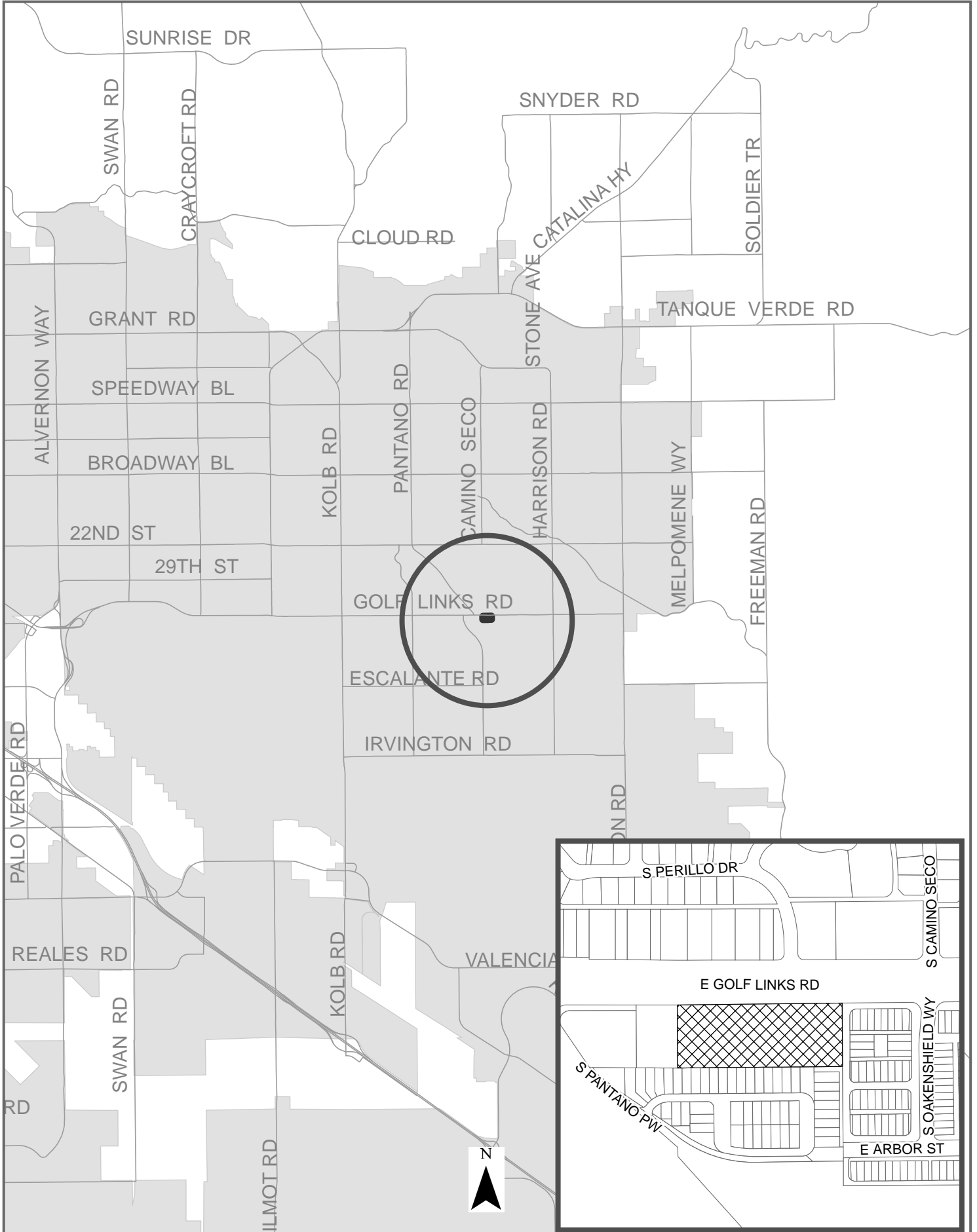
R-1

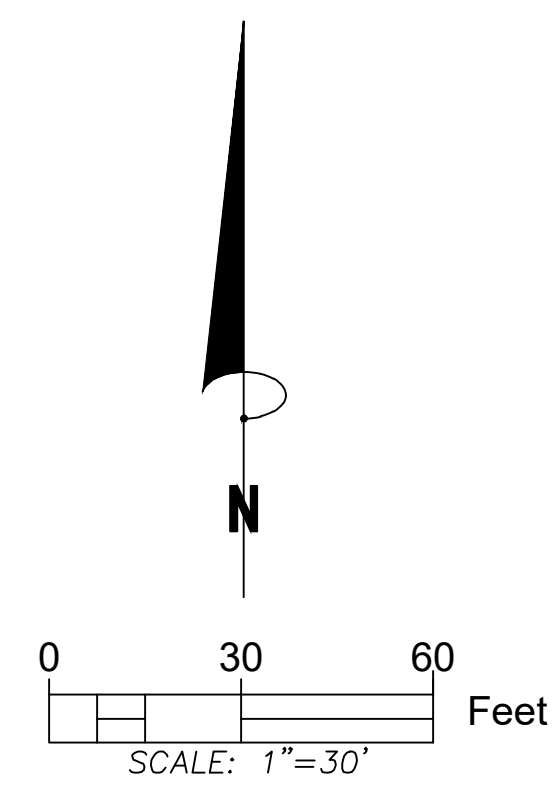
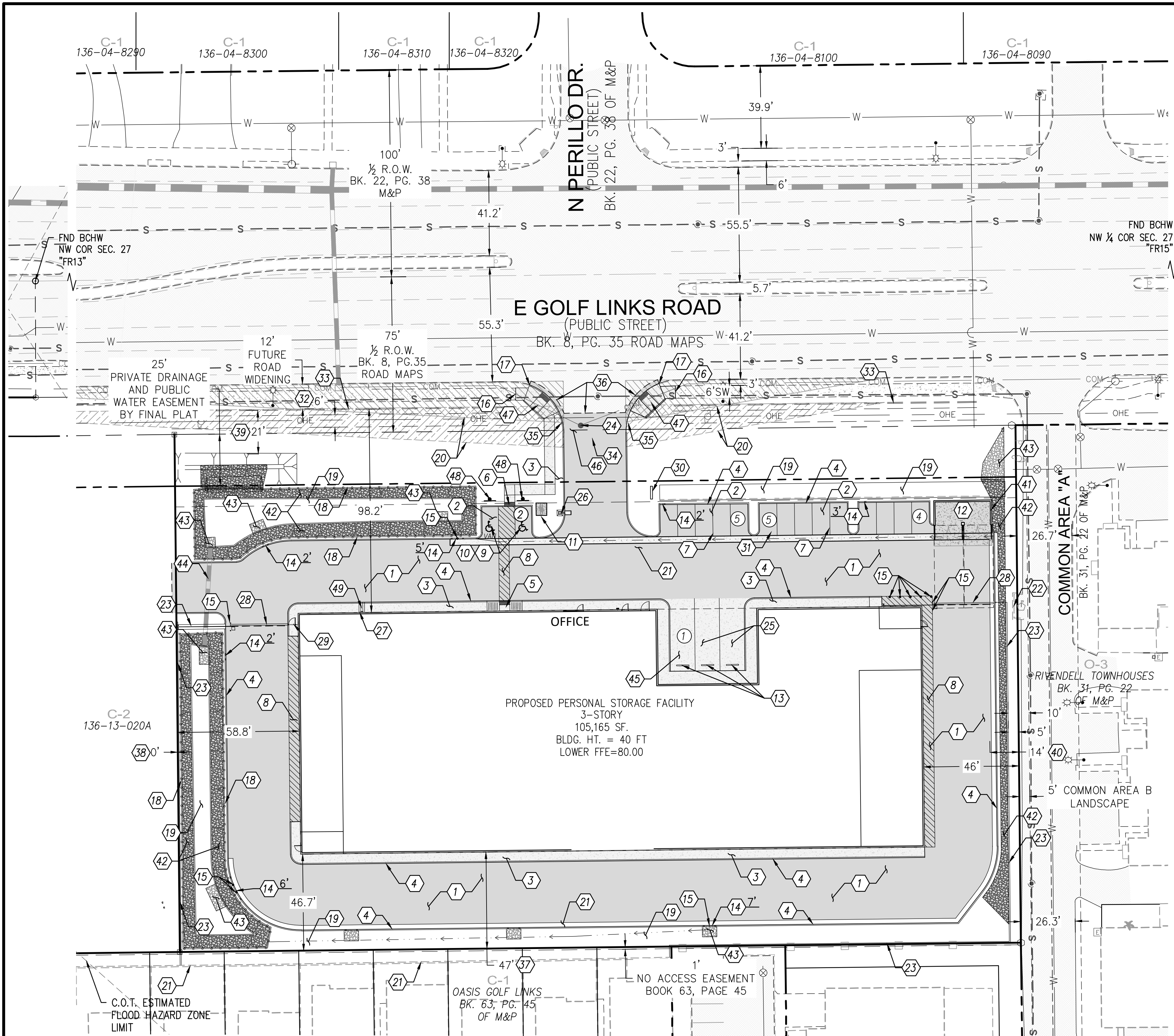
-  Area of Rezoning
-  Zone Boundaries
-  Properties Notified
-  400' Notification Area
-  Protest Area (150 ft. Radius)

Address: 8750 E GOLF LINKS RD
 Base Maps: Twp. 1403 Range 1502 Sec. 28
 Twp. 1403 Range 1502 Sec. 27
 Ward(s): 4



TP-ENT-1123-00043 8750 E Golf Links Rd, C-1 to C-2





- SITE KEYNOTES**
- 1 HEAVY DUTY ASPHALT CONCRETE PAVEMENT.
 - 2 LIGHT DUTY ASPHALT CONCRETE PAVEMENT.
 - 3 CONCRETE SIDEWALK PER PAG SD 200.
 - 4 CONCRETE CURB, 6" REVEAL PER PAG STD #209 TYPE (I).
 - 5 CONCRETE CURB ACCESS RAMP.
 - 6 DETECTABLE WARNING STRIP PER PAG SD 207 SHEET 10.
 - 7 4" WHITE SOLID LINE PAVEMENT MARKING.
 - 8 PEDESTRIAN PATH STRIPPING
 - 9 PAVEMENT MARKING, HANDICAP SYMBOL.
 - 10 ADA PARKING STALL.
 - 11 SHORT TERM BICYCLE PARKING.
 - 12 TRASH DOUBLE CONTAINER ENCLOSURE PER COT TSM 8-01.9.0 FIG. 3A.
 - 13 CONCRETE WHEEL STOP.
 - 14 CURB OPENING.
 - 15 POST BOLLARD, PER PAG SD 106, TYPE "A".
 - 16 CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG SD 203.
 - 17 CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG SD 211.
 - 18 SAFETY HANDRAIL PER PAG 105.
 - 19 WATER HARVESTING INFILTRATION AREA, DEPRESS AREA 9 INCHES MAXIMUM. SEE LANDSCAPE PLANS.
 - 20 CURRENT AND FUTURE SIGHT VISIBILITY TRIANGLE PER TSM 10-01.5.3. 325' NEAR, 125' FAR (PAAL/ARTERIAL).
 - 21 EXISTING 6 FT HIGH CMU WALL TO REMAIN
 - 22 EXISTING CMU WALL AND MAILBOX TO REMAIN.
 - 23 6 FT HIGH CMU WALL, SEE DETAIL B ON THIS SHEET. STRUCTURAL DESIGN BY OTHERS.
 - 24 EXISTING COMMUNICATIONS MANHOLE. ADJUST RIM TO PROPOSED PAVEMENT ELEVATION.
 - 25 12'x35' TYPE "A" LOADING AREA.
 - 26 NEW LIGHT POLE, DESIGN BY OTHERS.
 - 27 ROOF DOWNSPOUT. SEE ARCH. PLANS FOR DETAILS.
 - 28 VEHICULAR GATE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 29 PEDESTRIAN GATE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 30 MONUMENT SIGN, SEE SEPARATE PLANS BY OTHERS.
 - 31 ACCESS CARD READER, DESIGN BY OTHERS.
 - 32 FUTURE CONCRETE SIDEWALK PER C.O.T. MS&R PLAN.
 - 33 FUTURE CONCRETE VERTICAL CURB PER C.O.T. MS&R PLAN.
 - 34 EXISTING CONCRETE HEADER TO BE REMOVED.
 - 35 EXISTING CONCRETE CURB TO BE REMOVED.
 - 36 SAWCUT 1 FT MINIMUM INTO EXISTING PAVEMENT TO PROVIDE A UNIFORM CONSTRUCTION JOINT. TRIM, TACK AND JOIN NEW PAVEMENT TO EXISTING PAVEMENT.
 - 37 BACK BUILDING SETBACK NON-RES USE TO NON RES ZONE: 0 FT.
 - 38 SIDE BUILDING SETBACK. NON-RES TO NON-RES: 0 FT.
 - 39 MAJOR STREET BUILDING SETBACK. 10 FT MINIMUM REQUIRED FROM PROPERTY LINE.
 - 40 LOCAL STREET BUILDING SETBACK: 20 FT FROM PROPERTY LINE.
 - 41 RETAINING WALL. STRUCTURAL DESIGN AND SEPARATE PERMIT BY G.C..
 - 42 GROUDED ROCK RIPRAP, D₉₀=6", WITH NO VISIBLE MORTAR, EMBEDDED 1/2" INTO 6" THICK CONCRETE WITH 6"x6"-W2.1xW2.1 WWF.
 - 43 HAND PLACED ROCK RIPRAP, D₅₀=6", T=12" OVER MIRAFI 180 FABRIC.
 - 44 HANDICAP SIGN.
 - 45 24" DIA. HDPE BASIN EQUALIZER PIPE.
 - 46 CONCRETE PAVEMENT.
 - 47 EXISTING ASPHALT CONCRETE PAVEMENT TO BE REMOVED.
 - 48 EXISTING CURB ACCESS RAMP TO BE REMOVED AND REPLACED PER DETAIL
 - 49 ADA SIGN AND POST.
 - 50 SIDEWALK SCUPPER PER PAG 205 TYPE 2 WITH 1.5 FT WIDE STEEL DIAMOND PLATE.

OWNER/DEVELOPER

VALHALLA UNITED PANTANO LLC
 P.O. BOX 41998
 PHOENIX, AZ 85029
 PHONE: 480.282.2228
 CONTACT: STEVE KOHNER
 e-mail: steve@globaltriad.com

ENGINEER

BOWMAN CONSULTING
 3275 W. INA RD. SUITE 220
 TUCSON, AZ 85741
 PHONE: 520.771.1545
 CONTACT: KEN PERRY
 e-mail: kperry@bowman.com

LANDSCAPE ARCHITECT

BOWMAN CONSULTING
 3275 W. INA RD. SUITE 220
 TUCSON, AZ 85741
 PHONE: 520.463.3200
 CONTACT: TIM JOHNSON
 e-mail: tjohnson@bowman.com

ARCHITECT

RKAA ARCHITECTS, INC.
 2233 E THOMAS ROAD
 PHOENIX, AZ 85016
 CONTACT: NEIL FEASER
 PHONE: 602-955-3900
 e-mail: nfeaserl@kaa.com

GENERAL NOTES

1. EXISTING ZONING IS "C-1" TO BE REZONED TO "C-2" COMMERCIAL ZONE.
2. THE GROSS AREA IS 2.33 ACRES OR 101,564 SF.
3. THE SUBJECT LOT IS ASSESSORS PARCEL NO. 136-13-020A.
4. EXISTING USE IS "VACANT LAND". PROPOSED USE GROUP IS "STORAGE"; LAND USE CLASS/TYPE: "PERSONAL STORAGE" AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.9.10.C.3 & 4.9.10.C.6 PER TABLE 4.8.6.
5. THE AREA OF DISTURBANCE FOR THIS PROJECT IS 2.33 ACRES OR 101,564 SF.
6. REQUIRED MINIMUM LOT AREA: 0 SF.
7. THE MAXIMUM NON RESIDENTIAL PERMITTED LOT COVERAGE IS: N/A.
11. MAXIMUM BUILDING HEIGHT ALLOWED PER UDC TABLE 6.3-4.A IS 40. PROPOSED BUILDING HEIGHT IS 40 FT.
13. REQUIRED PERIMETER SETBACK PER TABLE 6.3-4.A; NON-RESIDENTIAL TO NON RESIDENTIAL ZONE: 0'.
14. PER 6.4.5.C.2-a: STREET SETBACK FROM GOLF LINKS ROAD (ARTERIAL) - 10 FT FROM FUTURE ROW.
15. PER 6.4.5.C.2-b: STREET SETBACK FROM RIVENDELL TOWNHOUSES COMMON AREA "A" PRIVATE STREET (LOCAL STREET) - 20 FT FROM PROPERTY LINE.
16. PROPOSED GROSS FLOOR AREA IS 105,165 SF.
17. ALL GROUND MECHANICAL EQUIPMENT AND REFUSE AREA WILL BE SCREENED.

PARKING CALCULATIONS

BUILDING GROSS SQUARE FOOTAGE:
 TABLE 7.4.4-1 MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED: (PERSONAL STORAGE)

VEHICLE PARKING
 1 SPACE FOR EACH 4,000 SF OF GROSS FLOOR AREA.
 104,021 SF / 4,000 SF = 26 SPACES REQUIRED.
 2 SPACES REQUIRED FOR ANY ASSOCIATED OFFICE AREA.
 TOTAL 28 SPACES REQUIRED
 17 PARKING SPACES PROVIDED
 AN IPP IS REQUIRED AND WILL BE REQUESTED.

BICYCLE PARKING
 SHORT TERM PARKING
 PER TABLE 7.4.8-1: 2 SPACES.
 2 SPACES PROVIDED.

LONG TERM PARKING
 PER TABLE 7.4.8-1: 0 REQUIRED
 0 SPACES PROVIDED.

HANDICAPPED PARKING
 1 H.C. SPACE + 1 PER EVERY 25 VEHICULAR PARKING SPACE
 2 ACCESSIBLE PARKING SPACES PROVIDED

LOADING SPACES
 PER 7.5.5-A: 2 TYPE A (12'x35') LOADING SPACES REQUIRED.
 3 TYPE A LOADING SPACES PROVIDED (1 IS COUNTED AS PARKING SPACE).

REZONING
 Preliminary Development Plan
 TP-ENT1123-00043 Date 11/24/2023
 Planning & Development Services



Bowman Consulting Group Ltd
 3275 W. Ina Road, Suite 220
 Tucson, Arizona 85741
 Phone: (520) 463-3600
 www.bowman.com
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PRELIMINARY DEVELOPMENT PLAN
GOLF LINKS STORAGE
8750 E. GOLF LINKS ROAD
 A PORTION OF THE NW 1/4 OF SECTION 27,
 T-14-S, R-15-E, G.&S.R.M.,
 TUCSON, PINA COUNTY, AZ
 PARCEL No. 136-13-020A

051363-01-001 PROJECT NUMBER		
PLAN STATUS		
DATE	DESCRIPTION	
GV	GV	KP
DESIGN	DRAWN	CHKD
SCALE	H: 1" = 30' V: N/A	
JOB No. 051363-01-001		
DATE: 10/05/23		
C1		
SHEET	1	OF 1

ADMIN. ADDRESS 8750 E. GOLF LINKS ROAD TUCSON, AZ 85730 TD-DEV-0323-00183

NO.	DATE	REVISION	BY	CH	APPR



DATE: August 29, 2023

City of Tucson
Planning & Development Services
Entitlements Section
201 North Stone Avenue
PO Box 27210
Tucson, AZ 85726-7210

SUBJECT: Neighborhood Mailing Certification
Pantano Storage Rezoning

ACTIVITY NUMBER: TP-PRE-0723-00279

PROJECT LOCATION: 8750 E. Golf Links Rd.

This serves to place on record the fact that on 08/29/23, Robin Large,
(date) (name),
Lazarus & Silvyn, P.C., mailed notice of the 09/12/23
(Company/Organization) (date of meeting)

neighborhood meeting such that the notice was received at least ten (10) days prior to the date of the meeting.

Signature:

Date: August 29, 2023



**** Include the certification in the neighborhood meeting portion of the application ****

Attachment: copy of mailing labels

August 29, 2023

Dear Neighboring Property Owner:

Our firm represents Pantano Storage, LLC (“PS” or “Client”), which is under contract to purchase approximately 2.33 acres of vacant land at 8750 E. Golf Links Road (the “Property”), located on the south side of Golf Links east of its intersection with S. Pantano Parkway in the City of Tucson (“City”). (See *location map below*.) Our Client is interested in developing a multi-story, climate-controlled personal storage facility with approximately 105,000 square feet of floor area (the “Project”) next to the future Big-O Tire shop adjacent to the Property on the west. Unlike many other commercial uses permitted under the current zoning, personal storage uses generate little traffic and noise and therefore will have almost no impact on the surrounding neighborhood. To enable development of the Project, PS is requesting a rezoning from the current Commercial C-1 to Commercial C-2 zoning.

As a nearby property owner and neighbor, we invite you to join our neighborhood meeting to learn more about the Project. The meeting will include a presentation about the Project, a review of the City’s rezoning process and plenty of time for questions. The meeting will be held in person, as follows:

Tuesday, September 12, 2023, at 6:00pm

New Life Wesleyan Church

8900 E. Golf Links Road

The City will send you separate notices for any future public meetings. If you would like to personally speak with City staff regarding this matter, please contact Mr. John Beall at (520) 837-6966 or via email at John.Beall@tucsonaz.gov.

If you cannot attend the meeting, or if you have questions about the Project or the rezoning process, please do not hesitate to contact Rory Juneman or Robin Large at (520) 207-4464, or via email at RJuneman@LSLawAZ.com or RLarge@LSLawAZ.com.

Sincerely,

Rory Juneman & Robin Large
Lazarus & Silvyn, P.C.



