



# MEMORANDUM

**DATE:** July 12, 2023  
For July 27, 2023 Hearing

**TO:** John Iurino  
Zoning Examiner

**FROM:** Kristina Swallow, Director  
Planning & Development Services

A handwritten signature in blue ink that reads "Kristina Swallow".

**SUBJECT:** REZONING - PLANNING & DEVELOPMENT SERVICES REPORT  
TP-ENT-0523-00020 – Select Medical – North Wilmot Road.  
O-3 to C-3 (Ward 6)

**Issue** – This is a request by Matt Updegraff from Kimley Horn, LLC, on behalf of the property owner, Select Medical Property Ventures, to rezone a 2.5-acre parcel from O-3 Office to C-3 Commercial, for the construction of a Select Medical Rehabilitation Facility with 66 beds. The proposal includes one four-story facility, 62.8 feet in height, and related site work.

The subject site is on the west side of Wilmot Road across from the intersection of Wilmot Road and Carondelet Drive (See Case Location Map). Because the O-3 zoning on the property allows a maximum building height of 40 feet for non-residential uses, a rezoning to C-3 is requested to allow for the proposed building height of 62.8 feet. The maximum building height in a C-3 zone is 75 feet.

**Planning & Development Services Recommendation** – The Planning & Development Services Department recommends approval of C-3 zoning, subject to the attached preliminary conditions.

## **Background Information**

**Existing Land Use:** Vacant – former medical clinic, demolished in 2022.

### **Zoning Descriptions:**

**Existing: O-3 (Office)** – This zone provides for mid-rise, office, medical, civic, and select other uses, such as urban agriculture and renewable energy generation, that provide reasonable compatibility with adjoining residential uses.

**Proposed: C-3 (Commercial)** – This zone provides for mid-rise development of general commercial uses that serve the community and region, located downtown or in other major activity center areas. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses.

Adjacent Zones and Land Uses:

North: Zoned O-3; multifamily residential

South: Zoned C-3; mid-rise office buildings

West: Zoned R-3; multifamily residential

East: Zoned C-1 and O-3 across Wilmot Road; commercial use and medical office uses

Behind the C-1 immediately east, the area is zoned PAD-13, Carondelet Medical Center complex

Previous Cases on the Property: None

Related Cases: None

**Project Background** – Select Medical is seeking to develop the project site with a 4-story medical rehabilitation facility with 66 beds.

**Applicant’s Request** – Rezoning to C-3 Commercial to allow for a building height of 62.8 feet.

**Planning Considerations** – Land use policy direction for this area is provided by *Plan Tucson* and the *Sewell/Hudlow Neighborhood Plan*.

*Plan Tucson* – The site lies within the Existing Neighborhoods building block in the Future Growth Scenario Map in Plan Tucson. Existing Neighborhoods are primarily developed and largely built-out residential neighborhoods and commercial districts in which minimal new development and redevelopment is expected in the next several decades. The goal is to maintain the character of these neighborhoods, while accommodating some new development and redevelopment and encouraging reinvestment and new services and amenities that contribute further to neighborhood stability.

*Plan Tucson* also provides the following policies related to the proposed rezoning:

**LT9** - Locate housing, employment, retail, and services in proximity to each other to allow easy access between uses and reduce dependence on the car.

**LT.28.2.4** - Support community commercial and office uses located at the intersections of arterial streets, taking into consideration traffic safety and congestion issues.

**LT28.2.12** - Support environmentally sensitive design that protects the integrity of existing neighborhoods, complements adjacent land uses, and enhances the overall function and visual quality of the street, adjacent properties, and the community.

*Sewell/Hudlow Neighborhood Plan (S/HNP)* – The site is within the boundaries of the *Sewell/Hudlow Neighborhood Plan, Sewell Subarea*. The purpose of the *S/HNP* is to protect the integrity of existing neighborhoods while allowing for new development where appropriate as shown on the Land Use Development Maps. The applicable goals of the *S/HNP*, which are designed to be used with the *S/HNP* General Design Guidelines are:

- Preserve and protect the integrity of established low-density neighborhoods.
- Identify appropriate locations for new development.