RECEIPT (REC-016584-2023)
FOR CITY OF TUCSON

BILLING CONTACT

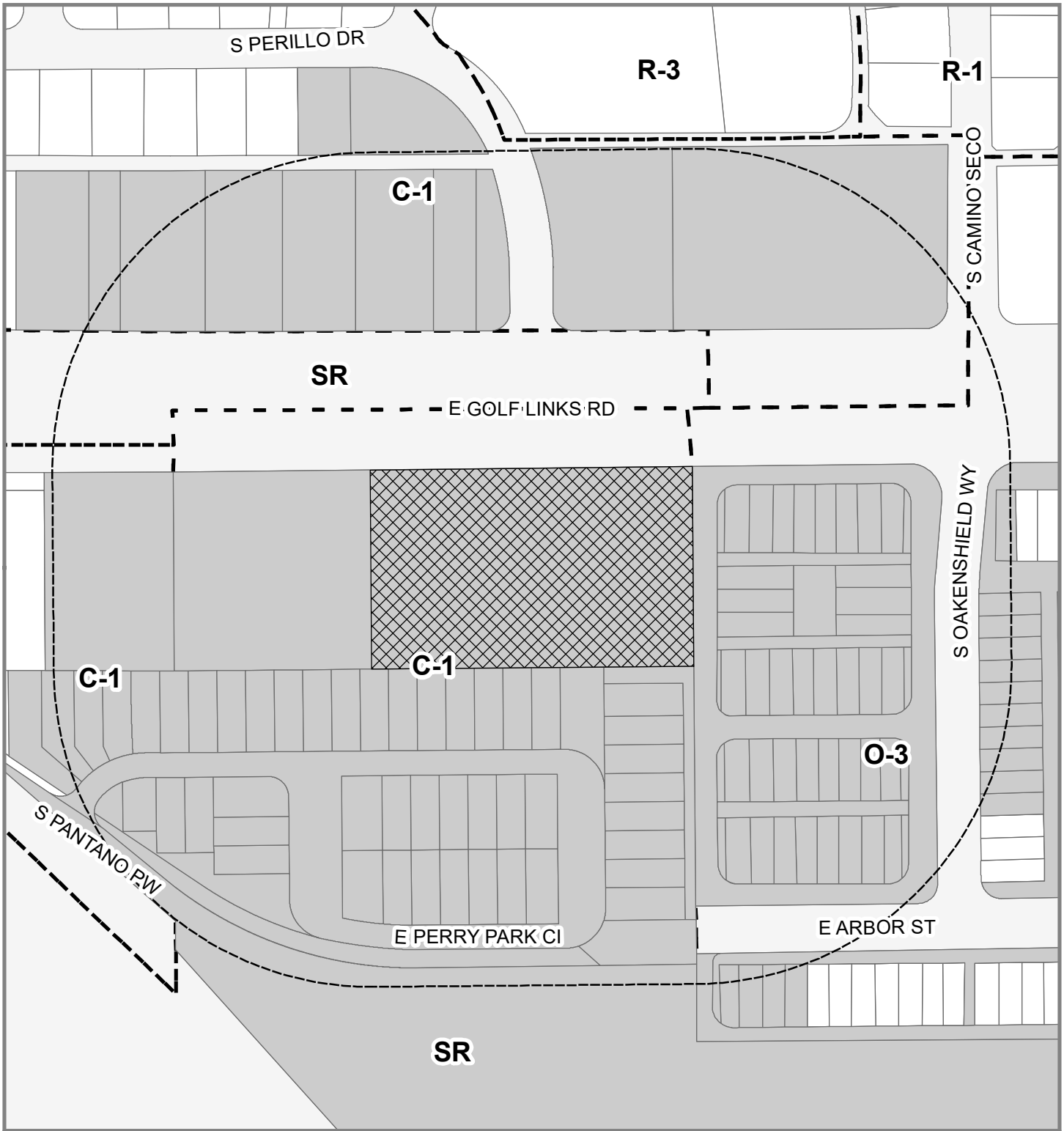
tim kohner
PO Box 41998
phoenix, AZ 85080







Payment Date: 08/10/2023

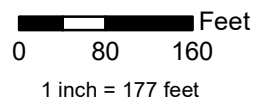
Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
TP-PRE-0723-00279	Notification Fee - Mailing - 400 Feet	Fee Payment	Credit Card	\$220.00
8750 E GOLF LINKS RD TUCSON, AZ 85730			SUB TOTAL	\$220.00
			TOTAL	\$220.00

TP-PRE-0723-00279 - 8750 E GOLF LINKS RD



-  Subject Property
-  400' Notification Area
-  Properties Notified
-  Zone Boundaries

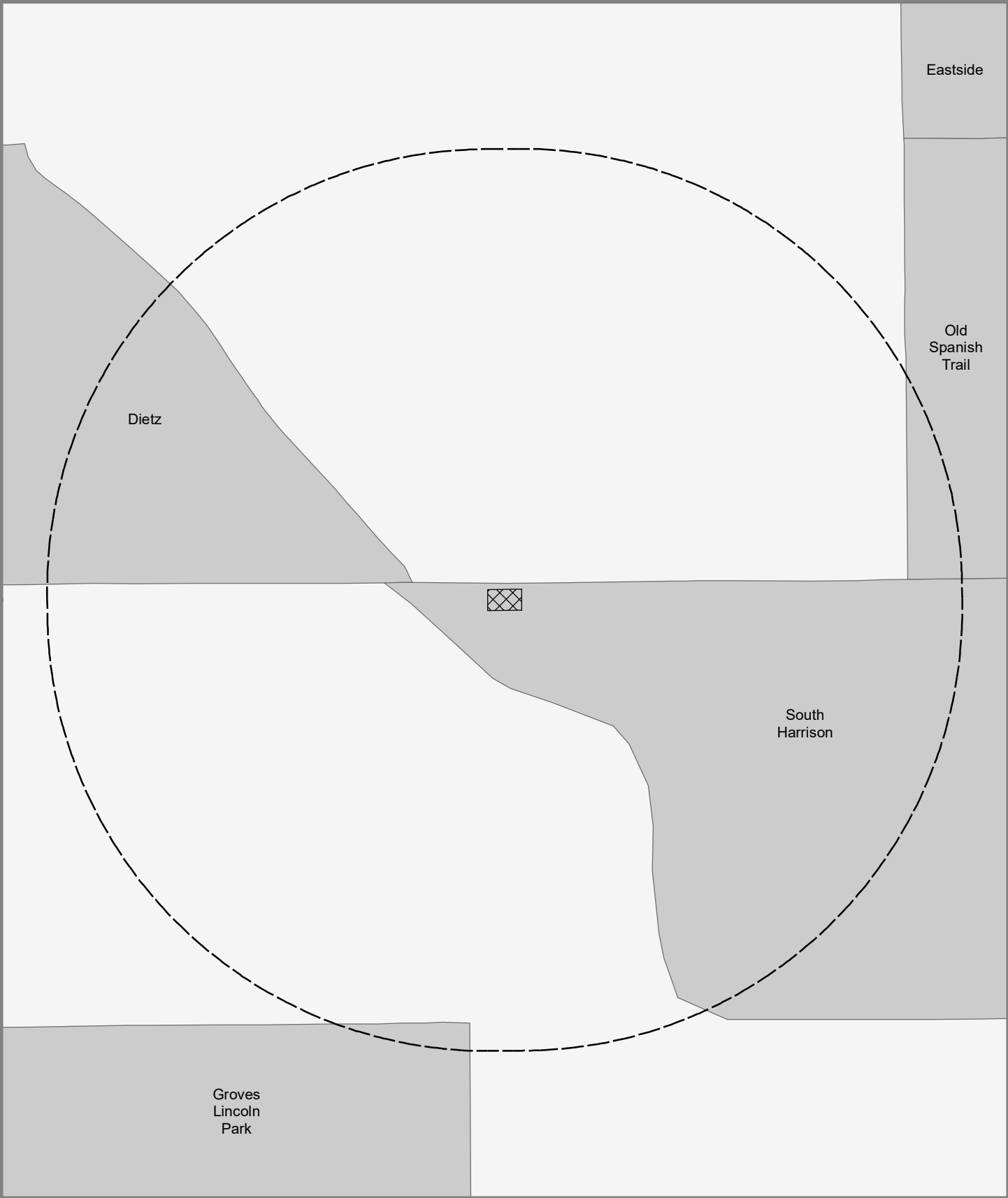
Address: 8750 E GOLF LINKS RD
Base Maps: Twp.14S Range15E Sec. 27
Ward: 4





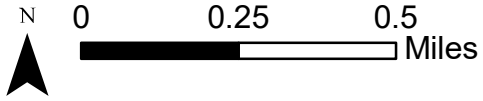
PARCEL	MAIL1	MAIL2	MAIL3	ZIP
13604812A	SCHROEDER BRIAN T TR	PO BOX 12583	GREEN BAY WI	54307
136132780	SMITH-INIGUEZ KELLY	1453 FIR CT	RIFLE CO	81650
136133010	SFR INVESTMENTS V BORROWER 1 LLC	PO BOX 4090	SCOTTSDALE AZ	85261
136131350	DICKENSON MARK & JANIECE	11178 E CAMINO AURELIA	VAIL AZ	85641
136131610	FLEMING NIYURI	13979 E CHEAVRONT LOOP	VAIL AZ	85641
136131320	MILLER WILLIAM J & ALMON-MILLER DIANNE JT/RS	16348 S SYCAMORE RIDGE TRL	VAIL AZ	85641
136133120	DAVIDSEN KRISTINE L TR	12620 N APPLING AVE	MARANA AZ	85653
136131850	RIVENDELL PROPERTY OWNERS ASSOCIATION	6840 N ORACLE RD STE 130	TUCSON AZ	85704
13613020A	LEWIS GOLF LINKS LLP	6431 E SHEPHERD HLS	TUCSON AZ	85710
136048710	MIKAIL ENTERPRISES LLC	1081 N BEDFORD DR	TUCSON AZ	85710
136131660	MOE DIANE LEE & KEVIN E CP/RS	9111 E MAGDALENA RD	TUCSON AZ	85710
13613095A	RIVENDELL PROPERTY OWNERS ASSN	8880 E SPEEDWAY BLVD STE 302	TUCSON AZ	85710
136048290	SMITH JOSHUA & MARICELLA	8591 E FLORY DR	TUCSON, AZ	85710
136048720	WILSON THOMAS J & DAWN N	2550 S PERILLO DR	TUCSON AZ	85710
136130790	CORNER STONE HOMES LLC	4800 E BROADWAY BLVD # 400	TUCSON AZ	85711
136132770	ECHOLS RONELL L & EL THASHEIA CP/RS	6245 E BROADWAY BLVD STE 400	TUCSON AZ	85711
136131280	KMS ENTERPRISES LLC	5225 E PIMA ST	TUCSON AZ	85712
13604814A	PORTABLE PRACTICAL EDUCATIONAL PREPARATION INC	806 E 46TH ST	TUCSON AZ	85713
13613021F	CITY OF TUCSON	PO BOX 27210	TUCSON AZ	85726
136048090	8825 GOLF LINKS LLC	10510 E ESCALANTE RD	TUCSON AZ	85730
136131640	ANAYA DANETTE	8802 E ARBOR ST	TUCSON AZ	85730
136132860	ANDERSON LISA P & DANIEL CP/RS	8766 E PERRY PARK CIR	TUCSON AZ	85730
136132830	ARMENGUAL CARLOS ADRIAN & CHRISTINA M CP/RS	8772 E PERRY PARK CIR	TUCSON AZ	85730
136131630	BARKER ROSE M	2736 S OAKENSHIELD WAY	TUCSON AZ	85730
136131580	BARNARD AMY LEE	2756 S OAKENSHIELD WAY	TUCSON AZ	85730
136132950	BAZE JEFF M & VILLA-BAZE JACQUELYNN D CP/RS	8746 E PERRY PARK CIR	TUCSON AZ	85730
136131420	BEARDSHEAR BROOKLYN	2682 S OAKENSHIELD WAY	TUCSON AZ	85730
136131400	BEHAN PATRICK & PAMELA JO CP/RS	2690 S OAKENSHIELD WAY	TUCSON AZ	85730
136132890	BELL STACY M	8760 E PERRY PARK CIR	TUCSON AZ	85730
136132960	BETHUNE JENNIFER A	8744 E PERRY PARK CIR	TUCSON AZ	85730
136131530	BOCKSTANZ JOHN	2724 S OAKENSHIELD WAY	TUCSON AZ	85730
136133150	BRIZZOLARA CHRISTINA	8718 E PERRY PARK CIR	TUCSON AZ	85730
136132750	BURROLA JESUS L	8790 E PERRY PARK CIR	TUCSON AZ	85730
136133110	CAMPOSAGRADO JAN LEYNARD & GRIJALDO	8761 E PERRY PARK CIR	TUCSON AZ	85730
136132790	CANDELARIA KARLA J	8782 E PERRY PARK CIR	TUCSON AZ	85730
136131440	CASTILLO AUDREY A	2674 S OAKENSHIELD WAY	TUCSON AZ	85730
136133030	CHATTERJEE CHANDRA	8729 E PERRY PARK CIR	TUCSON AZ	85730
136133040	COTA SUSAN	8727 E PERRY PARK CIR	TUCSON AZ	85730
136131590	CRANDELL AARON R & CASSANDRA M JT/RS	2752 S OAKENSHIELD WAY	TUCSON AZ	85730
136133050	DAVIS MARRIANNE	8725 E PERRY PARK CIR	TUCSON AZ	85730
136133000	DOWDNEY CRAIG C & DONNA E CP/RS	8736 E PERRY PARK CIR	TUCSON AZ	85730
136131340	DUARTE ADRIANNA	2634 S OAKENSHIELD WAY	TUCSON AZ	85730
136131390	DUNAKY BENJAMIN & LAYE MICHELE	2658 S OAKENSHIELD WAY	TUCSON AZ	85730
136133190	EDMOND RODOLPH F & MARTINEZ ELENA E CP/RS	8700 E PERRY PARK CIR	TUCSON AZ	85730
136133070	EDMOND ROSELAINE	8721 E PERRY PARK CIR	TUCSON AZ	85730
136133130	ELDRIDGE ANNE MARIE	8765 E PERRY PARK CIR	TUCSON AZ	85730
136131600	ELLIS JAMES	2748 S OAKENSHIELD WAY	TUCSON AZ	85730
136133160	ESPINOZA JESSICA	8714 E PERRY PARK CIR	TUCSON AZ	85730
136133100	FIEL CHRISTOPHER F & FIEL CESAR JT/RS	8759 E PERRY PARK CIR	TUCSON AZ	85730
136131370	GIBBS DANIEL L	2654 S OAKENSHIELD WAY	TUCSON AZ	85730
136132810	GOMEZ CRISTOBAL	8778 E PERRY PARK CIR	TUCSON AZ	85730
136131260	GRACE YVONNE DE CARLO	2602 S OAKENSHIELD WAY	TUCSON AZ	85730
136132970	GRIFFIN PATRICK & CENICEROS ANGELICA JT/RS	8742 E PERRY PARK CIR	TUCSON AZ	85730
136130890	HARE WENDY	8851 E ELVENSTONE WAY	TUCSON AZ	85730
136131570	HARRISON MATTHEW DEAN	2760 S OAKENSHIELD WAY	TUCSON AZ	85730
136131510	HOLMES WILLIAM PAXTON	2716 S OAKENSHIELD WAY	TUCSON AZ	85730
136131380	HOOPER LUCY	9041 E 39TH ST	TUCSON AZ	85730
136131520	HYSLOP-GARZA MIRANDA LUCIA	2720 S OAKENSHIELD WAY	TUCSON AZ	85730

136132870	JOHNSON TIMOTHY	8764 E PERRY PARK CIR	TUCSON AZ	85730
136131430	JONES DIANA L	2678 S OAKENSHIELD WAY	TUCSON AZ	85730
136131450	KINGSLAND ASHLEY MARIE	2670 S OAKENSHIELD WY	TUCSON AZ	85730
136132820	KNOWLTON LUCINDA LEE	8774 E PERRY PARK CIR	TUCSON AZ	85730
136133090	KOLB ELIZABETH LYNN	8757 E PERRY PARK CIR	TUCSON AZ	85730
136131550	LOCHNER LISA R LIVING TRUST	10101 E DESERT AIRE DR	TUCSON AZ	85730
136131300	LOPEZ MARGARET LIVING TR	2618 S OAKENSHIELD WAY	TUCSON AZ	85730
136132980	MC BRIDE CAITLIN & TODD JR CP/RS	8740 E PERRY PARK CIR	TUCSON AZ	85730
136133140	MORLOCK GABRIELLE M	8767 E PERRY PARK CIR	TUCSON AZ	85730
136132940	MORRAN MARIELLE	8748 E PERRY PARK CIR	TUCSON AZ	85730
136133180	MULHOLLAND RYAN JAMES	8704 E PERRY PARK CIR	TUCSON AZ	85730
136133170	MUNOZ MICHAEL JAMES	8710 E PERRY PARK CIR	TUCSON AZ	85730
136131270	NGUYEN QUANG T	2606 S OAKENSHIELD WAY	TUCSON AZ	85730
136132850	NICHOLAS SUSAN	8768 E PERRY PARK CIR	TUCSON AZ	85730
136132800	PETERSON THOMAS	8780 E PERRY PARK CIR	TUCSON AZ	85730
136132900	RIVERA ALEX I	8758 E PERRY PARK CIR	TUCSON AZ	85730
136132990	ROJAS IVAN	8738 E PERRY PARK CIR	TUCSON AZ	85730
136131650	ROMERO LILLIAN RUTH	8804 E ARBOR ST	TUCSON AZ	85730
136131470	SANTANA LILLIAN	2662 S OAKENSHIELD WAY	TUCSON AZ	85730
136133060	SCHOEDER DOROTHEA & HAGMANN ROBERT C JT/RS	8723 E PERRY PARK CIR	TUCSON AZ	85730
136132930	SCHRAMM CHARLES E JR & ROSALIE D CP/RS	8750 E PERRY PARK CIR	TUCSON AZ	85730
136048310	SERNA VICTOR M & CORRINE CP/RS	9429 E MYRA DR	TUCSON AZ	85730
136133080	SHEEDY MOLLY CAFERRO LIVING TR	8755 E PERRY PARK CIR	TUCSON AZ	85730
13604328C	SIMONS PHYSICAL THERAPY PC	8703 E GOLF LINKS RD	TUCSON AZ	85730
136131310	SMITH BETTY J	2622 S OAKENSHIELD WAY	TUCSON AZ	85730
136131540	STEELE INDAR	2728 S OAKENSHIELD WAY	TUCSON AZ	85730
136131480	SUTTON MARTHA LINDA	2704 S OAKENSHIELD WAY	TUCSON AZ	85730
136133020	TODD ANNIE HOPE & KENNETH WAYNE CP/RS	8731 E PERRY PARK CIR	TUCSON AZ	85730
136132740	TRIPP JOSEPH RYAN & GANAE W CP/RS	8792 E PERRY PARK CIR	TUCSON AZ	85730
136132920	ULLOA MADELINE M	8754 E PERRY PARK CIR	TUCSON AZ	85730
136132880	URBAN ANNE HERNANDEZ & LUIS GARCIA CP/RS	8762 E PERRY PARK CIR	TUCSON AZ	85730
136132840	WALKER STEPHANIE JOE	8770 E PERRY PARK CIR	TUCSON AZ	85730
136131330	WILLIAMS ASHLEE	2630 S OAKENSHIELD WAY	TUCSON AZ	85730
136131620	WILLIAMS SUZANNE J & GARY W CP/RS	2740 S OAKENSHIELD WAY	TUCSON AZ	85730
136132760	YOUNG ADRIAN SIMONE	8788 E PERRY PARK CIR	TUCSON AZ	85730
136133200	MESQUITES ON PANTANO HOA	PO BOX 14198	TUCSON AZ	85732
136131290	CHAPMAN ROBERT T & JUDITH A JT/RS	7751 S KILCORMAC LN	TUCSON AZ	85747
136048320	MORRIS MARK & CARRIE JT/RS	6095 S JAKEMP TRL	TUCSON AZ	85747
136048130	GERACI ROBERT J	741 S AVENIDA DEL MONTE	TUCSON AZ	85748
136131360	GUILLEN RAFAEL & ANNA M LIVING TR	1914 S SUNBURST DR	TUCSON AZ	85748
136131560	VELARDI GLENN & LYNN CP/RS	10682 E CAMINO QUINCE	TUCSON AZ	85748
136131500	FU ZHIHONG	9760 E ROCK RIDGE CT	TUCSON AZ	85749
136048300	SMITH MARTHA D & SMITH JOSEPH M III	12015 E CORONADO RD	TUCSON AZ	85749
136131670	BERNAL FREDRICK S & JUDITH A CP/RS	3940 N OLD SABINO CANYON RD	TUCSON AZ	85750
136131460	LOPEZ TYLER	7871 E CLOUD RD	TUCSON AZ	85750
136131410	DESCHLER ALACINE	6600 S MEADOW FESCUE DR	TUCSON AZ	85756

TP-PRE-0723-00279 - 8750 E GOLF LINKS RD



 Subject Property
 1 Mile Notification Area



Name	Address	City, State, Zip
Regina Romero - Mayor	255 W. Alameda ST	Tucson, AZ 85701
Kayla Leonard (2nd VP) - N.A.-Dietz	2016 S Marc Dr	Tucson, AZ 85710
Linda K. Howell - N.A.-Dietz	7340 E 34th St	Tucson, AZ 85710
Candace Mondragon - N.A.-Dietz	7426 E Random Ridge Dr	Tucson, AZ 85710
Michael Hassan - N.A.-Groves Lincoln Park	3208 E Ft Lowell, Suite 102	Tucson, AZ 85716
Joanna Gradillas - N.A.-Groves Lincoln Park	3208 E Ft Lowell, Suite 102	Tucson, AZ 85716
Jessica Riesgo - N.A.-Groves Lincoln Park	3208 E Fort Lowell, Suite 102	Tucson, AZ 85716
Joyce K. Beal - N.A.-Old Spanish Trail	9610 E 29th St	Tucson, AZ 85748
Don Goebel - N.A.-Old Spanish Trail	9996 E Emberwood Dr	Tucson, AZ 85748
William (Howie) Hibbs - N.A.-Old Spanish Trail	9541 E Thomas Pl	Tucson, AZ 85748
Frank Pyrdeck - N.A.-South Harrison	9440 E 39th St	Tucson, AZ 85730
James O'keefe - N.A.-South Harrison	9642 E Barnett	Tucson, AZ 85730
Nikki Lee - Ward 4	8123 E. Poinciana	Tucson, AZ 85730

Pantano/Golf Links Storage Rezoning Neighborhood Meeting Summary

Project: Pantano Storage, LLC (“PS”) is under contract to purchase approximately 2.33 acres of vacant land at 8750 E. Golf Links Road (the “Property”), located on the south side of Golf Links east of its intersection with S. Pantano Parkway in the City of Tucson (“City”). PS is interested in developing a multi-story, climate-controlled personal storage facility with approximately 105,000 square feet of floor area (the “Project”). The Property is currently zoned Commercial C-1, which restricts personal storage uses to 16 feet in height. To enable development of the Project, PS is requesting a rezoning from the current C-1 to C-2 zoning.

Date/Time: Tuesday, September 13, 2023
6:00 p.m.

Location: New Life Wesleyan Church, 8900 E. Golf Links Road

Meeting Invitation: The meeting invitation was sent to all property owners within 400 feet of the Property via First-class Mail using a City-generated mailing list. (*See attached meeting invitation letter and mailing labels.*)

Attendance: Other than the Project Team, only one neighbor attended the meeting. (*See Neighborhood Meeting Sign-In Sheet.*)

Project Team: The Project Team in attendance included:

- Steve Kohner & Tod Decker (Project Developers)
- Rory Juneman, Robin Large & Jackson Cassidy of Lazarus & Silvyn (Planning/Zoning Consultants)

Meeting Synopsis: Mr. Juneman opened the meeting and introduced the Project Team to neighbor, Ken Todd, who serves on the Mesquites on Pantano Homeowners’ Association board. Mr. Juneman oriented Mr. Todd to the Property’s location and reminded him of the project proposals for neighboring properties (i.e., Big-O Tires and Super Star Car Wash).

Mr. Juneman explained the Property’s existing zoning is C-1, which permits the proposed personal storage use. The City’s code contemplates an outdated vision of personal storage, so it limits the building height for this use to a maximum of 16 feet. Modern self-storage facilities are constructed to resemble an office or retail building with most activity taking place within the interior of the building. Mr. Juneman explained that this Project is proposed to be 3 stories and approximately 34 feet in height.

Mr. Juneman reviewed the preliminary development plan (“PDP”), pointing out the loading areas, traffic circulation, dumpster location and cross-access drive between this Property and the future Big-O Tire to the west.

Mr. Juneman indicated this use generates very little traffic, and therefore, very little parking. The City's code requires more parking spaces than there is demand for this type of modern storage facility. Our PDP shows 19 spaces, which is sufficient for the Project. The City's code would require 29 spaces. The team will be requesting parking relief through an Individual Parking Plan ("IPP"), which is an administratively approved process that takes place at time of development package review.