The Plan’s goals are supported by the following applicable nonresidential subgoals and policies:

Nonresidential Goals:

- Allow for new, nonresidential uses provided the proposed development is designed in harmony with adjacent nonresidential and residential uses and in accordance with Sewell/Hudlow policies.
- Establish design and location criteria for nonresidential uses adjacent to existing neighborhoods.

Nonresidential Policies:

3. Allow for new nonresidential development along designated major streets as shown on the Land Use Development Maps.

8. Recognize the Activity Center status of the Broadway/Wilmot area by providing an opportunity for low-rise office development along Broadway Boulevard and mid-rise office development along Broadway Boulevard approximately 600 feet east of the Alamo Wash and along Wilmot Road extending north to Fifth Street as shown on the Land Use Development Maps, when all the following criteria are met:

- a. Traffic generated by new development can be accommodated on abutting arterial streets through street improvements, upgrading mass transit and/or other alternate modes, or a combination of these techniques;
- b. All access is onto arterial streets;
- c. Parking and maneuvering requirements can be met on site;
- d. Building heights transition to be compatible with adjacent heights;
- e. Design complies with Buffering Policies.

9. Provide an integrated pedestrian circulation system throughout the Broadway/Wilmot Activity Center:

- a. During the rezoning and development review process, require new development to provide a clearly defined, internal pedestrian circulation system with amenities which provides connections to public sidewalks and adjacent development;
- b. Pursue alternatives to arterial street-level pedestrian crossings to provide safe pedestrian circulation between components within the Activity Center, through funding mechanisms such as Improvement Districts, and in-lieu fees, to be shared among Activity Center uses.

**Design Considerations**

Land Use Compatibility – The site is surrounded by a variety of land uses, which include two multifamily residential complexes to the north and west, mid-rise office towers to the south, and food service across Wilmot Road to the east. The site is also very close to multiple medical facilities, including a University of Arizona Medical Center two parcels to the north, and the Carondelet Medical PAD and St. Joseph’s Hospital across Wilmot Road immediately behind the

food services land use. The proposed medical treatment facility is aligned with policies laid out in *Plan Tucson* as well as the *Sewell/Hudlow Neighborhood Plan*.

The medical use is compatible with surrounding medical land uses and replaces a previous medical treatment center that was demolished at this location. *Plan* policy guidance encourages higher-intensity land use along major arterial roads, and the location on Wilmot Road further supports the proposed development. The proposed height of 62.8 feet requires that the parcel be rezoned from O-3 to C-3. C-3 zoning does allow heights up to 75 feet. The office towers to the south are approximately 63.5 feet high, and the increased height allowed by C-3 zoning helps to begin creating a consistent streetscape on Wilmot Road. The development also takes advantage of reduced setbacks recently adopted into city code, and this helps to create a more pleasant and consistent street level experience for commuters and pedestrians. The reduced setback on Wilmot road also allows the building to be placed further than would previously be possible to the multifamily residential complexes to the north and west, which limits the impact of an increased building height on existing residential development. The proposed development is supported by the need to locate higher intensity uses on major arterial roads.

Design Compatibility – The Design Compatibility Report and the proposed preliminary development plan include a drainage basin on the southwest corner and a smaller basin on the east (street-facing) edge. A landscape buffer is planned on the east side, as well as a sidewalk connecting to the existing sidewalk running along Wilmot Road.

The chain-link fence and Oleander along the north side of the property are replaced by a concrete drainage swale. The sidewalk along the north end is privately owned and runs along the access drive to the apartment complex west of the project site. It appears to be undersized and seems to be the only pedestrian access to the apartments from Wilmot Road. While improving that access is not the responsibility of the applicant, removing the fence and oleander and replacing it with a drainage swale could improve the pedestrian experience on the sidewalk.

The backup generator and trash enclosures on the west property line have been moved further south from their locations on the applicant's pre-submittal design, which also serves to respect the pedestrian experience in and out of the western apartment complex.

Road Improvements/Vehicular Access/Transit – The project faces Wilmot Road, a designated arterial road by the Major Streets and Routes (MS&R) Plan. One access point, on the north-east corner of the project site, faces Wilmot Road. The second access point is on the south property line, through an existing access agreement with the parcel to the south allowing access to Wilmot Road.

Pedestrian circulation is provided from the sidewalk along Wilmot Road. The pedestrian access does not connect with the parcels to the west or north, as existing walls isolate the apartment complexes from the project site. There is no pedestrian access to the parcel south of the project site, due to an existing drainage channel and easement.

Conclusion –The proposed rezoning of the site from O-3 to C-3 is appropriate for this location, is compatible with existing surrounding land uses, and it is in compliance with *Plan Tucson* and the

*Sewell/Hudlow Neighborhood Plan*. Subject to compliance with the attached preliminary conditions, approval of the requested C-3 zoning is recommended.

### PROCEDURAL

1. A development package in substantial compliance with the preliminary development plan, dated May 26, 2023, and required reports, are to be submitted and approved in accordance with the *Administrative Manual*, Section 2-06.
2. The property owner shall execute a waiver of potential claims under A.R.S. Sec. 12-1134 for this zoning amendment as permitted by A.R.S. Sec. 12-1134 (l) in the form approved by the City Attorney and titled “Agreement to Waive Any Claims Against the City for Zoning Amendment”. The fully executed Waiver must be received by the Planning & Development Services Department before the item is scheduled for Mayor and Council action.
3. Historic or prehistoric features or artifacts discovered during future ground disturbing activities should be reported to the City of Tucson Historic Preservation Officer. Pursuant to A.R.S. 41-865 the discovery of human remains and associated objects found on private lands in Arizona must be reported to the Director of Arizona State Museum.
4. Any relocation, modification, etc., of existing utilities and/or public improvements necessitated by the proposed development shall be at no expense to the public.
5. Five years are allowed from the date of initial authorization to implement and effectuate all Code requirements and conditions of rezoning.

### LAND USE COMPATIBILITY

6. Turf onsite cannot be ornamental or non-functional turf. If the proposed turf is absolutely necessary for the development, it must be utilized as part of the retention/detention/commercial rainwater harvesting areas and designed as basins for infiltration.
7. The Property site shall utilize reasonable passive rainwater harvesting techniques, such as water harvesting basins and desert-adapted vegetation, to enhance the proposed landscape and preserve water resources.
8. Graffiti on walls or on any other location on site shall be removed within seventy-two (72) hours of discovery.

### ROAD IMPROVEMENTS/VEHICULAR ACCESS/CIRCULATION

9. All offsite improvements required with the development, such as street improvements, curb, sidewalk, and ADA ramps shall be coordinated with the City of Tucson's Department of Transportation and Mobility.

### WASTEWATER

10. Pima County Wastewater Reclamation provides the condition that the owner/developer shall obtain written documentation from the Pima County Regional Wastewater Reclamation District (PCRWRD) that treatment and conveyance capacity is available for any new development within the rezoning area, no more than 90 days before submitting any tentative plat, development plan, sewer improvement plan or request for building permit for review. Should treatment and/or conveyance capacity not be available at that time, the owner/developer shall have the option of funding, designing and constructing the necessary improvements to Pima County's public sewerage system at his or her sole expense or cooperatively with other affected parties. All such improvements shall be designed and constructed as directed by the PCRWRD.

### ENGINEERING

11. Critical basin detention and first flush retention regulations must be met.
12. Maximize water harvesting into any landscape through the use of curb cuts, flush curbs, and scuppers.