Mr. Juneman then explained the City's rezoning and IPP processes and concluded the meeting by answering questions about the Project:

- Will the facility be open 24 hours a day?
 - *We have not yet set the hours of operation/access. Although some storage facilities are open 24 hours a day, most are closed in the middle of the night. Our Gilbert facility is closed between midnight and 5:00am; most storage facilities in Tucson prohibit access after 10:00pm.*

- Will there be noise from the AC units?
 - *The AC units will be located on the rooftop and screened by parapet walls, which will buffer any noise. You should not be able to hear the hum from the AC units on adjacent properties.*

- Will there be landscaping all around the edges?
 - *We are required to provide shade trees in the parking areas per City code requirements.*
 - *Landscape borders will be provided on the east and south Property boundaries adjacent to residential uses.*
 - *The City's code requires construction of a wall adjacent to residential neighbors, but there is an existing wall on the southern neighbors' properties five feet inside their property lines. We prefer not to build a second wall on our Property line, which would create a 5-foot alleyway. We will work with the City and the adjacent neighbors to come up with a mutually beneficial solution.*

- When do you plan to break ground?
 - *Our hope is to move forward quickly with our application and be ready to break ground in April or May of next year.*

The meeting ended at approximately 6:30 p.m.

Pantano Storage

Rezoning and IPP

Neighborhood Meeting
September 12, 2023

Agenda

- Overview of Property and Current Zoning
- Why Rezoning?
- Review Site Plan and Elevations
- Individual Parking Plan (IPP)
- Rezoning Process Next Steps
- Q&A

Meeting Courtesy Rules

- *Hold questions until presentation is complete.*
- *Ask 1 or 2 questions at a time until everyone has opportunity to speak. Limit comment time to 2-3 minutes to allow everyone to speak.*
- *Be respectful of everyone's opinions and perspectives.*

Project Location



Zoning Map

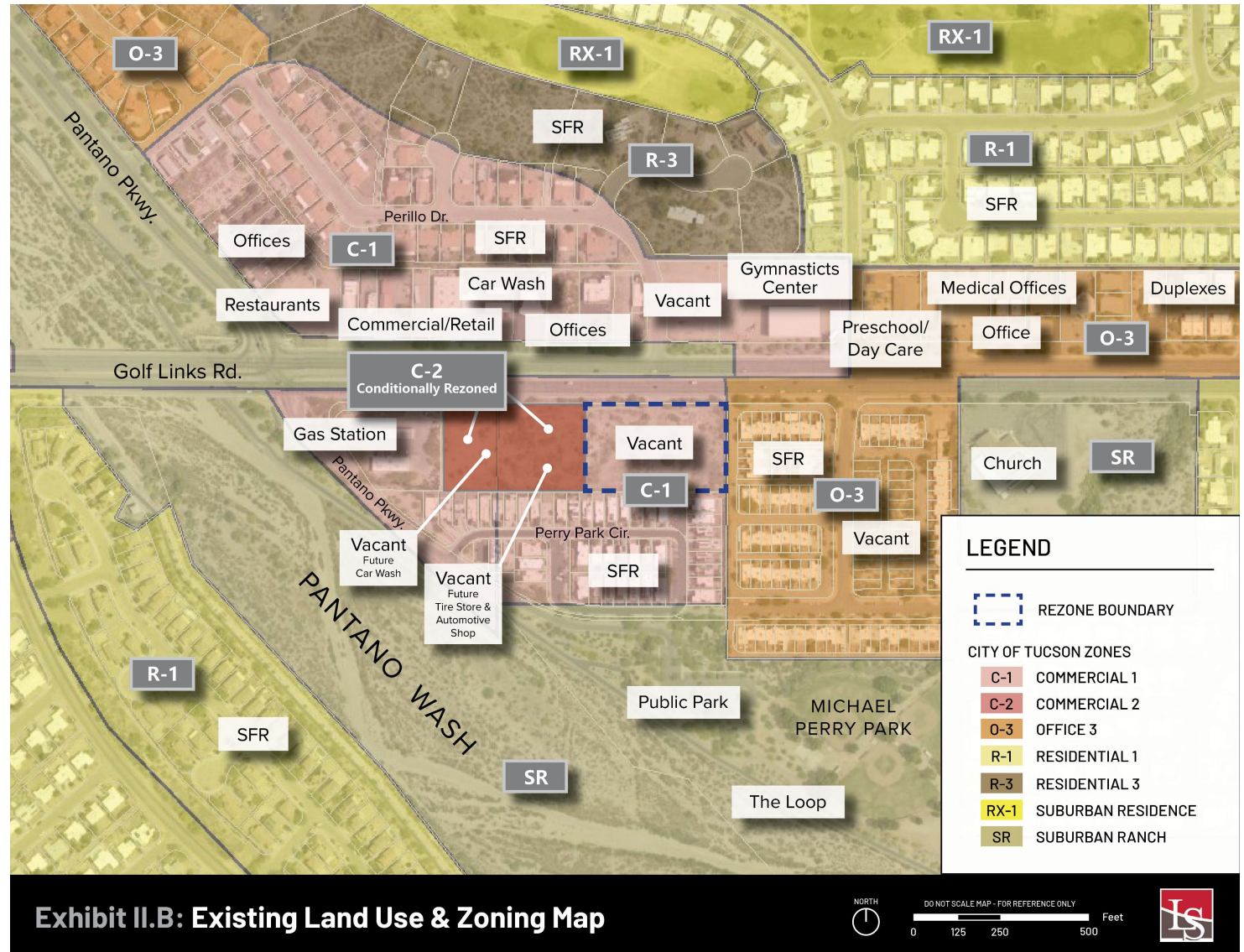


Exhibit II.B: Existing Land Use & Zoning Map

Why a Rezoning?

- **C-1 limits Personal Storage height to 16 feet**
 - “Old Storage” = single-story metal buildings, exterior loading
 - Modern personal storage mimics look of office/retail
- **C-2 allows additional height for “modern storage”**
 - Project will be three stories, climate controlled
 - Architecture will look like retail
 - Most access to individual units through interior loading area
 - Very low traffic impact
 - No nuisance impact to surrounding area

Old Storage



Modern Storage



Other Project Photos

PANTANO STORAGE



September 12, 2023

Other Project Photos

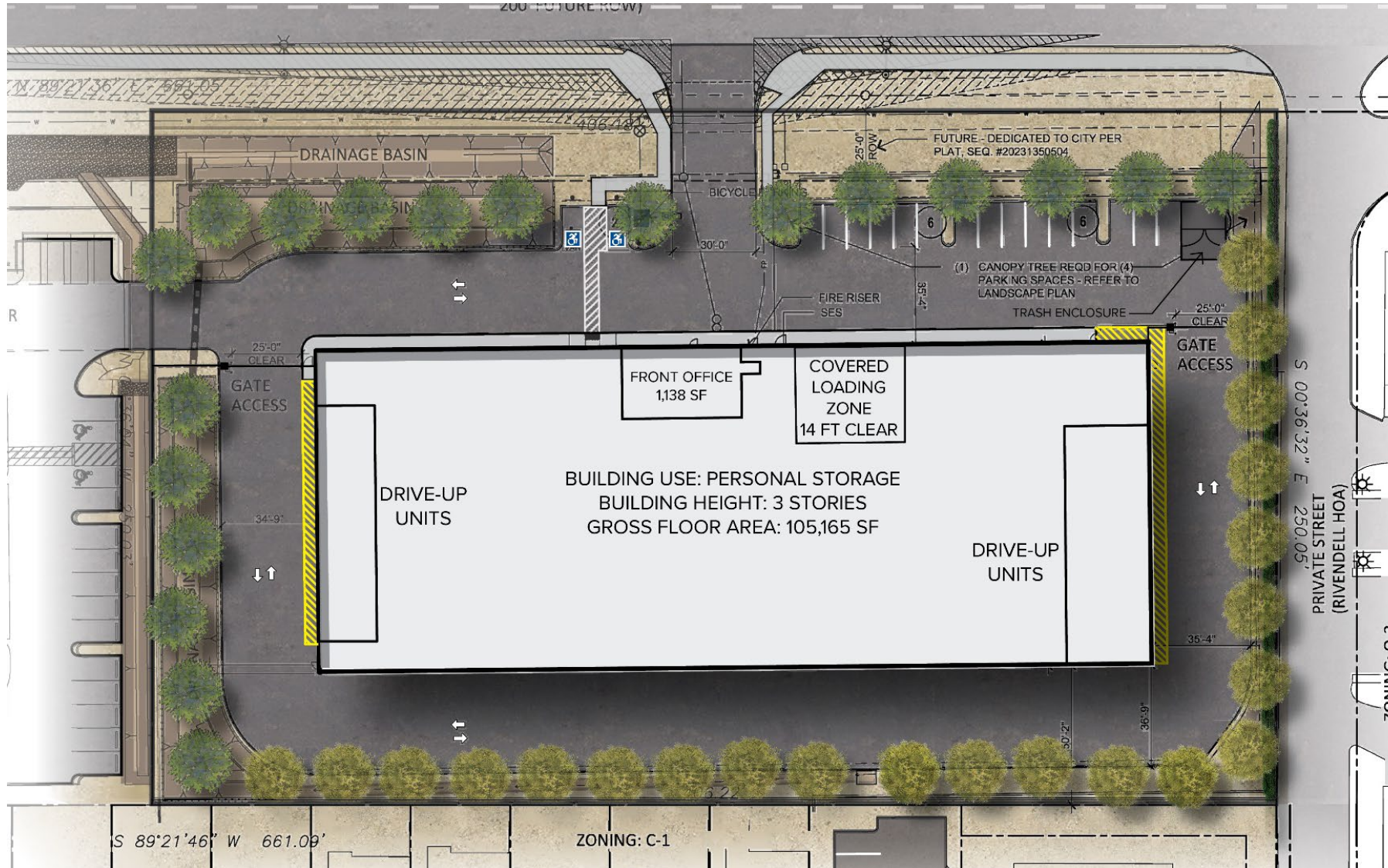
PANTANO STORAGE



September 12, 2023

Preliminary Development Plan

PANTANTO STORAGE



PROJECT DIRECTORY

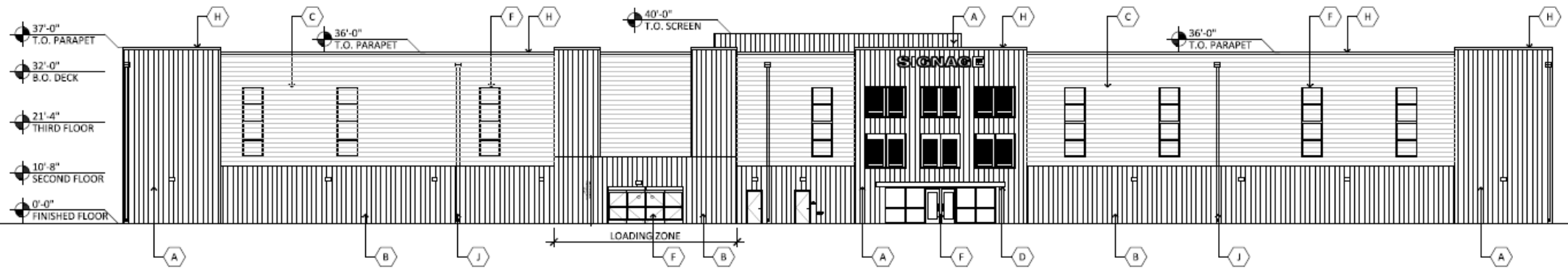
ARCHITECT:
 RKA A ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: nfeaser@rkaa.com

SITE DATA

PARCEL NUMBER:	136-13-020A (EAST PART)
EXISTING ZONING:	C-1 (TUCSON)
PROPOSED ZONING:	C-2 (TUCSON)
SITE AREA: PER SURVEY	2.33 ACRES (101,564 S.F.)
MAX. HEIGHT REQD/PROPOSED:	40'-0" +/- 34'
PROPOSED USE:	PERSONAL STORAGE
BUILDING AREA:	
1ST FLOOR: FIRST FLOOR TO 14'	35,055 S.F.
2ND FLOOR:	35,055 S.F.
3RD FLOOR:	35,055 S.F.
TOTAL BUILDING AREA:	105,165 S.F.
PROPOSED LOT COVERAGE:	34.51 %
PARKING REQUIRED:	
STORAGE : 1 PER 4000 S.F.	27 SPACES
OFFICE : 2 PER OFFICE	02 SPACES
TOTAL PARKING REQUIRED:	29 SPACES
TOTAL PARKING PROVIDED: 19 SPACES (IPP REQUEST IN PROGRESS)	
ACCESSIBLE SPACES REQUIRED:	01 SPACES
ACCESSIBLE SPACES PROVIDED:	02 SPACES
BICYCLE PARKING PROVIDED:	02 SPACES

September 12, 2023

Project Elevations



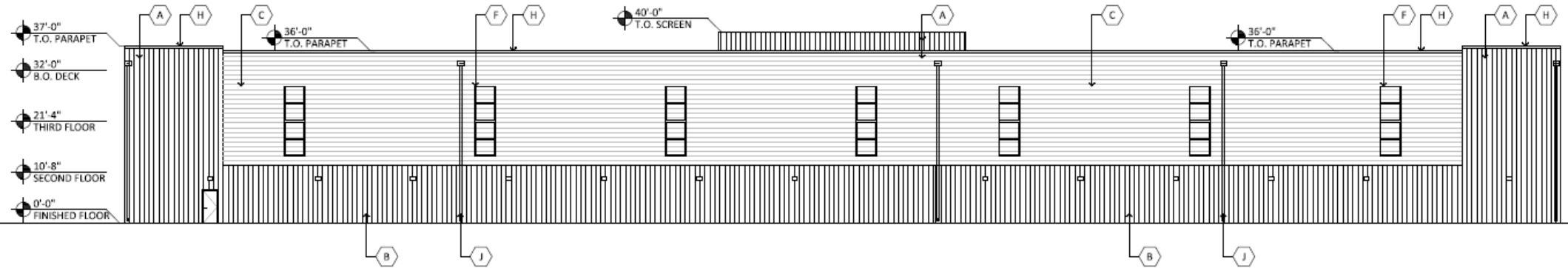
NORTH ELEVATION

SCALE: 1/16"=1'-0"

MATERIALS & COLORS	
* NOT ALL KEYNOTES APPLY TO THIS SHEET *	
A METAL SIDING: MFG: M&C COLOR: POLAR WHITE SPEC: 7.2 PANEL	F MULLIONS: MFG: KAWNEER COLOR: BLACK
B METAL SIDING: MFG: M&C COLOR: SADDLE TAN SPEC: 7.2 PANEL	G STANDING SEAM ROOF: MFG: T&T COLOR: SADDLE TAN SPEC: BATTENLOK HS
C METAL SIDING: MFG: M&C COLOR: KOKO BROWN SPEC: 7.2 PANEL	H METAL CAP FLASHING: MFG: M&C COLOR: KOKO BROWN
D METAL AWNING: MFG: M&C COLOR: KOKO BROWN	J DOWNSPOUT: MFG: PLYGEM MASTIC COLOR: ROYAL BROWN
E PAINTED STORAGE DOORS: MFG: SHERWIN WILLIAMS COLOR: 965 YELLOW	



Project Elevations



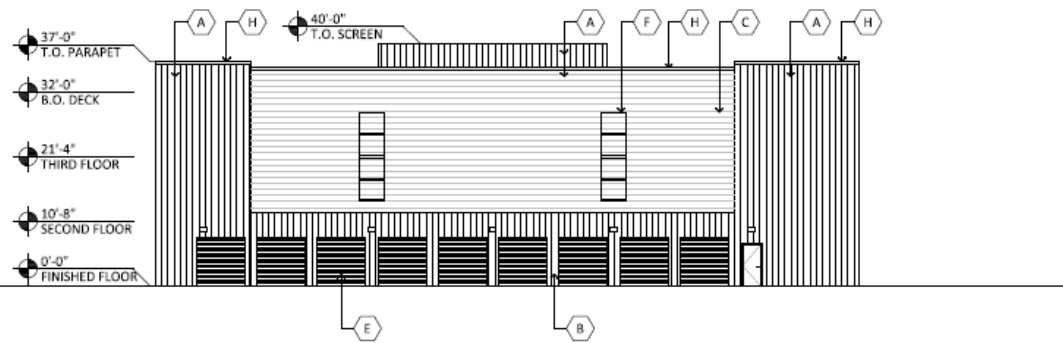
SOUTH ELEVATION

SCALE: 1/16"=1'-0"

MATERIALS & COLORS	
* NOT ALL KEYNOTES APPLY TO THIS SHEET *	
A METAL SIDING: MFG: MCCI COLOR: POLAR WHITE SPEC: 7.2 PANEL	F MULLIONS: MFG: KAWNEER COLOR: BLACK
B METAL SIDING: MFG: MCCI COLOR: SADDLE TAN SPEC: 7.2 PANEL	G STANDING SEAM ROOF: MFG: MCCI COLOR: SADDLE TAN SPEC: BATTENLOK HS
C METAL SIDING: MFG: MCCI COLOR: KOKO BROWN SPEC: 7.2 PANEL	H METAL CAP FLASHING: MFG: MCCI COLOR: KOKO BROWN
D METAL AWNING: MFG: MCCI COLOR: KOKO BROWN	J DOWNSPOUT: MFG: POLYDEM MASTIC COLOR: ROYAL BROWN
E PAINTED STORAGE DOORS: MFG: SHERWIN WILLIAMS COLOR: 385 YELLOW	

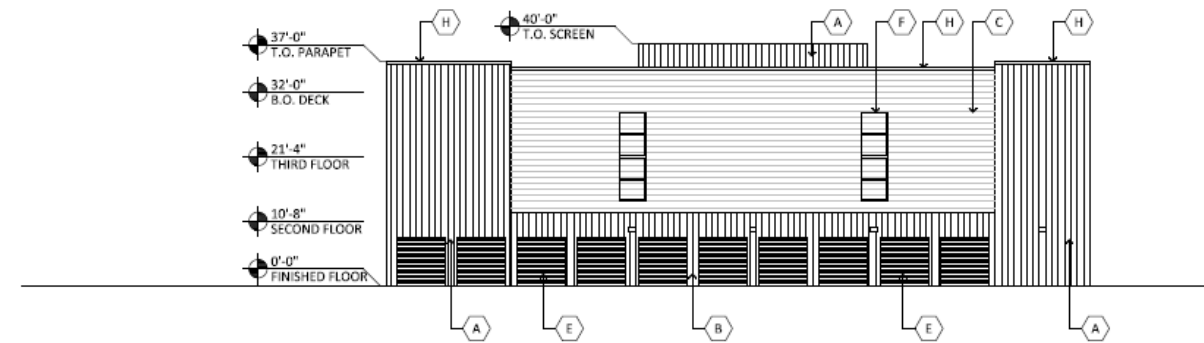


Project Elevations



EAST ELEVATION

SCALE: 1/16"=1'-0"



WEST ELEVATION

SCALE: 1/16"=1'-0"



Individual Parking Plan

- IPP allows for modification to parking space requirements
- Engineer must justify proposed number of spaces
- Reviewed by City PDSD and DTM
- Storage generates very little traffic
- Request is to reduce 9 parking spaces:
 - *Required spaces: 28*
 - *Proposed spaces: 19*



Next Steps – Rezoning Process



Neighborhood Meeting – September 12, 2023



Rezoning Submittal (estimated late September/early October 2023)



Staff Review



Zoning Examiner Public Hearing (estimated Nov/Dec 2023)



Mayor & Council Public Meeting (estimated Dec 2023/Jan 2024)

QUESTIONS?

Rory Juneman | Lazarus & Silvyn, P.C.

RJuneman@LSLawAZ.com | 520.207.4464

Robin Large | Lazarus & Silvyn, P.C.

RLarge@LSLawAZ.com | 520.207.4464

Pantano Storage

Rezoning



November 2023

Project Team

PANTANO STORAGE, LLC

11225 North 28th Drive, Suite B104

Phoenix, Arizona 85080

LAZARUS & SILVYN, PC

5983 East Grant Road, Suite 290

Tucson, Arizona 85712

RKAA ARCHITECTS, INC.

2233 East Thomas Road

Phoenix, Arizona 85016

BOWMAN (CIVIL)

3275 West Ina Road, Suite 220

Tucson, Arizona 85741

PSOMAS (TRAFFIC)

333 East Wetmore Road, Suite 450

Tucson, Arizona 85705

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Appendix A: Traffic Memorandum

I. Introduction & Policy

A. Project Overview

Pantano Storage, LLC (“Pantano”) is developing the 2.33 acres of vacant property near the southeast corner of E. Golf Links Road and S. Pantano Parkway within the eastern portion of Assessor’s Parcel No. (“APN”) 136-13-020A (the “Property”)¹ in the City of Tucson (“City”). (See *Exhibit I.A.1: Regional Context Map*.) Pantano intends to develop a Personal Storage use (the “Project”) on the Property. (See *Exhibit I.A.2: Project Location Map*.) The Property is currently zoned Commercial C-1.

The Property is located along an arterial roadway and surrounded by existing commercial and residential uses, making it an ideal infill location for the Project. The Project’s design will have the look and feel of a modern office or retail building and complement existing and future surrounding uses. Pantano’s innovative self-storage concept provides customers with multiple levels of climate-controlled storage units accessible from both the interior and the exterior of the building. The concept provides a safe and comfortable environment for customers that is simultaneously quiet and innocuous to nearby residents.

Although the existing C-1 zoning permits the proposed Personal Storage use, the Unified Development Code (“UDC”) restricts this use to a maximum building height of 16 feet within C-1 zone. Pantano is seeking to rezone the Property from C-1 to C-2 to achieve the Project’s proposed building height of three stories, or approximately 34 feet.

¹ The Property is shown as Lot 3 on the recently recorded Final Plat for Golf Links Center, Lots 1-3, Sequence Number 20231350504.

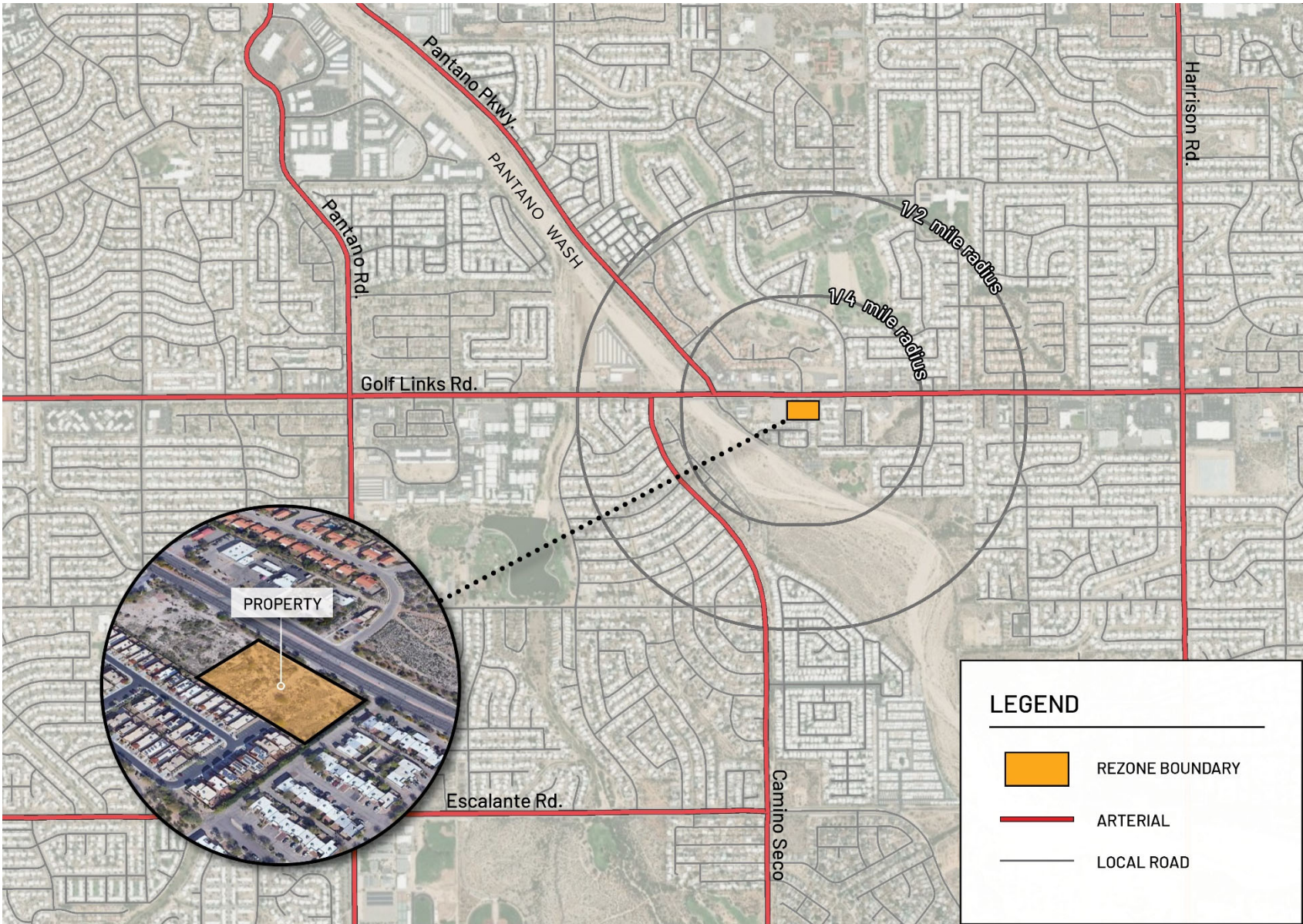


Exhibit I.A.1: Regional Context Map





Exhibit I.A.2: Property Location Map



B. Plan Compliance

The Property is located within the Business Centers Building Block on the Future Growth Scenario Map in Plan Tucson (“PT”), and Subarea Five of the South Pantano Area Plan (“SPAP”). (See *Exhibit I.B: Area Plan Map*.)