### TUCSON WATER

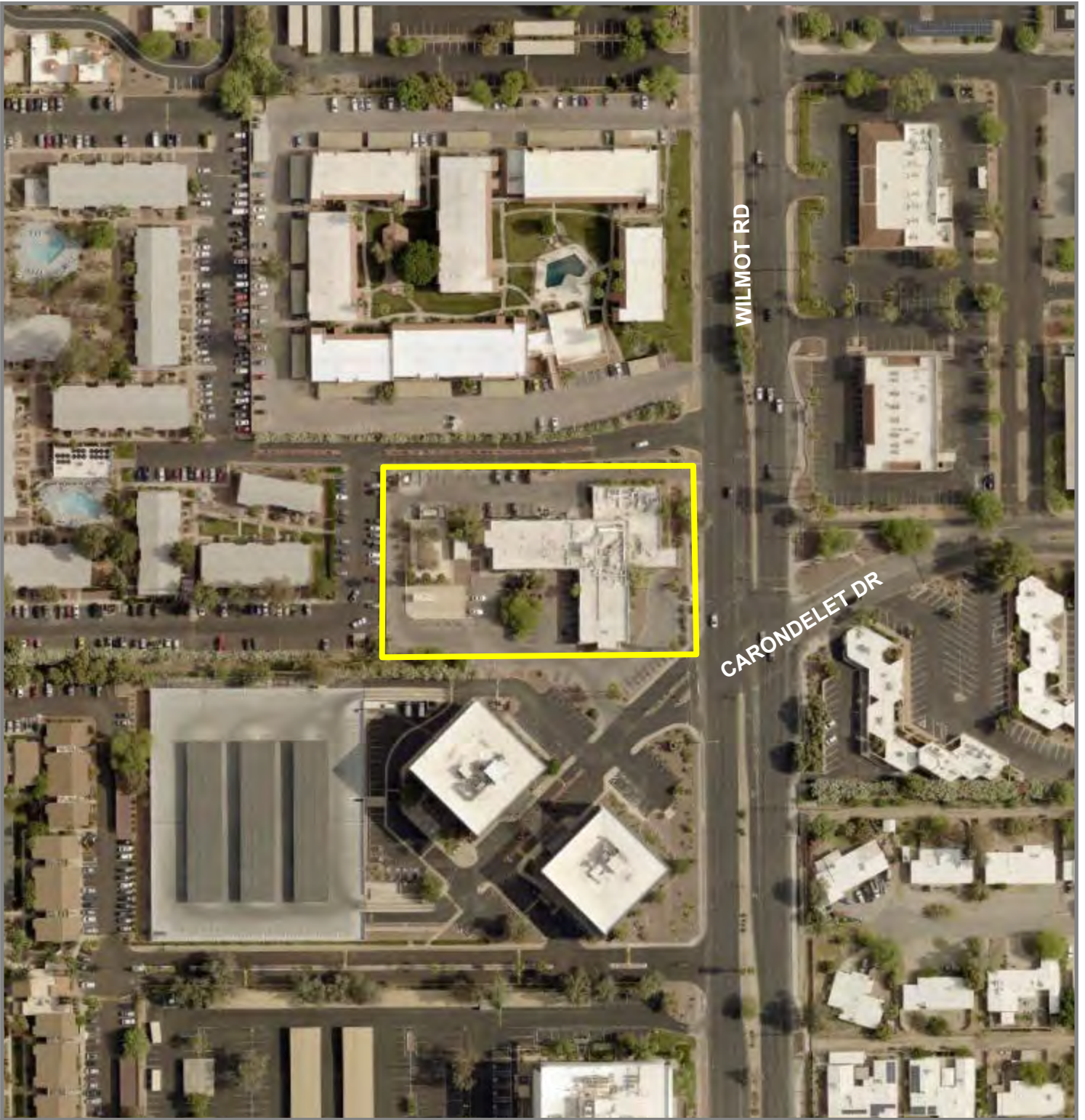
13. The owner(s) / developer(s) shall time all new development within the area being rezoned to coincide with the availability of drinking water treatment, transmission, and distribution system capacity. If the City of Tucson's existing upstream water treatment, transmission and distribution systems are not capable of supplying the total water demand (including the demand for fire suppression water) of the proposed development on the rezoned property, the owner(s) / developer(s) shall be financially responsible for modifying and/or enhancing the existing upstream treatment, transmission and/or distribution systems to meet those needs.

14. The owner(s) / developer(s) shall construct all necessary on-site and off-site public water mains necessary to serve development within the rezoned area at their own expense.
15. The owner(s) /developer (s) shall connect all new public and private water mains within the rezoned area to the City of Tucson's water distribution system at the location and in the manner specified by Tucson Water during the Water Master Plan review process.
16. The owner(s) / developer(s) shall design and construct all off-site and on-site water mains necessary to serve the project in the manner specified at the time of review of the Water Master Plan and Water Design Plan.
17. The owner(s) / developer(s) shall complete the construction of all necessary public water treatment, transmission, and distribution facilities as required by all applicable agreements with the City of Tucson, and all applicable regulations, including the Safe Drinking Water Act and those promulgated by ADEQ, before capacity in the upstream public water treatment, transmission and distribution system is permanently committed for any new development within the project site.