1. Plan Tucson

Areas within the PT’s Business Centers Building Block are major commercial or employment districts that act as major drivers of Tucson’s economy. These centers generally contain corporate or multiple-use office, industrial, or retail uses. The following PT policies support this rezoning:

Land Use, Transportation and Urban Design Policies

LT3: Support development opportunities where:

- a. residential, commercial, employment, and recreational uses are located or could be located and integrated;
- b. there is close proximity to transit;
- c. multi-modal transportation choices exist or can be accommodated;
- d. existing or upgraded public facilities and infrastructure provide required levels of service.

LT7: Use the Future Growth Scenario Map:

- a. as a general guide for determining the general location of development opportunities, development patterns, and land use and transportation concepts, while also considering area and site-specific issues
- b. in conjunction with the Guidelines for Development Review for discretionary rezonings, variances, special exceptions, and other land use decisions

Applicable Guidelines for Development Review that Apply to All Locations & Types of Development

- LT28.1.11: Support the retention and expansion of existing business.

Applicable Guidelines for Development Review that Apply to the Business Centers Building Block

- LT28.4.1: Support development in or adjacent to existing regional and community-level activity centers that will:
 - a. Integrate residential and nonresidential land uses and the mix of private and public land uses, including entertainment, recreation, retail, restaurants, offices, libraries, hotels, public meeting facilities, childcare, transit facilities, and other services into mixed-use activity centers;
 - b. Reestablish pedestrian connections in the street network, where they have been lost, adjacent to existing regional and community-level activity centers and neighborhood-scaled activity nodes;
 - c. Support alternate modes of transportation;

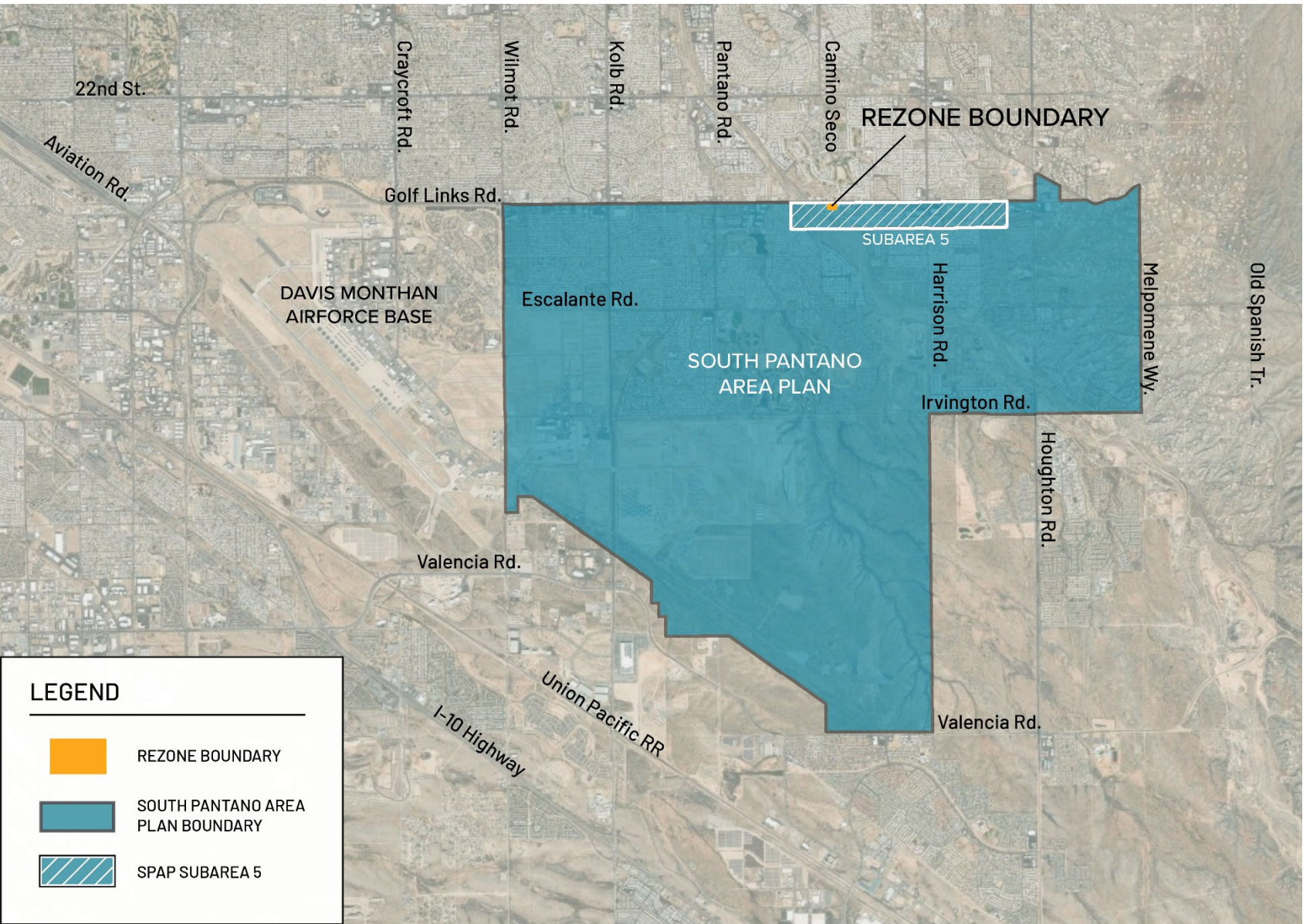
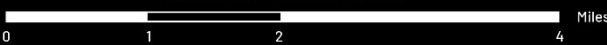


Exhibit I.B: Area Plan Map



DO NOT SCALE MAP - FOR REFERENCE ONLY



- d. Encourage infilling vacant or underutilized parcels adjacent to existing regional and community-level activity centers;
 - e. Provide convenient, comfortable, illuminated, and accessible bus shelters and an attractive pedestrian environment; and
 - f. Support pedestrian and bicycle use by providing clearly marked pathways from adjacent bike routes, public sidewalks, and walkways and separating them from auto traffic access.
- LT28.4.4: Support a mix of commercial, residential, office, governmental, and other service activities at all major employment centers.
 - LT28.4.7: Support infill and redevelopment projects that reflect sensitivity to site and neighborhood conditions and adhere to relevant site and architectural design guidelines.
 - LT28.4.8: Protect established residential neighborhoods by supporting compatible development, which may include other residential, mixed-use infill and appropriate nonresidential uses.

2. South Pantano Area Plan

The Property is located within Subarea Five of the SPAP. The Project complies with the current SPAP land use designation, and the following SPAP Commercial policies support this rezoning:

Commercial Policies

Policy 1: Promote commercial developments at appropriate locations in the area:

- A. Locate commercial uses at the intersection of major streets. Regional, community, and neighborhood level commercial uses should be located at the intersection of arterial streets. Neighborhood and community level commercial uses may also be appropriate at the intersection of arterial and collector streets, if carefully integrated with surrounding uses.
- B. Require appropriate design elements (fences, walls, vegetation, etc.) during the rezoning and development review process when locating commercial uses in proximity to established neighborhoods.
- C. Rezoning to commercial uses should be based on all of the following:
 - i. The site is located on the arterial street;
 - ii. The proposed use is integrated with other adjacent commercial uses;
 - iii. Access is only to collector or arterial streets;
 - iv. All required parking and circulation is provided on site.
- D. Commercial development proposed near drainageways, washes, or rivers must be in compliance with Floodplain regulations.

Policy 2: Discourage the extension of strip commercial as a pattern of development.

Implementation Techniques:

- A. Ensure future commercial developments be:
 - i. Restricted to a limited number of access points;
 - ii. Integrated with adjacent commercial development; and,
 - iii. Designed to be compatible with adjacent residential uses.
- B. Consolidate commercial developments at major street intersections to encourage “one-stop shopping”.

Subarea Five Policies

Proposed Use: While general policies in this Plan recommend proposed commercial and urban density residential be located along major streets or at the intersection of major streets, requests for these types of development in Subarea Five should be reviewed on a case-by-case basis. If these parcels are developed for commercial or high-density residential uses, then special consideration should be given not only to buffering and setbacks but also to transitioning the proposed development to densities equivalent to or compatible to contiguous development. In all cases, development should be transitioned to or integrated with suburban development.

3. Conflicts with Ordinances and Policies

No conflicts with existing ordinances or plan policies have been identified. The Project will comply with all current Unified Development Code (“UDC”) standards.

II. Site Analysis

A. General

As indicated on *Exhibit I.A.2: Property Location Map*, the Property is located near the southeast corner of Golf Links Road and S. Pantano Parkway within a portion of what is currently APN 136-13-020A in the South Harrison neighborhood. The rectangular-shaped Property measures approximately 250 feet by 406 feet, or approximately 2.33 acres, and will be accessible from one point along Golf Links Road. The Property will also share cross-access with the property to the west via a dedicated ingress/egress easement once both projects are built.

B. Zoning & Land Use

Current land uses and zoning designations for this Property and surrounding properties are shown in *Exhibit II.B: Existing Land Use & Zoning Map*.

1. Onsite

The Property is zoned C-1 and is currently vacant and undeveloped. There are no existing buildings, billboards or other structures located on the Property.

2. Surrounding Development

The land uses and zoning of surrounding properties are depicted in *Exhibit II.B: Existing Land Use & Zoning* and presented in *Table II.B.2*.

Table II.B.2: Surrounding Development

	Zoning	Land Use
North	C-1	Golf Links Road, offices, vacant land, gymnastics studio
South	C-1	Single-family residential (detached)
East	O-3	Single-family residential (attached)
West	C-1	Vacant property (planned Big-O Tire shop and Superstar Car Wash), gas station/convenience store

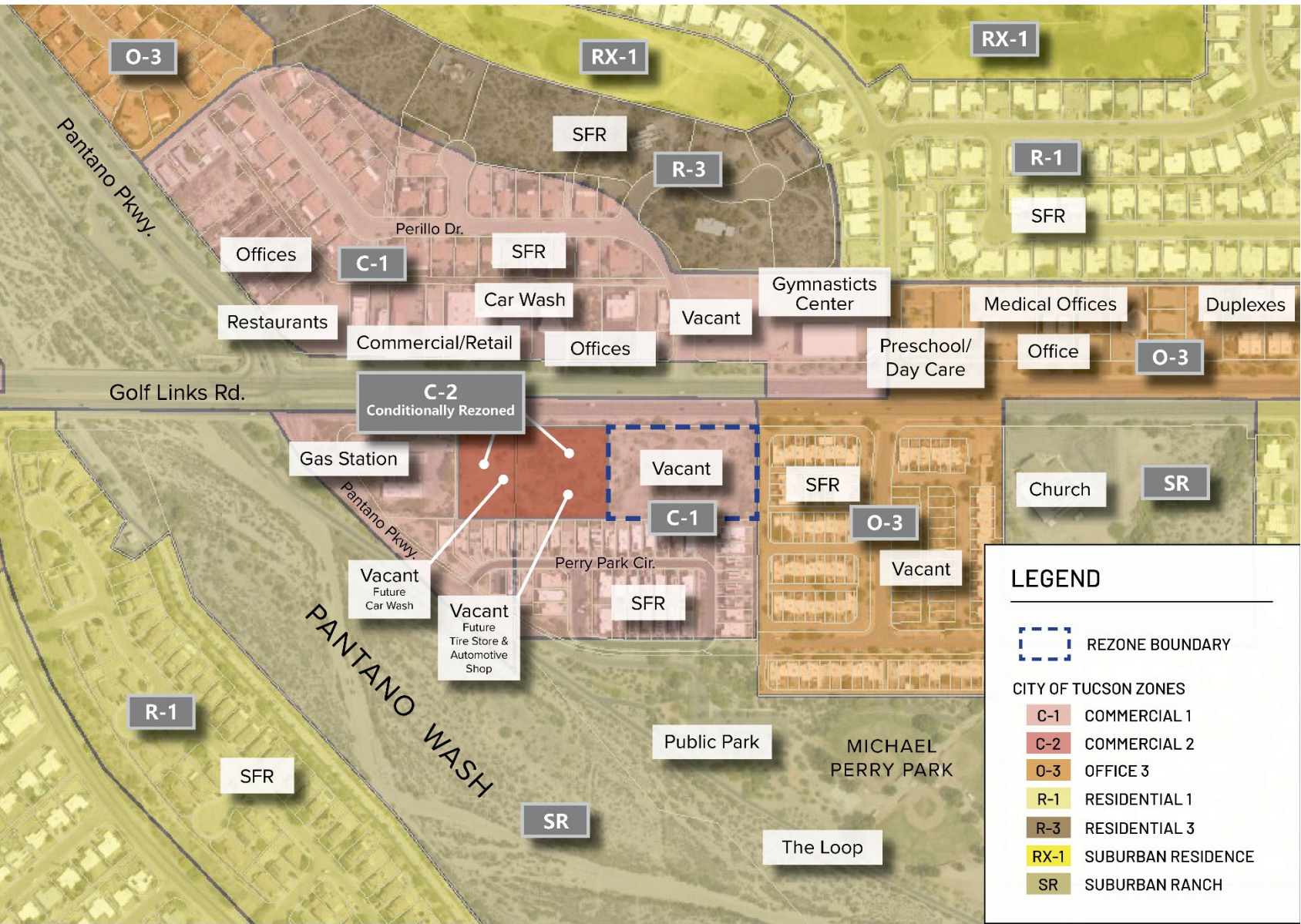


Exhibit II.B: Existing Land Use & Zoning Map



C. Circulation

As shown on *Exhibit II.C: Circulation Map*, the Property is in a developed area, directly adjacent to Golf Links Road and approximately 870 feet from the Golf Links Road and S. Pantano Parkway intersection. A cross-access easement will be established between the Property, the owner of APN 136-140-01L, and the owners of the remaining portion of APN 136-130-20A west of the Property, prior to Project development package approval to consolidate access points for all future development at the current driveway curb cuts along Golf Links Road.

Golf Links Road is a 6-lane divided roadway that expands to 8 lanes (1 right-turn lane and 1 left-turn lane) west of the Property at the intersection of Golf Links Road and S. Pantano Parkway. Golf Links Road is classified as an Arterial Street by the City's Major Streets and Routes ("MS&R") Map and has a planned future right-of-way ("ROW") width of 200-feet. The existing ROW width is 175-feet. An additional 25 feet along the Property's northern boundary will be dedicated to future ROW to meet MS&R width requirements.

There is a sidewalk and one existing curb-cut on Golf Links Road adjacent to the Property. Pima Association of Governments ("PAG") Transportation Data Management System ("TDMS") indicates the daily traffic volume for Golf Links Road was 31,361 vehicles per day in 2022.

Golf Links Road has designated bike routes with striped shoulders. The Property is also located approximately 870 feet east of the Pantano Wash shared-use path, part of The Loop.

Golf Links Road serves as a major bus route with four Sun Tran bus stops located within a quarter mile of the Property. Golf Links has one fixed-route transit service, Route 17, and one express-route transit service, Route 101X, which both serve the Property.

There are no roadway or other improvements affecting the Project included in the City's Capital Improvement Program ("CIP").

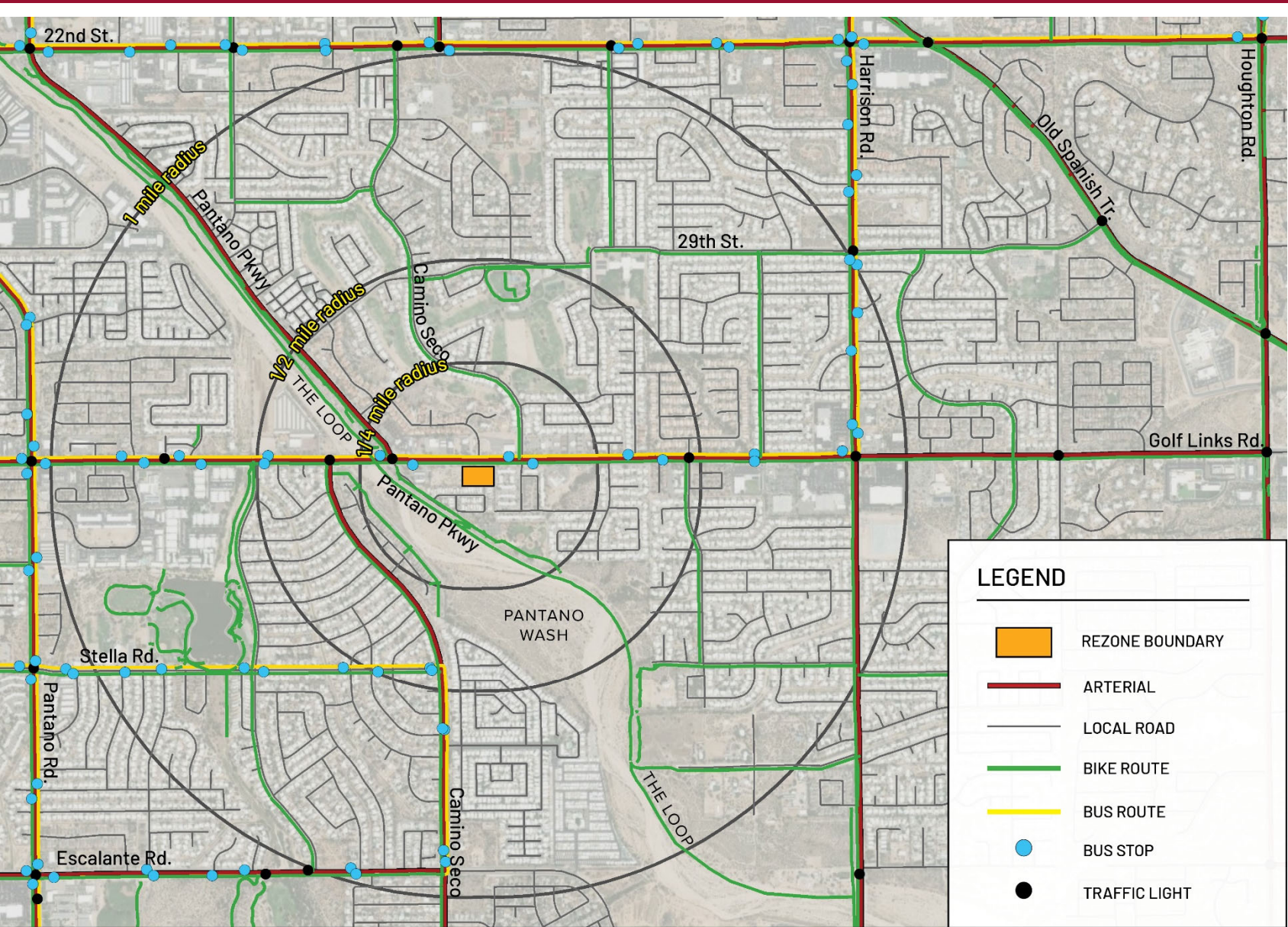


Exhibit II.C: Circulation Map

NORTH

DO NOT SCALE MAP - FOR REFERENCE ONLY

0 0.125 0.25 0.5 Miles



D. Cultural Resources

The Property is vacant and was completely graded. It is not located within any historic district, and it is surrounded by existing development. If any cultural remains are discovered during ground-disturbing activities, the Arizona State Museum (“ASM”) will be consulted.

E. Hydrology & Drainage

The Property has been previously disturbed and is relatively flat, sloping in a westerly direction. The Property does not feature any locally or federally defined floodplains. The Federal Emergency Management Agency (“FEMA”) Flood Insurance Rate Map (“FIRM”) Panel 04019C2308L, effective since June 16, 2011, covers the Property. According to this FIRM Panel, the Property lies within Zone X, meaning it is located outside the limits of the 0.2% annual chance event.

There are no existing onsite, offsite, or jurisdictional drainageways in the immediate vicinity of the Property. There are no Environmental Resource Zone (“ERZ”) or Watercourse Amenities, Safety and Habitat (“WASH”) drainageways on or adjacent to the Property. The closest ERZ drainageways to the Property are segments of both the Rolling Hills Wash (approximately 3,300 feet to the east) and the Atterbury Wash (approximately 2,900 feet to the west). Stormwater generated on the Property does not flow into these drainageways. Stormwater leaving the Property flows into the Pantano Wash, which is not an ERZ or WASH-designated watercourse. Because no jurisdictional watercourses exist on or adjacent to the Property, there are no Erosion Hazard Setback (“EHS”) areas impacting the Property. Erosion hazards from the Pantano Wash are not a factor for the Property, as both banks feature existing soil cement bank protection.

An existing condition 100-year peak discharge of 12 cubic feet per second (“cfs”) was determined for the Property. This peak discharge represents the entire parcel 136-13-020A and is shown leaving the site at the northwest corner. There are no drainage areas upstream of the site conveying stormwater onto the Property. Existing flow conditions are characterized as sheet flows across Property with minimal flow magnitudes and velocities that are neither hazardous nor erosive. This information is reflected in *Exhibit II.E: Existing Hydrology & Drainage*.

F. Schools, Recreational & Cultural Facilities

There are no parks, libraries or schools abutting the Property. The Pantano River Park and Loop are located approximately 870 feet west of the Property. Michael Perry Park is also located approximately 380 feet southeast of the Property. There are no known conflicts between vehicular and bicycle traffic in this area.

All schools, recreational and cultural facilities within one mile of the Property are mapped in *Exhibit II.F: School, Recreation & Cultural Facilities Map*.



Exhibit II.E: Existing Hydrology & Drainage

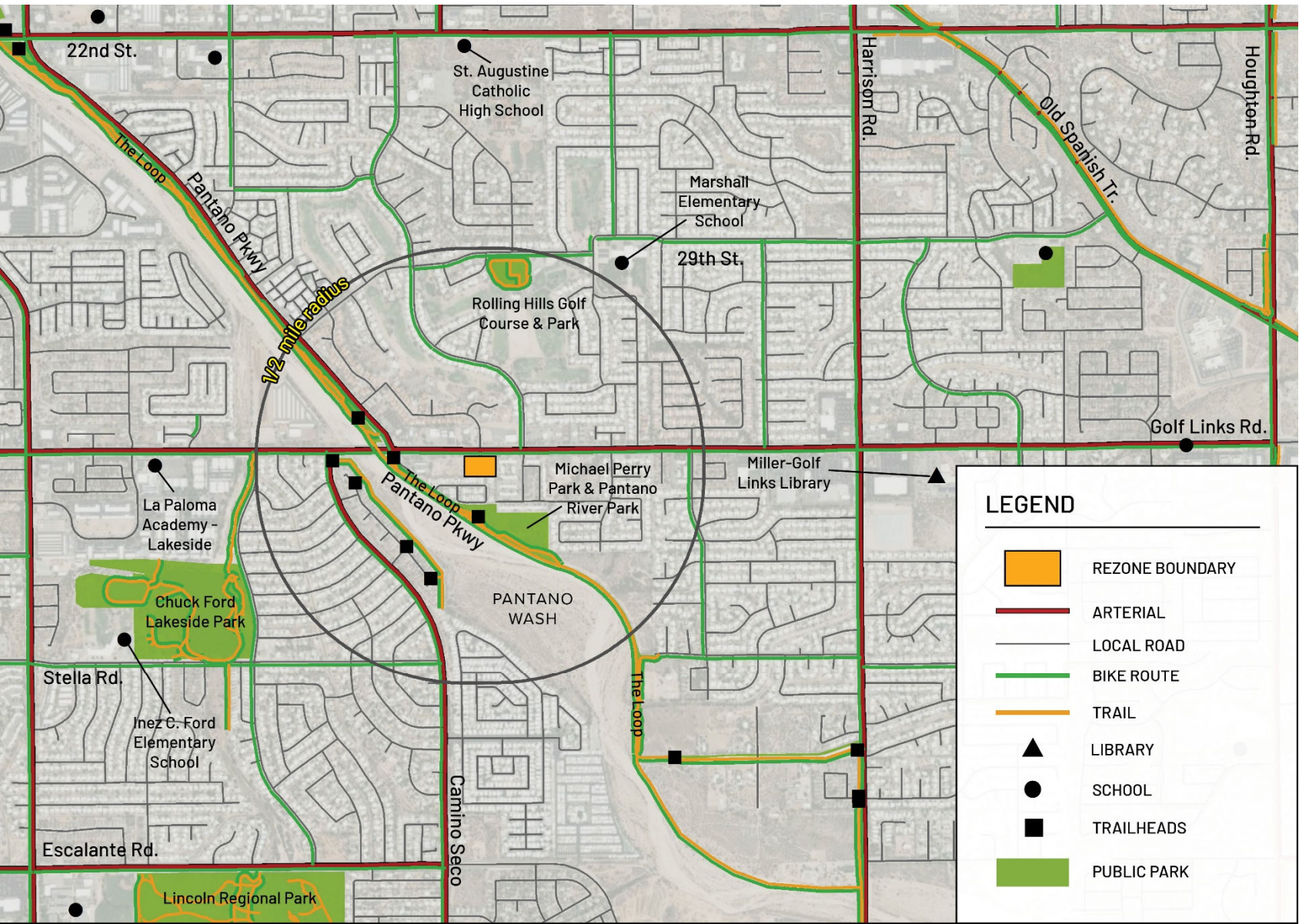


Exhibit II.F: School, Recreation & Cultural Facilities Map

NORTH
 DO NOT SCALE MAP - FOR REFERENCE ONLY
 0 0.125 0.25 0.5 Miles



G. Soils

The entire Property is vacant and undeveloped. The Property was completely graded sometime between 1998 and 2002, several years before the residential subdivision to the south was constructed in 2010. There are no signs of erosion or soil loss on the Property.

There are no known hazardous materials or radon gas on the Property and no evidence of illegal dumping via satellite imagery and site visits. There are no known landfills or hazardous materials storage facilities located within one mile of the Property.

All proposed sewerage will connect to the public sewer collection system. No individual disposal (septic) system is proposed. (See *Exhibit II.G: Soils Map.*)

H. Topography

As shown in *Exhibit II.H: Existing Topography*, the Property slopes from the southeast to the northwest at a relatively consistent slope between 0.5% to 1%. The Property is not subject to the Hillside Development Zone, and there are no slopes equal to or greater than 15% on the Property.

I. Utilities

Surrounding properties are currently served by Pima County Regional Wastewater Reclamation Department ("PCRWRD"), Tucson Water ("TW"), Tucson Electric Power Company ("TEP") and Southwest Gas ("SWG"). As shown in *Exhibits II.I.1-4*, the Property has access to all these services. The existing utility infrastructure along the northern Property boundary will remain in place.

1. Public Sewer

The Property is located adjacent to an existing 12-inch sewer line and manholes per Improvement Plan No. I-72-042. Necessary connections will be defined and established as part of the permitting process. (See *Exhibit II.I.1: PCRWRD Facilities Map.*)

2. Water

The Property is located within the TW service area. There are various public waterlines in Golf Links Road within the Common Area Private Street of the Rivendell Townhouses development to the east and in the Common Area of the Oasis-Golf Links residential development south of the Project. An 8-inch main crossing Golf Links Road and a 6-inch main in the townhome development east of the Property both terminate at the northeast corner of the Property and are available for direct connection. The 36-inch concrete cylinder main in Golf Links Road is a transmission main and not available for direct connection. (See *Exhibit II.I.2: TW Facilities Map.*)



USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

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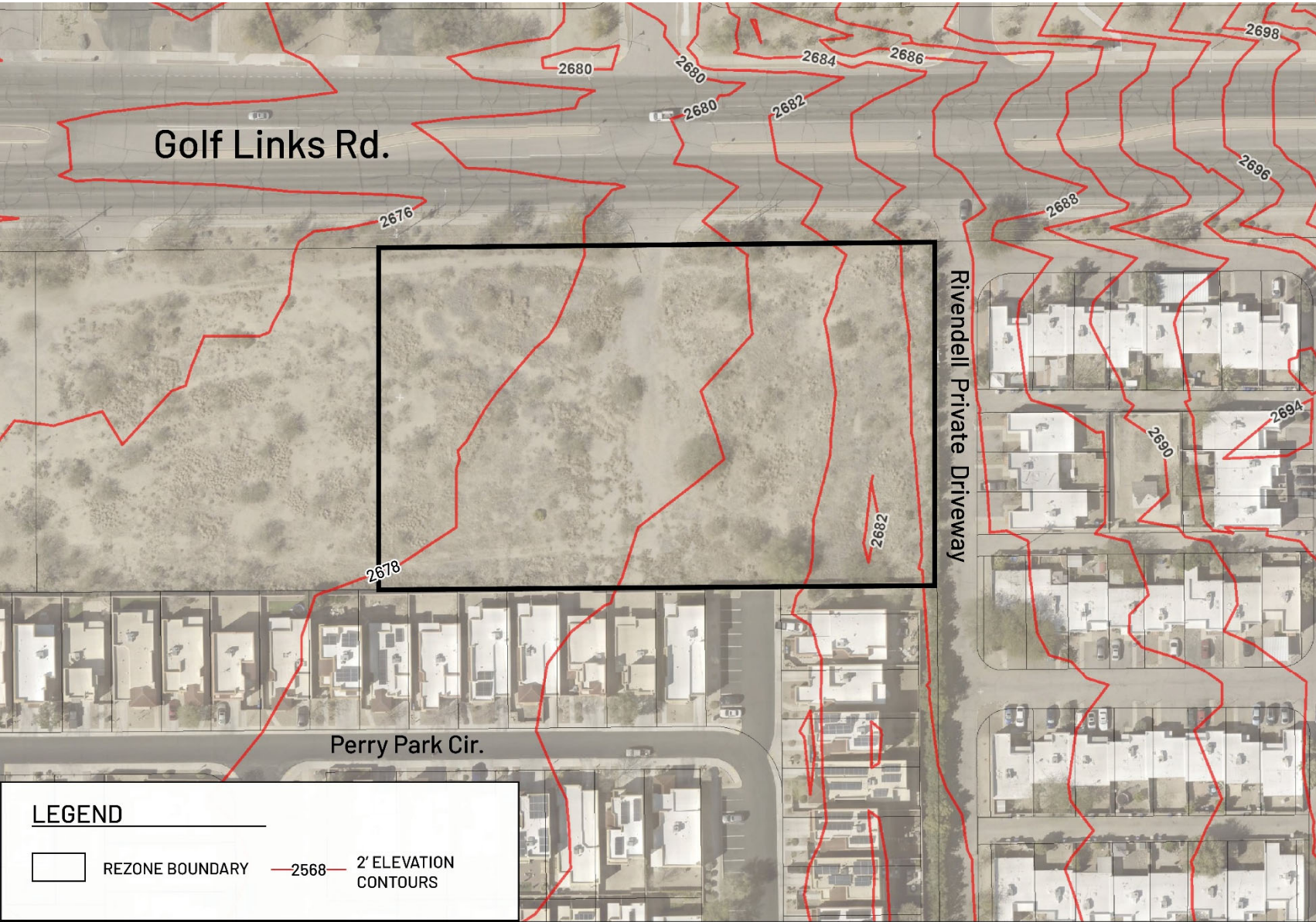


Exhibit II.H: Existing Topography

NORTH
DO NOT SCALE MAP - FOR REFERENCE ONLY
0 25 50 100 Feet





Exhibit II.I.1: PCRWRD Facilities Map

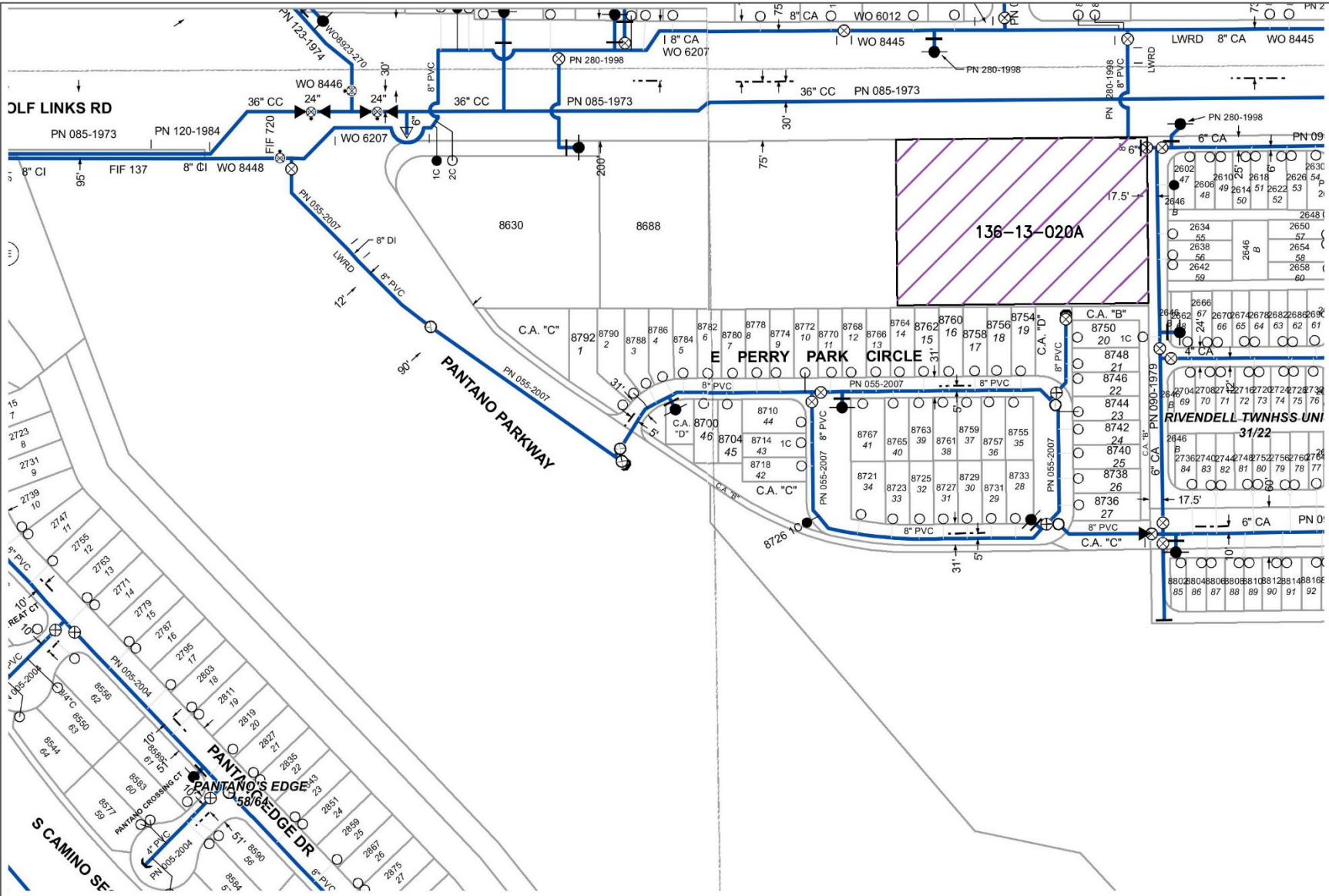


Exhibit II.I.2: TW Facilities Map



3. Electric

An existing TEP overhead primary power line is located along the northern portion of the Property and underground primary is located near the northeast corner of the Property within the Golf Links ROW. (See *Exhibit II.1.3: TEP Facilities Map*.)

4. Gas

There is an existing 4-inch steel gas main line, maintained by SWG, in the northern half (westbound lanes) of Golf Links Road that could potentially serve the Property. (See *Exhibit II.1.4: SWG Facilities Map*.)

J. Vegetation

The Property was completely graded approximately 20 years ago and is a vacant dirt lot containing volunteer trees. The Property does not contain any natural desert vegetation. There is no existing landscaping on the Property.

There is an existing 6-foot cinder-block wall and rip-rap incline along the southern Property boundary that provides screening to the adjacent single-family residences.

K. Views

Views of and from the Property in all directions are characterized by low- to medium-intensity residential and commercial development, including single-family residences to the south and east, vacant property and a gas station/convenience store to the west and numerous office and commercial uses across Golf Links Road to the north.

Small pockets of distant views of the Catalina Mountains to the northeast, the Rincon Mountains to the east and the Santa Rita Mountains to the south are visible from the Property; however, the Property and surrounding uses are located at a topographic low-point relative to surrounding areas.

Photographs of the Property and adjacent uses from various vantagepoints are provided below in *Exhibit II.K: Viewsheds*.

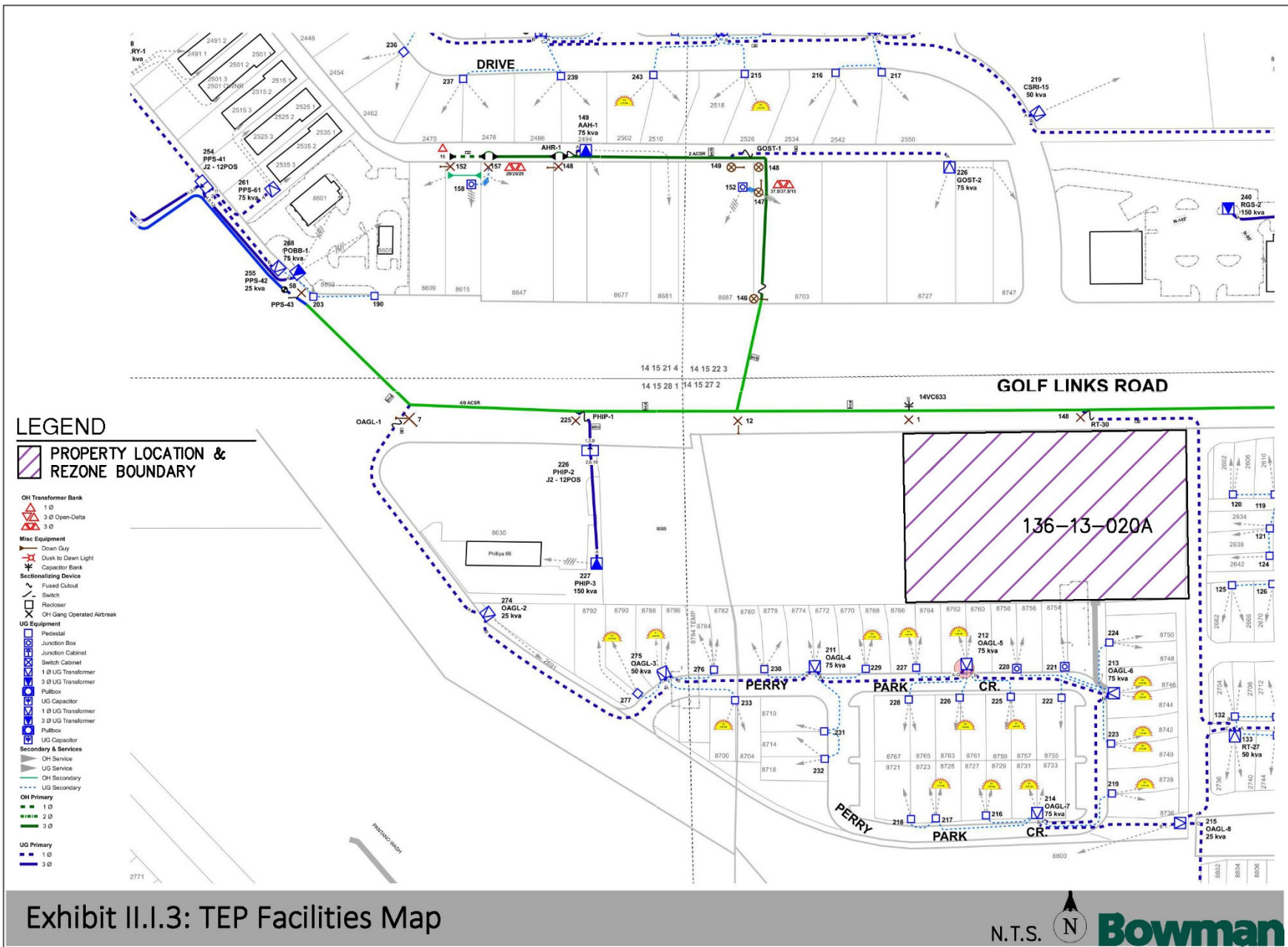


Exhibit II.1.3: TEP Facilities Map

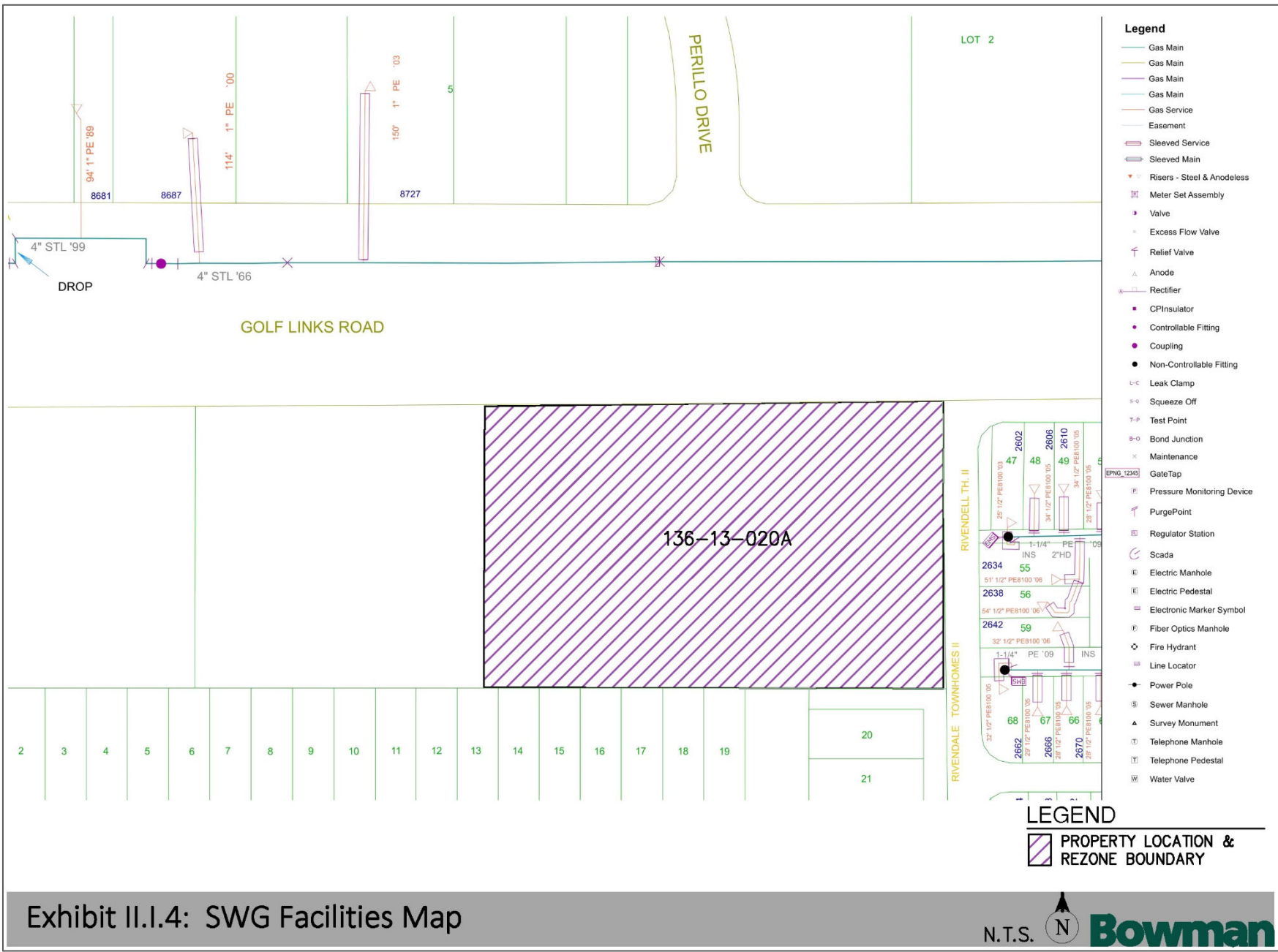


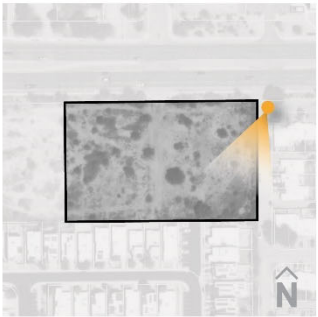
Exhibit II.I.4: SWG Facilities Map



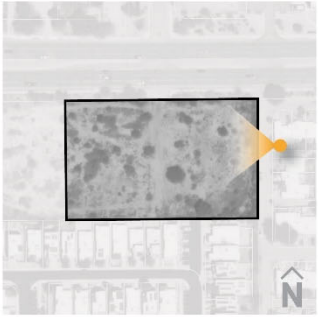
Exhibit II.K: Viewsheds



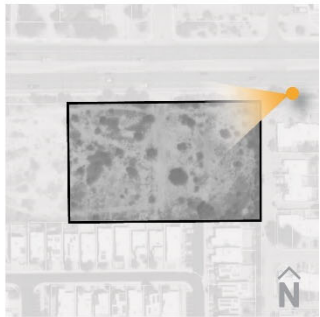
Looking south at eastern Property boundary from Rivendell townhomes east of Property.



Looking west at eastern Property boundary from Rivendell townhomes east of Property.

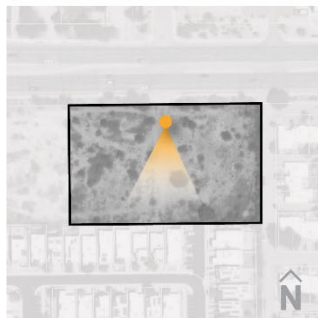


Looking west at northeast corner of Property from entrance to Rivendell townhomes off Golf Links Road.

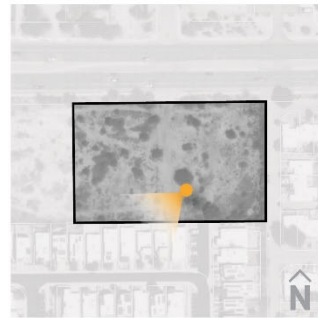




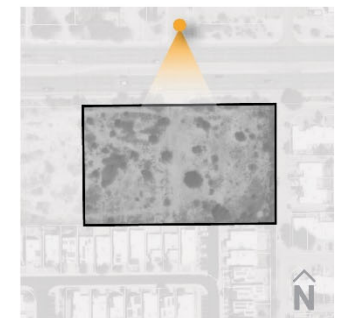
Looking south across Property from entrance to Property off Golf Links Road.



Looking east at wall and rip-rap incline south of Property.

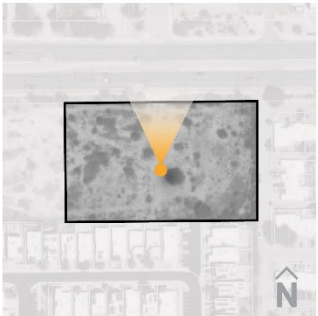


Looking south at Property from north side of Golf Links Road.

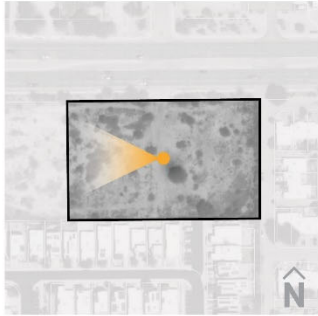




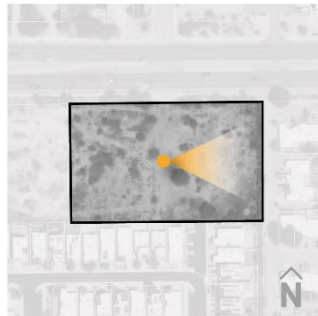
Looking north across Property towards Golf Links Road from center of Property.



Looking west across Property from center of Property.

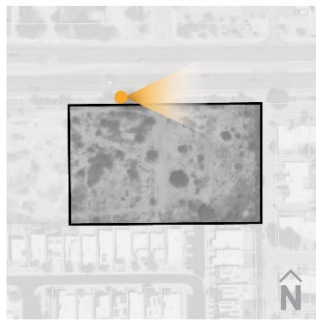


Looking east across Property from center of Property.

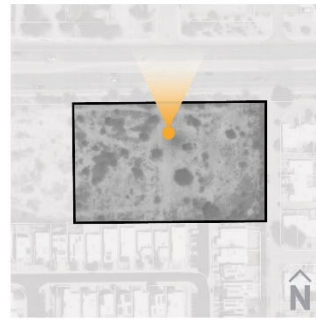




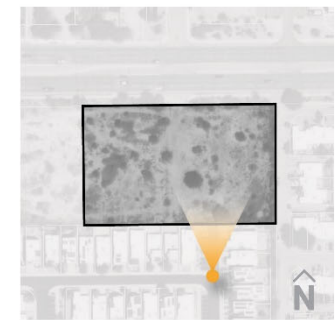
Looking east at northern Property boundary from entrance to Property off Golf Links Road.



Looking north at existing entrance to Property off Golf Links Road.



Looking north from Mesquites on Pantano neighborhood at southern portion of Property.



III. Plan Proposal

A. Building Layout

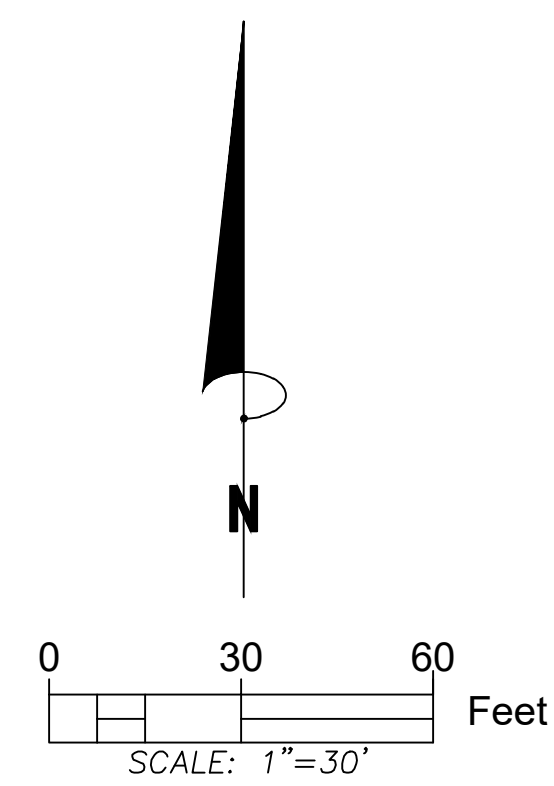
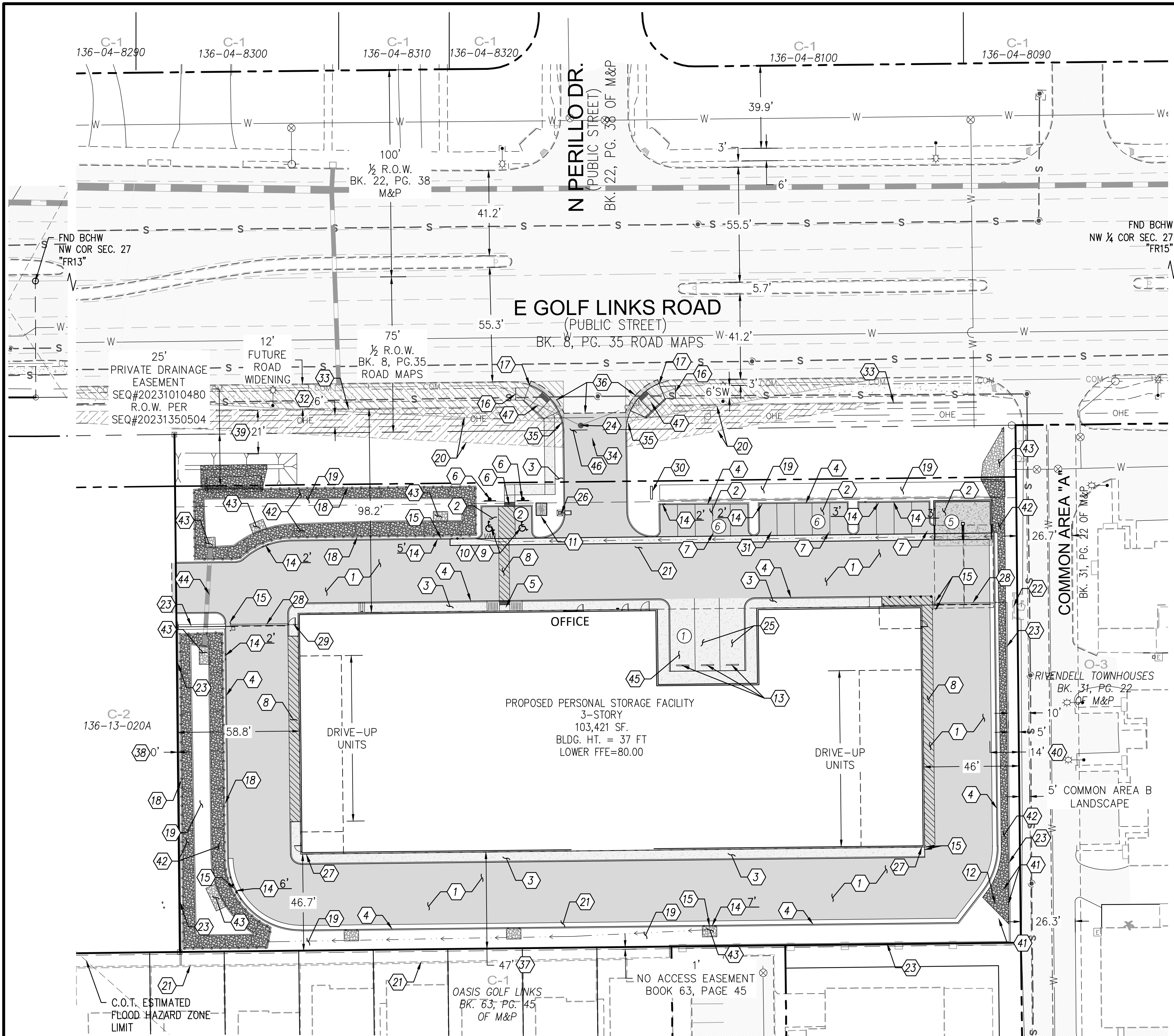
As illustrated on the Preliminary Development Plan (“PDP”), *Exhibit III.A*, the Project proposes the development of a personal storage facility on the Property with a building height of 34 feet at top of flat roof, parapets at 37 feet in height and centrally located rooftop equipment screens at 40 feet in height. The Project will have one primary access point off Golf Links Road to the north and a secondary access point from the west provided by easement upon future development of the adjacent property. Although the existing C-1 zoning permits the proposed personal storage use, the UDC restricts this use to a maximum building height of 16 feet. Pantano is seeking to rezone the Property from C-1 to C-2 to achieve the Project’s proposed building height of approximately 34 feet.

The Project will provide several entrances into the building. Primary access points will be from the north via the main building entrance, management office or covered loading zone on the north side of the building. Secondary access will be provided via entrances at the northwest, southwest and northeast corners of the facility. Customers will also have access to non-climate controlled drive-up units along the west and east sides of the building. Access to all units will be controlled, with the interior units being regulated by key-code or similar controls. Drive-up units will be restricted by security gates located at the northwest and northeast sides of the facility, also by key-code controls. Access will be limited to certain hours of operation, likely 6:00am to 10:00pm seven days a week. The 1,144 square-foot management office will serve both existing and potential customers and contain a small retail component for customers (boxes, moving equipment, etc.). Customers will be able to use flatbed handcarts or other moving equipment provided by the storage facility. Sidewalks adjacent to the parking lot and drive aisles will be five feet wide and provide ample space to walk and move. Customers will enter and exit the building via one of several entrances at the north, west or east sides of the building and navigate through the building’s indoor, climate-controlled hallways to and from their individual units.

As indicated on the PDP, the Project provides vehicular access to the Property from Golf Links Road and the adjacent property only. There will be no vehicular access from the residential areas to the east or south. The Project will provide a parking lot north of the building and a continuous looped driveway around the entire building perimeter with two-way traffic permitted throughout the development. The west, south and east driveways will be gate-restricted and accessible only by a security key code or card. All two-way parking area access lanes (“PAALs”) will be a minimum of 30 feet wide.

The Project’s trash enclosure is located at the northeast corner of the Property, away from the adjacent residential areas. Trash removal trucks will enter the Property, drive around the west and south sides of the building to the trash enclosure and exit the Property from the east side of the Property.

The Project will also have security cameras monitoring the Property 24 hours a day, including accessible areas within the building (not including individual units).



- SITE KEYNOTES**
- 1 HEAVY DUTY ASPHALT CONCRETE PAVEMENT.
 - 2 LIGHT DUTY ASPHALT CONCRETE PAVEMENT.
 - 3 CONCRETE SIDEWALK PER PAG SD 200.
 - 4 CONCRETE CURB, 6" REVEAL PER PAG STD #209 TYPE (I).
 - 5 CONCRETE CURB ACCESS RAMP.
 - 6 DETECTABLE WARNING STRIP PER PAG SD 207 SHEET 10.
 - 7 4" WHITE SOLID LINE PAVEMENT MARKING.
 - 8 PEDESTRIAN PATH STRIPPING
 - 9 PAVEMENT MARKING, HANDICAP SYMBOL.
 - 10 ADA PARKING STALL.
 - 11 SHORT TERM BICYCLE PARKING.
 - 12 TRASH DOUBLE CONTAINER ENCLOSURE PER COT TSM 8-01.9.0 FIG. 3A.
 - 13 CONCRETE WHEEL STOP.
 - 14 CURB OPENING.
 - 15 POST BOLLARD, PER PAG SD 106, TYPE "A".
 - 16 CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG SD 203.
 - 17 CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG SD 211.
 - 18 SAFETY HANDRAIL PER PAG 105.
 - 19 WATER HARVESTING INFILTRATION AREA, DEPRESS AREA 9 INCHES MAXIMUM. SEE LANDSCAPE PLANS.
 - 20 CURRENT AND FUTURE SIGHT VISIBILITY TRIANGLE PER TSM 10-01.5.3. 325' NEAR, 125' FAR (PAAL/ARTERIAL).
 - 21 EXISTING 6 FT HIGH CMU WALL TO REMAIN
 - 22 EXISTING CMU WALL AND MAILBOX TO REMAIN.
 - 23 6 FT HIGH CMU WALL, SEE DETAIL B ON THIS SHEET. STRUCTURAL DESIGN BY OTHERS.
 - 24 EXISTING COMMUNICATIONS MANHOLE. ADJUST RIM TO PROPOSED PAVEMENT ELEVATION.
 - 25 12'x35' TYPE "A" LOADING AREA.
 - 26 NEW LIGHT POLE, DESIGN BY OTHERS.
 - 27 ROOF DOWNSPOUT. SEE ARCH. PLANS FOR DETAILS.
 - 28 VEHICULAR GATE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 29 PEDESTRIAN GATE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 30 MONUMENT SIGN, SEE SEPARATE PLANS BY OTHERS.
 - 31 ACCESS CARD READER, DESIGN BY OTHERS.
 - 32 FUTURE CONCRETE SIDEWALK PER C.O.T. MS&R PLAN.
 - 33 FUTURE CONCRETE VERTICAL CURB PER C.O.T. MS&R PLAN.
 - 34 EXISTING CONCRETE HEADER TO BE REMOVED.
 - 35 EXISTING CONCRETE CURB TO BE REMOVED.
 - 36 SAWCUT 1 FT MINIMUM INTO EXISTING PAVEMENT TO PROVIDE A UNIFORM CONSTRUCTION JOINT. TRIM, TACK AND JOIN NEW PAVEMENT TO EXISTING PAVEMENT.
 - 37 BACK BUILDING SETBACK NON-RES USE TO NON RES ZONE: 0 FT.
 - 38 SIDE BUILDING SETBACK. NON-RES TO NON-RES: 0 FT.
 - 39 MAJOR STREET BUILDING SETBACK. 10 FT MINIMUM REQUIRED FROM PROPERTY LINE.
 - 40 LOCAL STREET BUILDING SETBACK: 20 FT FROM PROPERTY LINE.
 - 41 RETAINING WALL. STRUCTURAL DESIGN AND SEPARATE PERMIT BY G.C..
 - 42 GROUTED ROCK RIPRAP, D₅₀=6", WITH NO VISIBLE MORTAR, EMBEDDED 3/4" INTO 6" THICK CONCRETE WITH 6"x6"-W2.1xW2.1 WWF.
 - 43 HAND PLACED ROCK RIPRAP, D₅₀=6", T=12" OVER MIRAFI 180 FABRIC.
 - 44 HANDICAP SIGN.
 - 44 24" DIA. HDPE BASIN EQUALIZER PIPE.
 - 45 CONCRETE PAVEMENT.
 - 46 EXISTING ASPHALT CONCRETE PAVEMENT TO BE REMOVED.
 - 47 EXISTING CURB ACCESS RAMP TO BE REMOVED AND REPLACED PER DETAIL.

OWNER/DEVELOPER

VALHALLA UNITED PANTANO LLC
 P.O. BOX 41998
 PHOENIX, AZ 85029
 PHONE: 480.282.2228
 CONTACT: STEVE KOHNER
 e-mail: steve@globaltriad.com

ENGINEER

BOWMAN CONSULTING
 3275 W. INA RD. SUITE 220
 TUCSON, AZ 85741
 PHONE: 520.771.1545
 CONTACT: KEN PERRY
 e-mail: kperry@bowman.com

LANDSCAPE ARCHITECT

BOWMAN CONSULTING
 3275 W. INA RD. SUITE 220
 TUCSON, AZ 85741
 PHONE: 520.463.3200
 CONTACT: TIM JOHNSON
 e-mail: tjohnson@bowman.com

ARCHITECT

RKAA ARCHITECTS, INC.
 2233 E THOMAS ROAD
 PHOENIX, AZ 85016
 CONTACT: NEIL FEASER
 PHONE: 602-955-3900
 e-mail: nfeaserl@kaa.com

GENERAL NOTES

1. EXISTING ZONING IS "C-1" TO BE REZONED TO "C-2" COMMERCIAL ZONE.
2. THE GROSS AREA IS 2.33 ACRES OR 101,564 SF.
3. THE SUBJECT LOT IS ASSESSORS PARCEL NO. 136-13-020A.
4. EXISTING USE IS "VACANT LAND". PROPOSED USE GROUP IS "STORAGE"; LAND USE CLASS/TYPE: "PERSONAL STORAGE" AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.9.10.C.3 & 4.9.10.C.6 PER TABLE 4.8.6.
5. THE AREA OF DISTURBANCE FOR THIS PROJECT IS 2.33 ACRES OR 101,564 SF.
6. REQUIRED MINIMUM LOT AREA: 0 SF.
7. THE MAXIMUM NON RESIDENTIAL PERMITTED LOT COVERAGE IS: N/A.
11. MAXIMUM BUILDING HEIGHT ALLOWED PER UDC TABLE 6.3-4.A IS 40. PROPOSED BUILDING HEIGHT IS 37 FT.
13. REQUIRED PERIMETER SETBACK PER TABLE 6.3-4.A; NON-RESIDENTIAL TO NON RESIDENTIAL ZONE: 0'.
14. PER 6.4.5.C.2-a: STREET SETBACK FROM GOLF LINKS ROAD (ARTERIAL) - 10 FT FROM FUTURE ROW.
15. PER 6.4.5.C.2-b: STREET SETBACK FROM RIVENDELL TOWNHOUSES COMMON AREA "A" PRIVATE STREET (LOCAL STREET) - 20 FT FROM PROPERTY LINE.
16. PROPOSED GROSS FLOOR AREA IS 103,421 SF.
17. ALL GROUND MECHANICAL EQUIPMENT AND REFUSE AREA WILL BE SCREENED.

PARKING CALCULATIONS

BUILDING GROSS SQUARE FOOTAGE:
 TABLE 7.4.4-1 MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED: (PERSONAL STORAGE)
 VEHICLE PARKING
 1 SPACE FOR EACH 4,000 SF OF GROSS FLOOR AREA.
 102,283 SF / 4,000 SF = 26 SPACES REQUIRED.
 2 SPACES REQUIRED FOR ANY ASSOCIATED OFFICE AREA.
 TOTAL 28 SPACES REQUIRED
 20 PARKING SPACES PROVIDED
 AN IPP IS REQUIRED AND WILL BE REQUESTED.
 BICYCLE PARKING
 SHORT TERM PARKING
 PER TABLE 7.4.8-1: 2 SPACES.
 2 SPACES PROVIDED.
 LONG TERM PARKING
 PER TABLE 7.4.8-1: 0 REQUIRED
 0 SPACES PROVIDED.
 HANDICAPPED PARKING
 1 H.C. SPACE + 1 PER EVERY 25 VEHICULAR PARKING SPACE
 2 ACCESSIBLE PARKING SPACES PROVIDED
 LOADING SPACES
 PER 7.5.5-A: 2 TYPE A (12'x35') LOADING SPACES REQUIRED.
 3 TYPE A LOADING SPACES PROVIDED (1 IS COUNTED AS PARKING SPACE).



Bowman Consulting Group Ltd
 3275 W. Ina Road, Suite 220
 Tucson, Arizona 85741
 Phone: (520) 463-3200
 www.bowman.com
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PRELIMINARY DEVELOPMENT PLAN
GOLF LINKS STORAGE
8750 E. GOLF LINKS ROAD
 A PORTION OF THE NW 1/4 OF SECTION 27,
 T-14-S, R-15-E, G-&S-R.M.,
 TUCSON, PINA COUNTY, AZ
 PARCEL No. 136-13-020A

051363-01-001					
PROJECT NUMBER					
PLAN STATUS					
DATE	DESCRIPTION				
GV	GV KP				
DESIGN	DRAWN CHKD				
SCALE	H: 1" = 30'				
	V: N/A				
JOB No. 051363-01-001					
DATE: 10/05/23					
NO.	DATE	REVISION	BY	CH	APPR

EXHIBIT III.A: PRELIMINARY DEVELOPMENT PLAN
 ADMIN. ADDRESS 8750 E. GOLF LINKS ROAD
 TUCSON, AZ 85730
 TD-DEV-0323-00183

B. Design Compatibility

1. Privacy & Compatibility with Surroundings

This is a vacant infill Property surrounded by a variety of uses. The Project will serve as an appropriate transitional use between the single-family residences to the south and east (the Mesquites on Pantano and Rivendell neighborhoods, respectively) and Golf Links Road, a high-traffic arterial roadway, on the north. The proposed Project is an appropriate use of Property within this developed area and given the low-intensity nature of the use (e.g., low traffic counts, minimal parking required), the Project is highly compatible with surrounding office, commercial and residential uses.

The Property is surrounded by commercial and residential land uses. Building-to-building separation between the Project and homes in the Mesquites on Pantano subdivision (the closest residential uses) ranges from approximately 55 feet to 75 feet. Building-to-building separation between the Project and townhomes in the Rivendell subdivision range from approximately 85 feet to 105 feet. The Project will not have windows along the east, west or south sides to ensure complete privacy for adjacent residents and properties.

All security lighting provided in parking, loading or driveway areas will be pointed downwards and away from adjacent residential properties. All security cameras monitoring the Property 24 hours a day will be pointed away from adjacent properties to ensure privacy for neighboring residents.

The Project is expected to generate little noise, light, or traffic. The anticipated traffic counts for the proposed personal storage use (152 daily trips) are minimal and will have almost no impact on surrounding residential properties. This includes an estimated nine trips in the AM peak hour and 16 trips in the PM peak hour. (See *Appendix A: Traffic Memorandum.*)

Access to the Project is limited to a driveway on Golf Links Road and via a shared driveway with the adjacent property to the west. Customer entrances will be well-defined with proper lighting and directional signage. Oakenshield Way, a private street providing access to the Rivendell townhomes east of the Property, will not be used for Project access or circulation and will not experience any increase in traffic due to the development of the Project. The private driveway and guest parking area directly south of the Property is owned and maintained by the Mesquites on Pantano Homeowners' Association ("HOA") and will not be used for Project access or circulation.

The Project will prioritize safety to ensure compatibility with the neighborhood. Development of this Property will discourage loitering, improve safety by providing additional eyes on the street and reduce the amount of trash and debris that currently accumulates on the vacant lot. Customers will have controlled and secure access to their units between the hours of 6:00am and 10:00pm (may vary slightly), and the Property will be monitored 24 hours a day. Slight adjustment to hours of operation may be needed after opening to respond to local market demand.

Landscaping will be provided along Golf Links Road to enhance the views of the Property from the ROW, as well as to screen the vehicular use/parking area between the roadway and the building. Existing landscaping within the ROW north of the building is intended to remain in place.

2. Energy Conservation/Compatibility with Climate & Surrounding Area

The proposed construction materials are typical for commercial development within the Tucson area. The building's exterior will feature colors compatible with the Property's desert context, and the façade will be broken up using different materials, colors, patterns and projections/recessions. The Project's white-coated roof will reflect heat and sunlight and canopy trees will be planted within the Project's parking and landscape border areas to mitigate heat island effects. Any walls and doors visible from the adjacent streets and residential properties will be surfaced with non-reflective material, and a graffiti-resistant clear coat or paint will be used on the building's exterior.

The Project will incorporate passive water harvesting techniques into its landscape design in accordance with the City's Commercial Water Harvesting requirements. These techniques include directing runoff to landscaped areas along the south and west and the use of swales to irrigate on-site vegetation on the west and north.

3. Building Setbacks

The Property is adjacent to Golf Links Road to the north, a designated Gateway Arterial per the City's MS&R Plan. The UDC requires a minimum 10-foot setback from an MS&R street. The Project proposes a street setback of approximately 80 feet from the northern property line. (Note: The "Golf Links Center, Lots 1-3" Plat, Seq. No. 20231350504, recorded on May 15, 2023, dedicated 25 ft. adjacent to the Property's northern boundary to satisfy the Golf Links Rd. full MS&R width.).

The Project is adjacent to existing single-family residential uses to the south and east and a planned commercial use to the west (a Big-O Tires Service Center). The residences within the Mesquites on Pantano subdivision are, like the Property, currently zoned C-1, and the residences within the Rivendell subdivision east of the Property are zoned O-3 (both considered nonresidential zones). The UDC does not require minimum building setbacks adjacent to nonresidential zones. The personal storage facility will be set back approximately 50 feet and 75 feet from adjacent residential property lines to the south and east, respectively, and approximately 60 feet from the adjacent commercial property conditionally zoned C-2 to the west.

See *Exhibit III.A: Preliminary Development Plan*.

4. Building Height & Density

The Project will be three stories and measure approximately 34 feet in height at top of flat roof, approximately six feet less than the maximum building height of 40 feet permitted in the requested C-2 zone. The Project will provide three-foot parapets walls measuring approximately 37 feet in height around the entire building, as well as rooftop equipment screens near the center of the building at approximately 40 feet in height, as permitted by the UDC.

The Property is mostly surrounded by one- and two-story commercial and residential buildings with varying uses and intensities. The Property is located on an arterial roadway, and with the Project's low traffic generation, its intensity will be *less than* those of surrounding uses, making it compatible with surrounding development and neighborhoods.

5. Street Improvements

The anticipated traffic counts for the proposed personal storage facility are expected to have minimal impact on the surrounding roadway network. A trip generation analysis prepared by PSOMAS estimates there will be 9 trips in the AM peak hour and 16 trips in the PM peak hour, with a total of 152 daily trips. (See *Appendix A: Traffic Memorandum.*)

No street improvements are proposed for the development of this Project. The Project will utilize the existing driveway location along Golf Links Road that currently exists near the middle of the northern Property boundary. Sidewalks will be installed as part of the Project connecting to existing sidewalks located in the public ROW.

6. Defensible Space Techniques

The Project will provide defensible spaces to mitigate potential criminal activity on the Property. The Project will provide security lighting to ensure safety in parking areas and visibility for security cameras that will be monitoring the Property 24 hours a day. The office will be open during typical business hours, and access to individual storage units will be prohibited between 10:00pm and 6:00am. Landscaping along all Property boundaries will be designed to deter hiding places. The Project will comply with Safe By Design principles, and Pantano is committed to working with the Tucson Police Department ("TPD") to ensure safe operation of the Project.

Access to the office and portions of the parking areas along the north side of the building will be open and accessible to the public. The west, south and east sides of the Project will be gated to restrict access to staff, customers, and authorized personnel only for security purposes. Only staff and customers will have access to the interior of the building and elevators for security purposes.

7. View Corridors

This Project is located on an infill property near similarly sized existing and planned commercial developments, as demonstrated in the site photos provided in Section II.K. The Project will have some impact on existing viewsheds given the heights and locations of existing buildings in the surrounding area. However, due to the unique topography of the area, existing northern and eastern viewsheds of the Catalina and Rincon Mountains from south of the Project are already blocked by areas much higher in elevation than the Property. The average elevation of the Property (approximately 2,680 feet) is anywhere from 38 to 52 feet *lower* than the elevation of the Rolling Hills Golf Course and subdivisions to the north (approximately 2,718 feet to 2,732 feet in elevation). Thus, no significant scenic views will be impacted by the Project. (See *Exhibit III.B.7: Existing Topography and Viewsheds.*)

8. Grading/Elevation Changes

The Property, along with parcel APN 136-14-001L and the remaining portion of APN 136-14-020A to the west and the Mesquites on Pantano subdivision to the south, were completely cleared and graded sometime between 1998 and 2002. The Property will need to be further graded to accommodate the development of the Project. The proposed grading will have minimal changes to existing site elevation and retain most of the existing drainage patterns on the Property. The only substantive change is that stormwater will run from the buildings and paved drive and parking areas to landscaped water harvesting areas and pervious areas located near the northwest corner of the site. (See *Exhibit III.B.8: Preliminary Grading Plan.*)

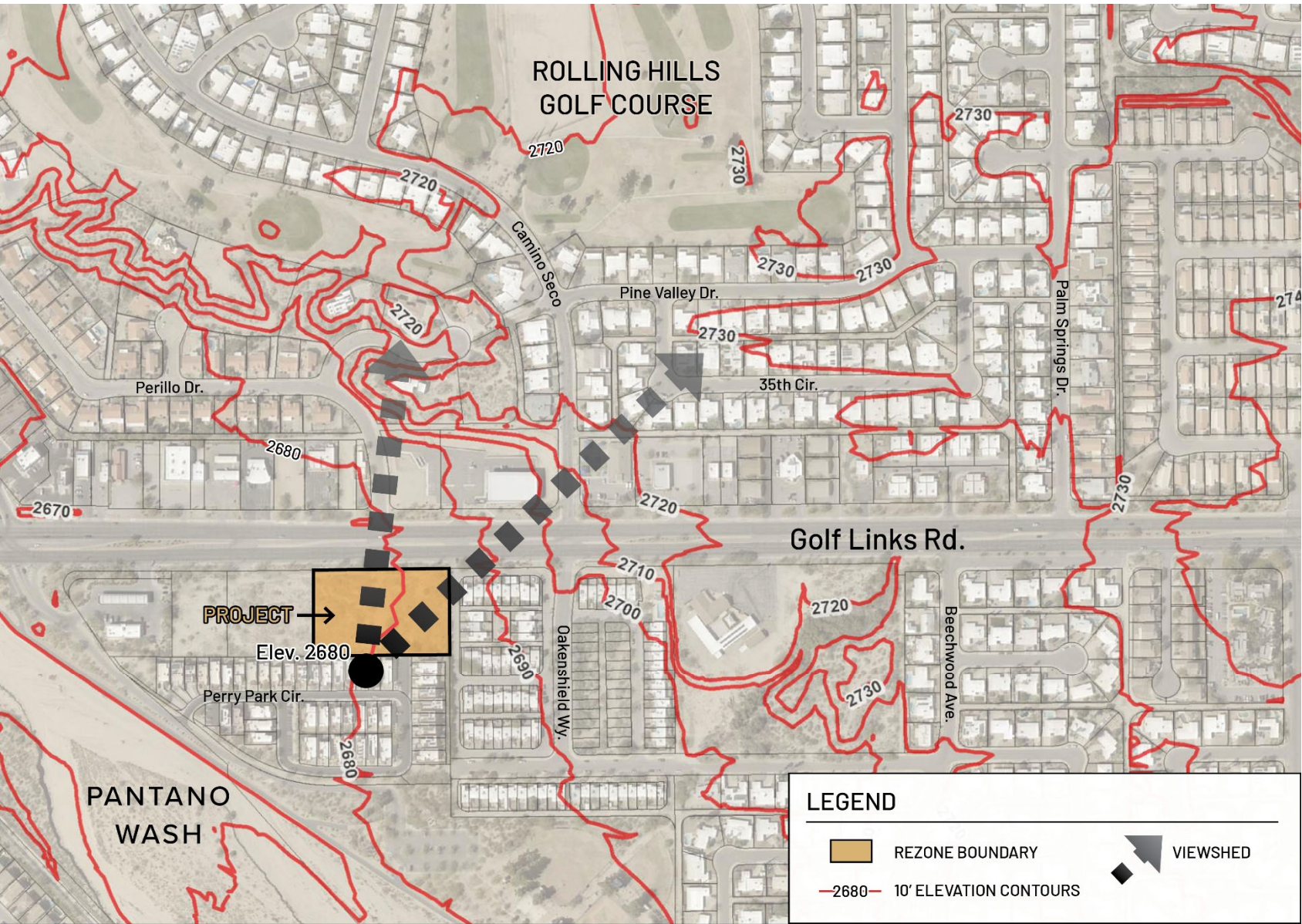
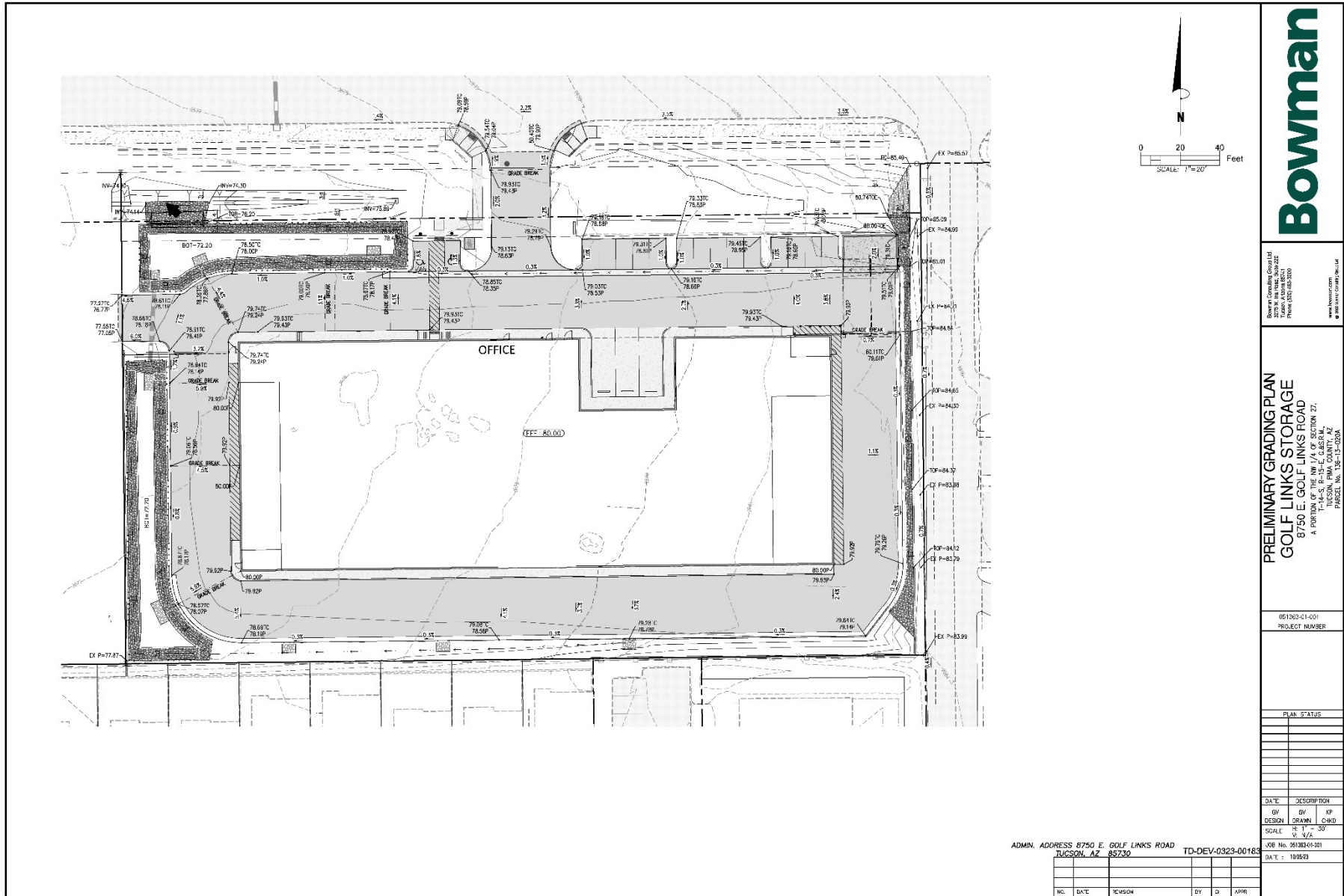


Exhibit III.B.7: Existing Topography & Viewsheds

NORTH
DO NOT SCALE MAP - FOR REFERENCE ONLY
0 175 250 500 Feet



Exhibit III.B.8: Preliminary Grading Plan



K:\051303 - Golf Links Storage\051303-01-001 (X00) - Golf Links Storage\Engineering\Rezoning\051303-01-001\051303-01-001_Conceptual Grading Plan.dwg Plotted 01/24/23 - 11:47am-jgarcia

C. Hydrology & Drainage

The post-development drainage scheme aims to maintain, as much as possible, the Property's existing drainage characteristics. This will be accomplished through site grading and detention of all stormwater generated on the Property in the proposed detention/retention basins on the north and west sides of the Project. These detention/retention basins will be connected via an underground equalizer pipe to ensure flows are distributed appropriately between these two basins. Because the Property is located within an area that contributes directly to the Pantano Wash (a regional watercourse categorized as a non-designated balanced basin), the Project intends to limit peak discharges leaving the Property during the 1%, 10% and 50% (100-, 10- and 2-year, respectively) annual chance events. There will also be first flush on the Property, accomplished via the proposed detention/retention basins, and potentially via smaller water harvesting features in proposed landscape areas.

Stormwater discharges currently exiting the Property somewhere along the western Property boundary will be directed towards the northwest corner of the Property after development of the Project. Locations of discharge are expected to be limited to the detention/retention basin outlet near the northwest corner of the Property. Post-development stormwater discharge from the Project is expected to be conveyed via a planned conveyance channel within the public ROW near the northwest corner of the Property that accepts stormwater from the Project and other nearby properties and conveys it to another detention area near the existing Circle K west of the Property. Stormwater is then discharged into a culvert under Pantano Parkway and into the Pantano Wash southwest of the Property.

As a result of reduced peak discharges due to the proposed detention/retention basins and the fact that the Property is not impacted by offsite flows, the Project's drainage scheme will not impact offsite areas.

Post-development drainage conditions are shown in *Exhibit III.C: Proposed Hydrology & Drainage Map*.

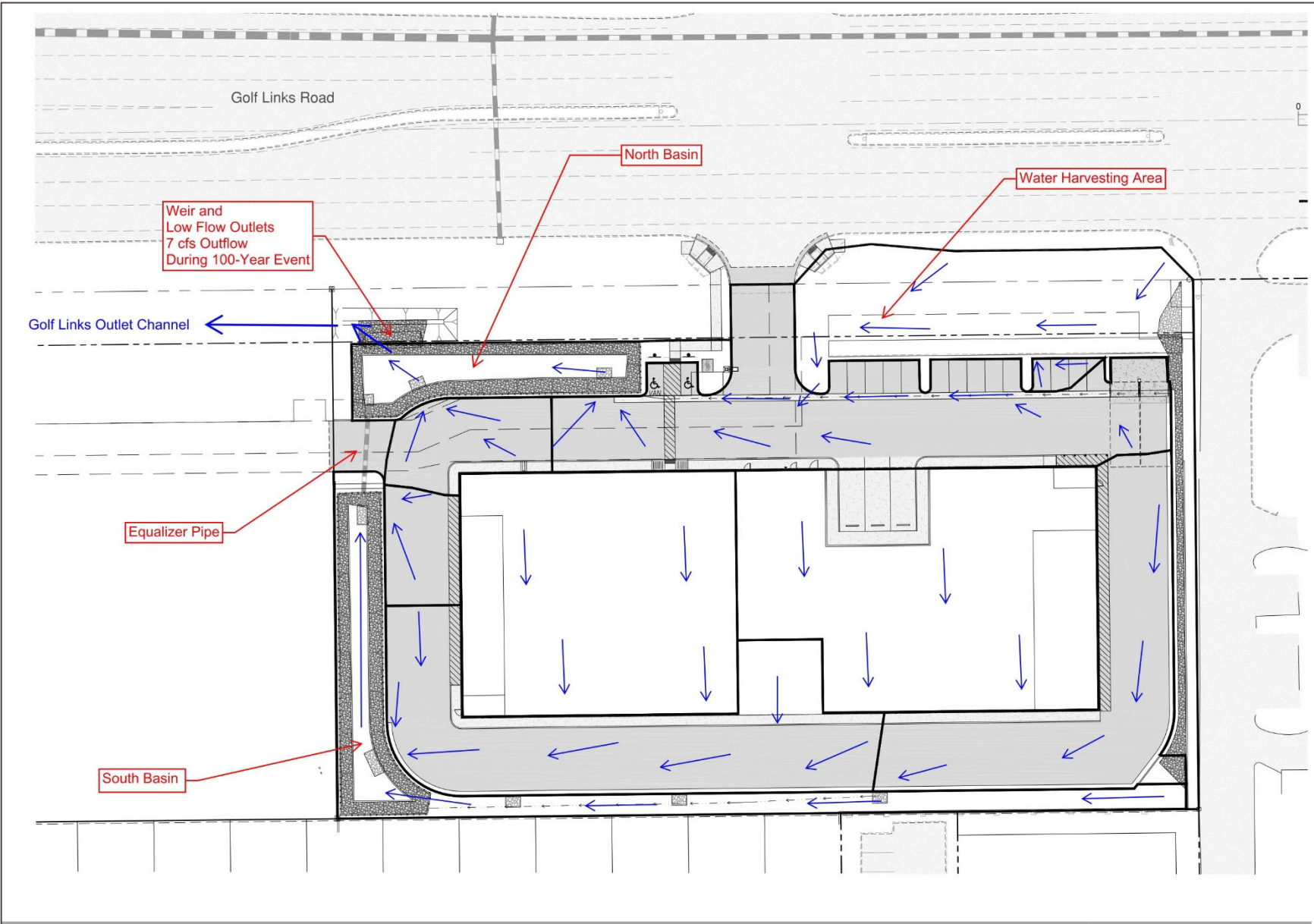


Exhibit III.C: Proposed Hydrology & Drainage Map



D. Landscaping & Screening

The Project proposes several landscaping borders along the Property boundaries.

- Northern Boundary: There will be an approximately 25- to 30-foot landscaped drainage basin along the northwest Property boundary and a 10-foot landscape border along the northeast Property boundary adjacent to Golf Links Road.
- Eastern Boundary: The Project will provide a six-foot screen wall and a minimum 10-foot landscape border along the eastern Property boundary. This wall and landscaping will replace the existing oleander screening that is adjacent to the driveway access of the Rivendell Townhouse complex and improve the look of this area with desert landscaping and trees.
- Western Boundary: There will be a 25-foot landscaped water harvesting drainage basin on the western Property boundary, adjacent to commercial uses.
- Southern Boundary: There will be a 10- to 13-foot landscape border along the southern Property boundary. The southern landscape border will provide some drainage relief that feeds into the western landscaped drainage basin. Trees will also be planted within this southern landscape border to help mitigate any potential privacy concerns. There is also a six-foot masonry wall planned for this area, and Pantano will work with the Mesquites on Pantano regarding the coordination of the existing wall and proposed Project wall.

The Project will incorporate water harvesting techniques into the landscape design in accordance with the City's Commercial Water Harvesting requirements. These techniques may include directing runoff to landscaped areas and use of swales to utilize storm water runoff to irrigate on-site vegetation. All detention/retention basins will be designed to mitigate urban heat island effects originating from the proposed Project.

E. Lighting

This Project is committed to "Dark Skies" principles and compliance with the Outdoor Lighting Code ("OLC"), which requires shielded lighting that does not spill over onto adjacent properties. All onsite lighting will be directed downward, and no bright lights or spotlighting will be installed. Lighting will be provided on the Project's exterior to ensure safety in the parking areas and visibility on the security cameras that monitor the Property 24 hours a day. Signage lighting will conform with the OLC's signage lighting curfew.

F. Bicycle & Pedestrian Access

Given the proposed use, very few visitors/customers are expected to walk and/or bike to the facility. As shown on the PDP, the Project will provide 2 short-term bicycle parking spaces located directly west of the driveway off Golf Links Road north of the building. No long-term bicycle parking spaces are required or provided. Pedestrian sidewalks will be provided that

connect the Project to the public ROW along Golf Links Road. The Project will comply with all ADA regulations and design standards.

G. Signs

Project signage may include building signage and monument-type identification signs near the Project entrance at Golf Links Road. Address and unit number signage will be incorporated per Pima County Addressing requirements. All signage will be designed and permitted in accordance with UDC standards.

H. Topography

No significant changes in elevation or grading are anticipated for the Project. The Property has already been graded and is relatively flat. The building pad will be built up to allow stormwater to flow away from the buildings and driveways. Stormwater will be directed from the building and paved areas towards landscaped and pervious drainage areas to the north, south and west.

I. Traffic

A Traffic Memorandum, included as *Appendix A*, was prepared for this rezoning. The Project is expected to generate very little traffic throughout a typical day: a total of 152 daily trips, including 9 trips in the AM peak hour and 16 trips in the PM peak hour.

The Project will be primarily accessible via the existing driveway off Golf Links Road. The Project will also share a driveway with the adjacent commercial property to the west. No Project traffic will flow to the residential areas to the east or south. The minimal traffic generated by the Project is expected to have no impact on the surrounding roadway network and nearby residential streets. No additional street improvements are required to accommodate traffic generated by this Project.

J. Utilities

1. Public Sewer

The sewer provider is PCRWRD. The Project will connect to the public sewer system via an existing 12-inch trunkline located within the Golf Links Road ROW associated with Improvement Plan No. I-72-042. There is an existing manhole named SSIP-341 located near the midpoint of the site's Golf Links frontage and within the proposed driveway location. A 4-inch private sewer line is proposed to tie-in to the 12-inch trunkline near this existing manhole location. (See *Exhibit II.I.1: PCRWRD Facilities Map*.)

2. Water

The Property is located within the TW service area. TW is certified by the state as having a 100-year assured water supply. The Project will receive potable water service from the east along Golf Links Road where there is likely to be a water meter at the east side of the driveway serving the Property. From there, a new public water line will continue west within the proposed northern drive aisle and west of the Property for other future projects located in this area south of Golf Links Road. This public line will extend north into Golf Links Road to connect with the existing trunk line in the public ROW. This water will serve commercial uses, fire flow and irrigation uses for the Project and other proposed uses west of the Property. (See *Exhibit II.1.2: TW Facilities Map*.)

3. Electric

The Project will be served by TEP. Existing overhead electricity lines can serve the Project at almost any point along the northern Property line. A new transformer will likely be necessary along the pedestrian path between the proposed building and the Golf Links Road ROW. (See *Exhibit II.1.3: TEP Facilities Map*.)

4. Gas

The Project can connect to existing natural gas infrastructure provided by SWG, although natural gas service is not planned for this Project. (See *Exhibit II.1.4: SWG Facilities Map*.)

K. Vehicular Use Areas

The Project provides two-way circulation around the entire building via a minimum 30-foot wide PAAL per UDC standards for Personal Storage use. The Project facility (105,165 square feet) is also required to provide 1 parking space per 4,000 square feet of floor area for Personal Storage use plus 2 spaces for the 1,144 square-foot management office. The Project is required to provide 28 parking spaces in total, which includes two ADA-accessible spaces with direct access to the office. Pantano is currently processing an Individual Parking Plan (“IPP”) with the City to permit a reduction in parking from 28 spaces to 17 spaces, as shown on *Exhibit III.A: Preliminary Development Plan*. Given the Project’s low expected trip-generation counts, the low number of employees needed to operate the facility and the northern loading zone for larger vehicles, Pantano believes 17 vehicle parking spaces is sufficient for the Project’s size, location and intended use.

The Project’s solid waste enclosure and receptacle will be located near the northeast corner of the Property. The receptables will face south and the trash removal trucks will load facing north.

Appropriate landscaping will be incorporated into the vehicular use areas to screen parking and provide shade to mitigate the urban heat island effect.

Appendix A: Traffic Memorandum

MEMORANDUM

To: City of Tucson

From: Darlene Danehy Yellowhair, P.E., PTOE, RSP₂₁, ENV SP

Date: October 25, 2023

Subject: Rezoning for Golf Links Storage Facility – Traffic Evaluation

Introduction

The purpose of this memorandum is to provide a Traffic Engineering Statement in support of a rezoning request for the proposed self-storage facility on Golf Links Road just east of Pantano Parkway (Figure 1). The proposed project will include 105,165 square feet of self-storage space (including 602 storage units) and is expected to be served by Golf Links Road via an existing full median opening directly across from Perillo Drive as shown in the site plan (Figure 2).

Figure 1. Project Location

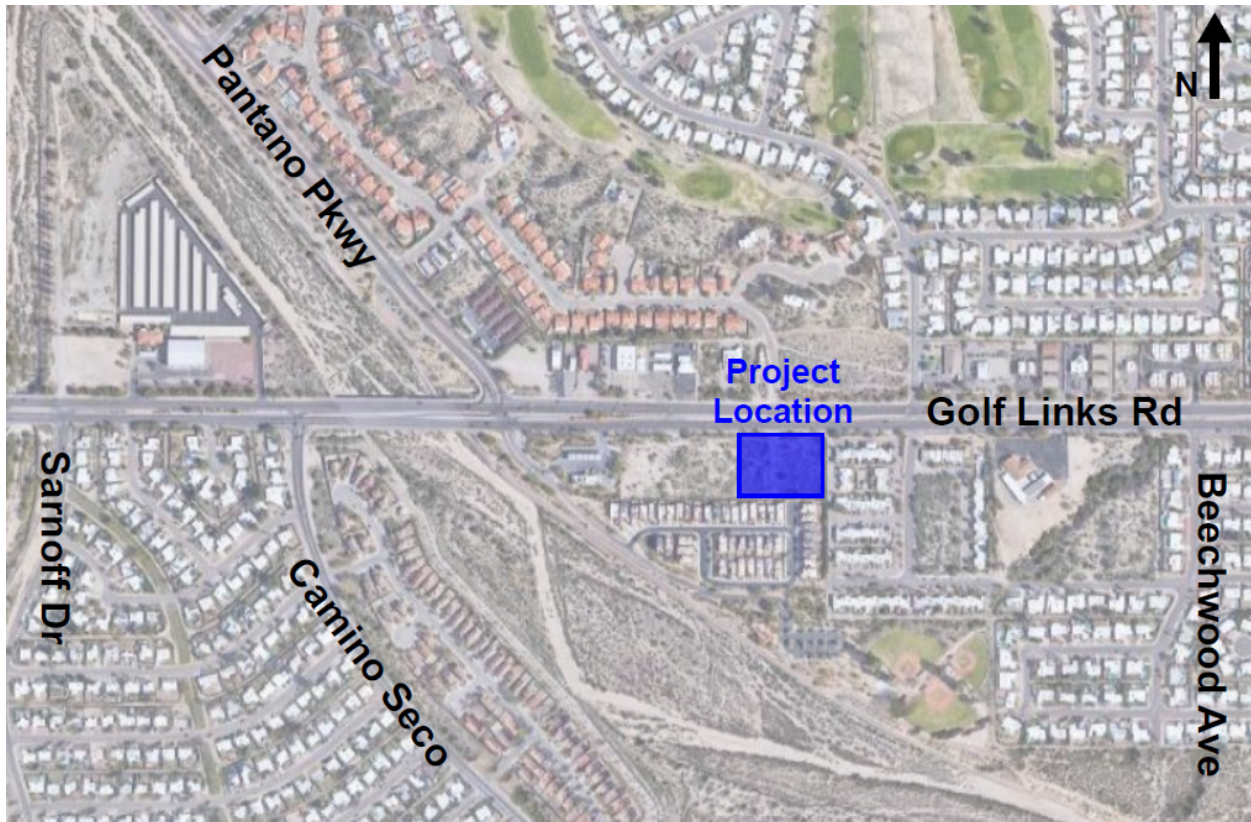
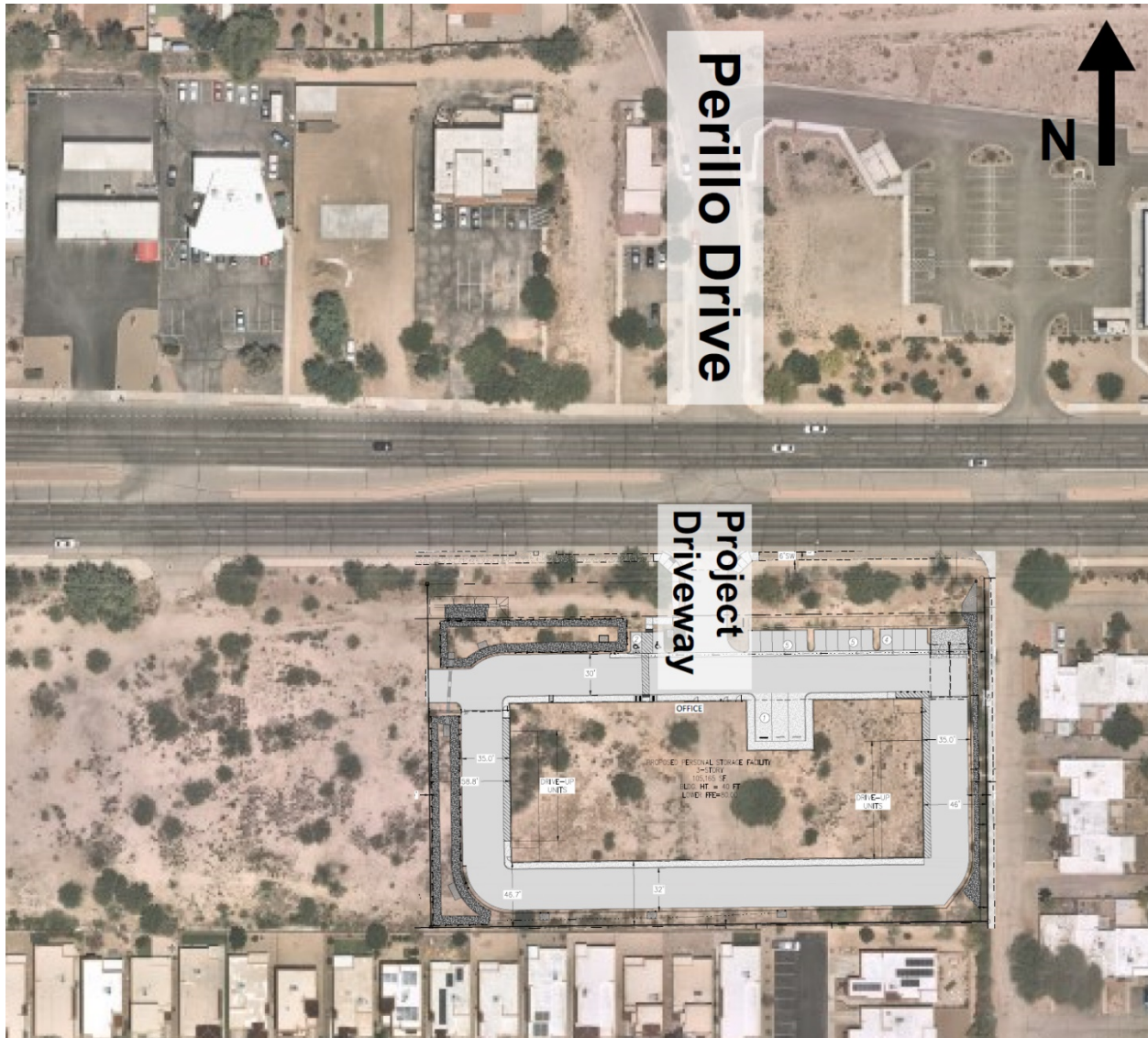


Figure 2. Site Plan



Existing Road Network

As previously mentioned, the project will have access from Golf Links Road, just east of Pantano Parkway. Golf Links Road is a six-lane divided roadway and is classified as a gateway arterial in the *City of Tucson Major Streets and Routes*¹. The roadway has a posted speed limit of 40 mph and had a daily traffic volume of 31,361 vehicles per day in 2022².

¹ *City of Tucson Major Streets and Routes*. City of Tucson, 2016.

² PAG Transportation Data Management System.

<https://pag.public.ms2soft.com/tcds/tsearch.asp?loc=Pag&mod=>, accessed March 2022.

Trip Generation

The trip generation for the project was estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*³. As shown in Table 1, the 105,165 square-foot self-storage facility is expected to generate 152 daily trips, including 9 in the AM peak hour and 16 in the PM peak hour. The peak hour trips fall far below the City threshold (100 new peak hour trips) for requiring a full traffic impact analysis.

Table 1. Project Trip Generation

ITE Land Use Code 151 - Mini-Warehouse						
1,000 Square Feet			105.165			
Period	Trips/Unit	Trips	% In	% Out	Trips In	Trips Out
AM Peak	0.09	9	59%	41%	6	4
PM Peak	0.15	16	47%	53%	8	8
Daily	1.45	152	50%	50%	76	76

Trip Distribution

Based on the location of the project, potential users, and other similar developments, it was assumed that approximately 50% of traffic would access the site to/from the west and 50% would access the site to/from the east. Although the project driveway will be located at a full median opening, it was assumed that only 25% of exiting traffic would turn left at the full median opening while the remaining 25% of exiting traffic would make a U-turn at the median opening approximately 550 feet east of the site at Camino Seco/Oakenshield Way. In off-peak hours, a higher percentage of traffic may be able to make the left turn directly out of the site, but it is expected that the left turn onto Golf Links Road may be difficult to make during peak hours.

The trip distribution is shown in Figure 3. Given the trip generation and trip distribution, the project traffic volumes are shown in Figure 4.

³ *Trip Generation Manual, 11th Edition*. Institute of Transportation Engineers, 2021.

Figure 3. Project Trip Distribution

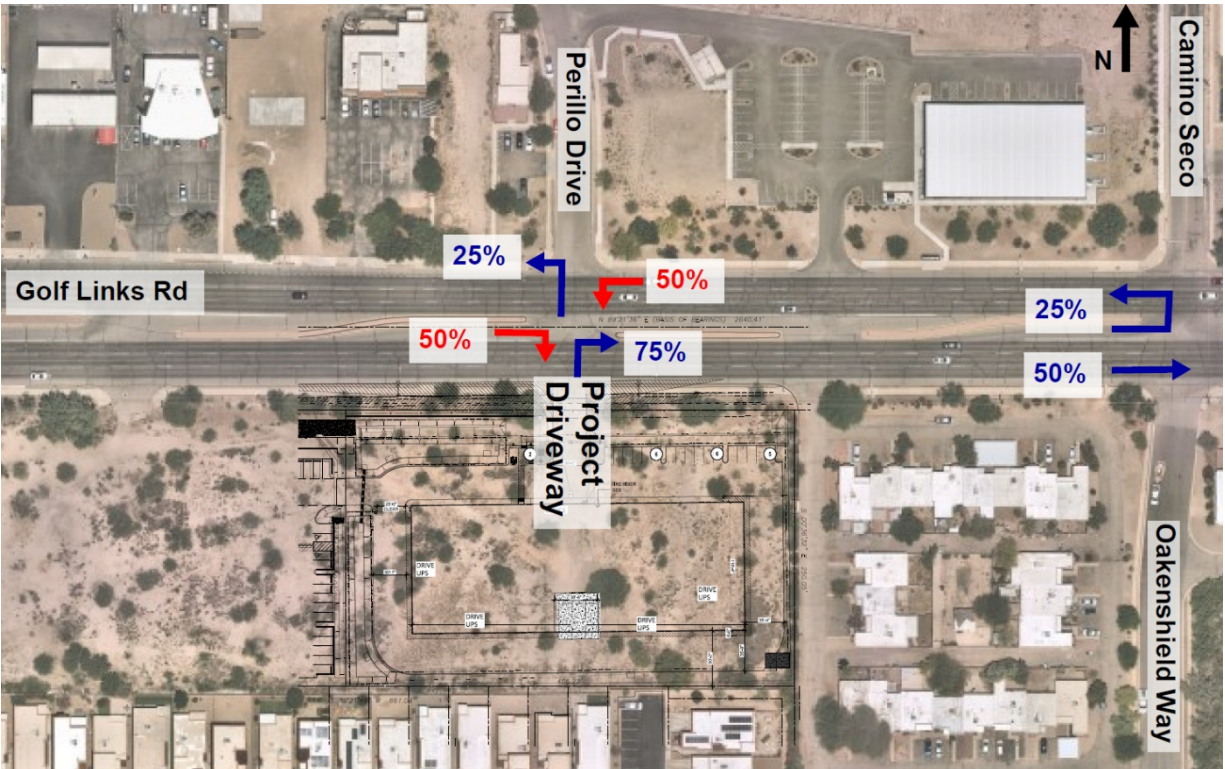
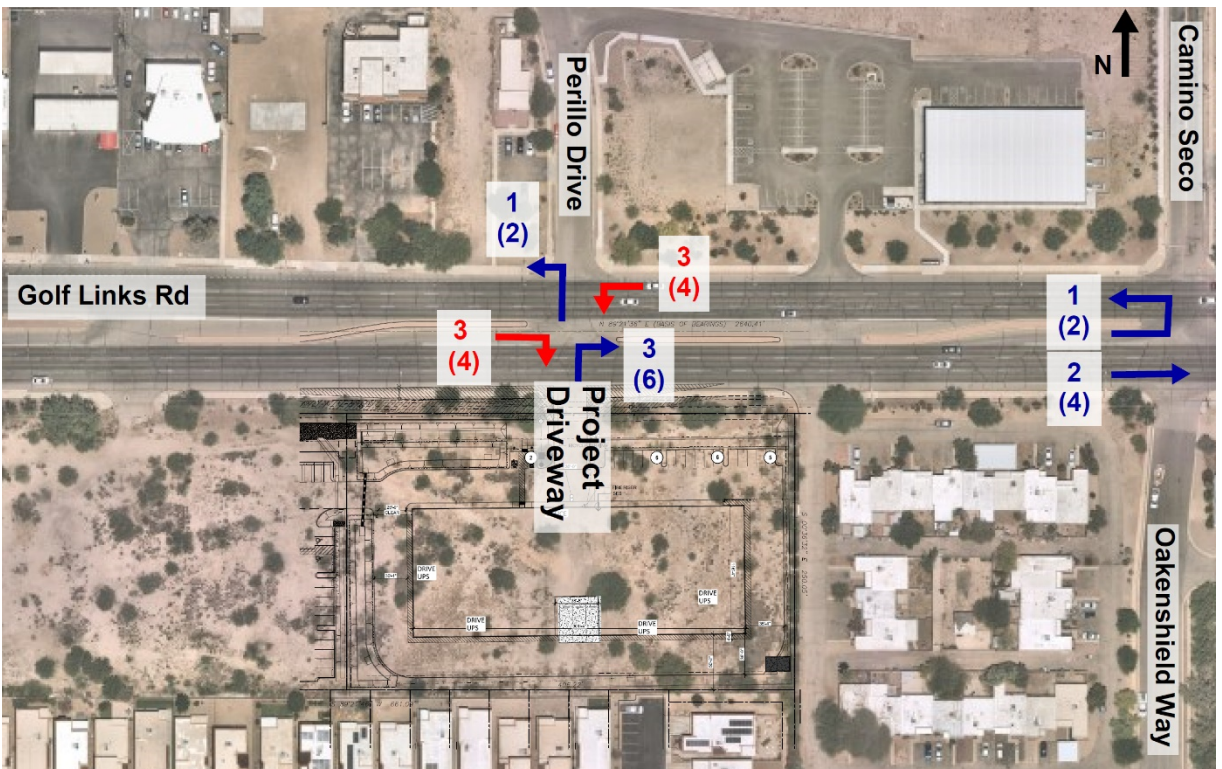


Figure 4. Project Traffic Volumes

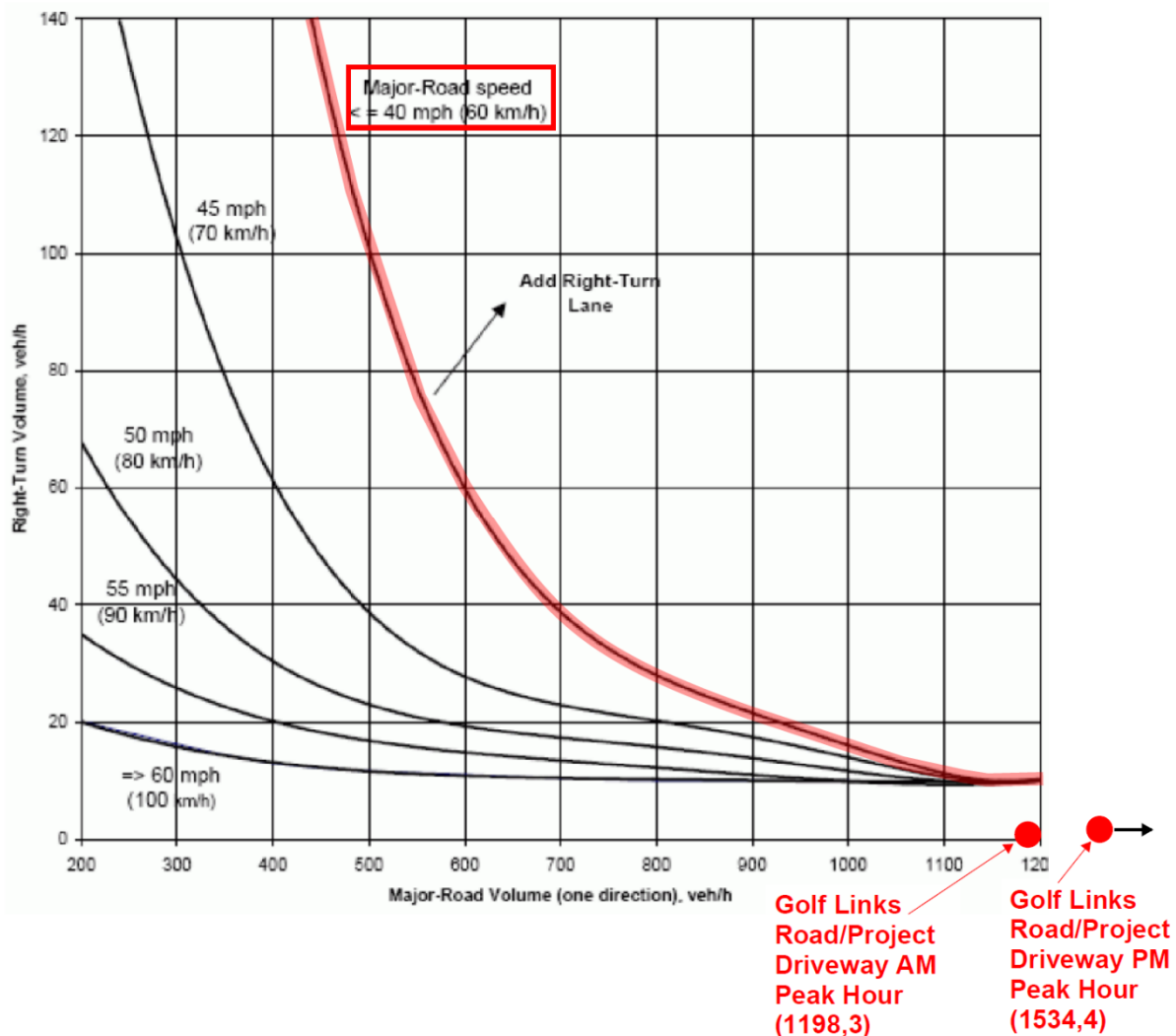


Turn Lane Warrants

The turn lane warrants were evaluated for the intersection of Golf Links Road and the Project Driveway. Since there is an existing left turn lane on Golf Links Road, the left turn lane warrant was not evaluated. It was assumed that the project would open in 2025. In addition, although volumes on Golf Links Road have generally decreased between 2014 and 2022 (per data available from the Pima Association of Governments), a 0.5% per year growth rate for Golf Links Road traffic was assumed to be conservative.

Figure 5 shows the right turn lane warrant. Recall that the speed limit on Golf Links Road is 40 mph. As shown in the figure, a right turn lane is not warranted on Golf Links Road with the project.

Figure 5. Right Turn Lane Warrant



Parking

An Individual Parking Plan (IPP) is being prepared for this project, but additional justification for providing fewer spaces than what is required by City code is provided in this section. For reference the City requires one space per 4,000 square feet of gross floor area for units without direct vehicular access (such as this project) and a minimum of two spaces for an associated office. Based on those guidelines, the project would be required to provide 28 parking spaces. However, at this time, only 17 parking spaces are planned for the site.

The Town of Oro Valley requires one parking space per 50 storage units, which would result in 12 spaces for this project. The Town of Sahuarita includes minimum (one space per 40 units) and maximum (one space per 30 units) guidelines, which would result in between 15 and 20 spaces for this project. The Town of Marana does not have specific requirements, and Pima County only has specified requirements for self-storage facilities which consist of drive-up units.

In addition to code requirements, the Institute of Transportation Engineers' (ITE) *Parking Generation Manual* provides average and 85th percentile parking needs based on information for similar sites across the country. The average rate is 1.36 parking spaces per 100 storage units and the 85th percentile rate is 2.35 spaces per 100 storage units. That would result in between 8 and 14 parking spaces for this project.

Therefore, given the requirements for nearby jurisdictions and the parking generation information provided by ITE, the proposed 17 parking spaces is likely to be sufficient for this project. However, the final determination should be made based on the IPP. The calculations are summarized in Table 2 below.

Table 2. Parking Requirements From Various Sources

Source	Requirement	# of Spaces Required
City of Tucson	1 space per 4,000 SF plus 2 spaces for office	26
Town of Oro Valley	1 space per 50 units	12
Town of Sahuarita - Minimum	1 space per 40 units	15
Town of Sahuarita - Maximum	1 space per 30 units	20
ITE - Average	1.36 spaces per 100 units	8
ITE - 85th Percentile	2.35 spaces per 100 units	14

Approval – Protest Form



If you wish to submit a written protest or approval, this form is provided for your convenience. Print your comments below, sign your name, and mail to the City of Tucson Planning and Development Services Department, Entitlements Section, 201 N. Stone Avenue, P.O. Box 27210, Tucson, Arizona 85726-7210. The number of approvals and protests along with protest calculations will be reported at the Zoning Examiner’s public hearing. This form is not the City of Tucson Public Hearing Notice.

Protests from 20% of the property owners within 150’ of the whole perimeter of the property being rezoned, including BOTH 20% of the property by area and 20% of the number of lots with 150’, require an affirmative vote of ³/₄ of the Mayor and Council (5 of 7 council members) to approve the Original City Zoning translation. Public rights-of-way and the area/lot of the proposed rezoning are included in the protest calculations. Calculations will be provided to the Mayor and Council.

Case: TP-ENT-1123-00043 Personal Storage – E Golf Links Road, C-1 to C-2 (Ward 4)

 Property Owner(s) (PLEASE PRINT)

- APPROVE the proposed rezoning/special exception
- PROTEST the proposed rezoning/special exception

Reason:

OWNER(S) SIGNATURES	PLEASE PRINT PROPERTY ADDRESS	PLEASE PRINT YOUR MAILING ADDRESS

Date _____

Place
Stamp
Here

City of Tucson
Planning and Development Services Department
Entitlements Section
201 N. Stone
P.O. Box 27210
Tucson, Arizona 85726-7210

TP-ENT-1123-00043 GS

Expose this flap - Affix stamp and return



City of Tucson
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Tucson, Arizona 85726-7210

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IMPORTANT REZONING NOTICE ENCLOSED