Any questions, comments or concerns about these comments may be directed to:  
Tim Rowe, P.E., Civil Engineer Tucson Water, New Development Section 201 N.  
Stone Avenue, #2-220 P.O. Box 27210 Tucson, AZ 85726-7210 (520) 837-2106  
[tim.rowe@tucsonaz.gov](mailto:tim.rowe@tucsonaz.gov)

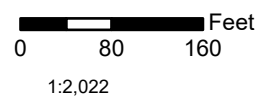


**TP-ENT-0523-00020 355 N Wilmot from O-3 to C-3**

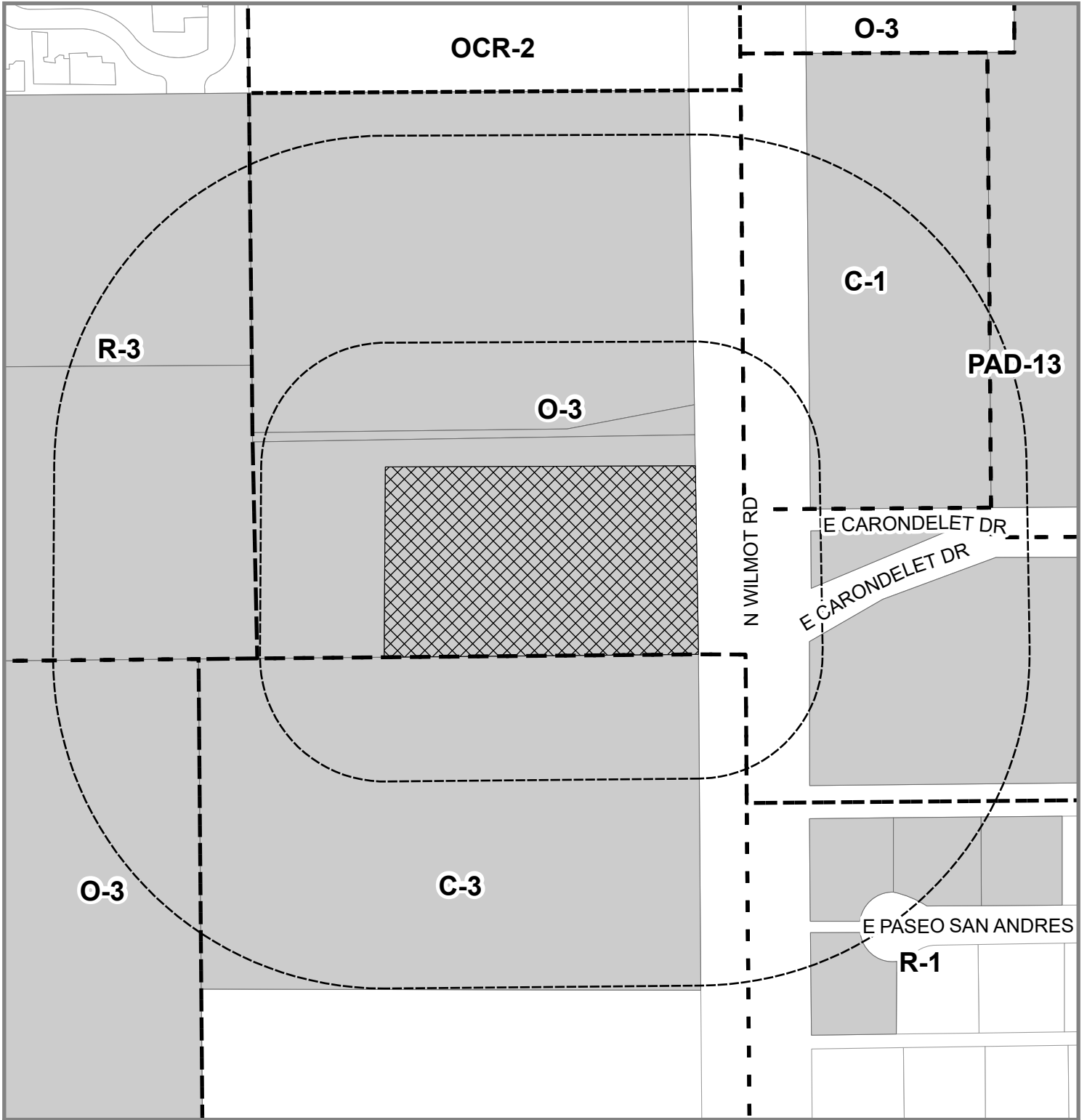





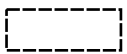

 Area of Rezoning

Address: 355 N WILMOT RD  
Base Maps: Twp. 1403 Range 1402 Sec. 12  
Ward(s): 6

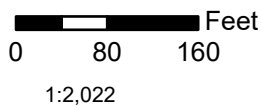


TP-ENT-0523-00020 355 N Wilmot from O-3 to C-3

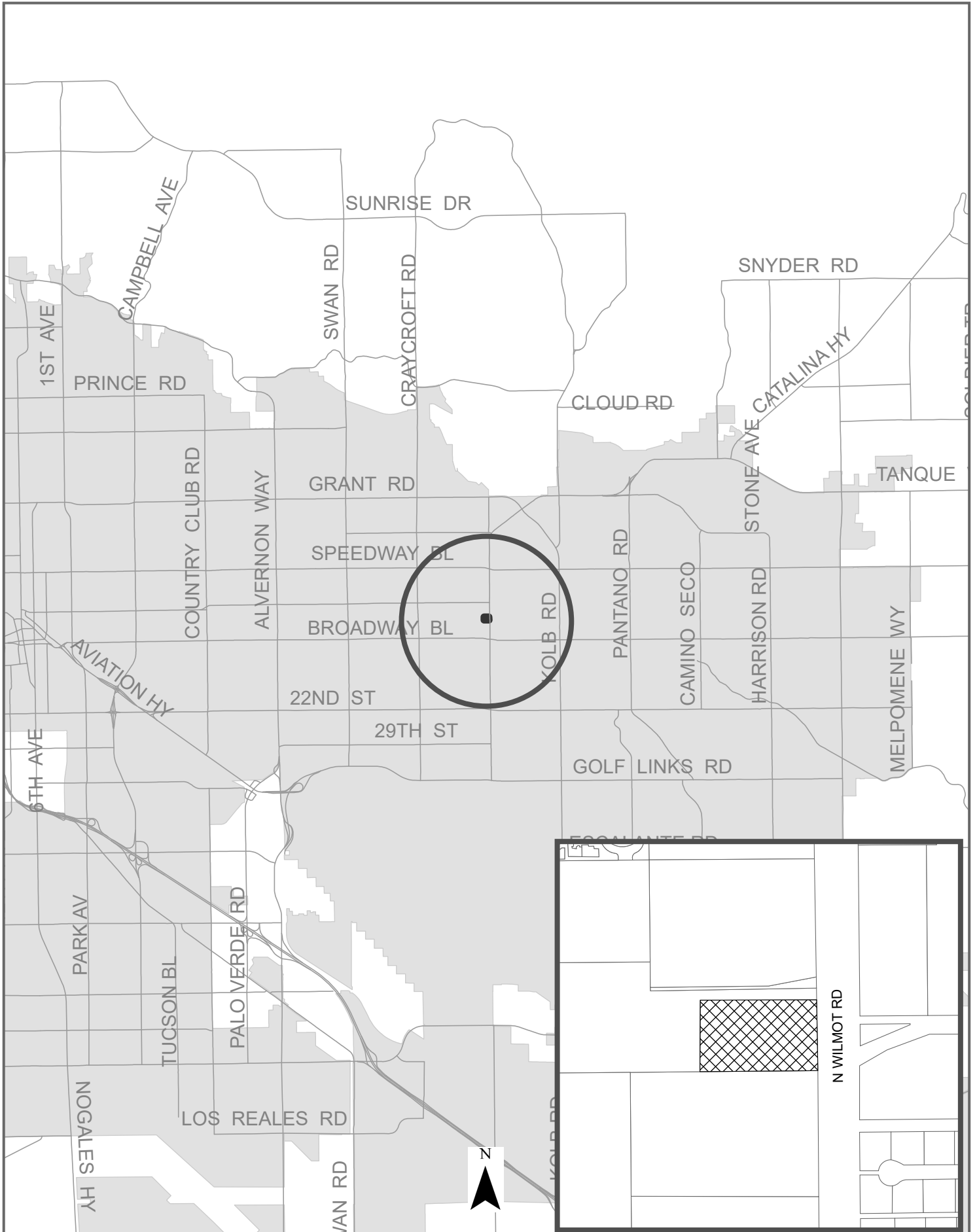


-  Area of Rezoning
-  Zone Boundaries
-  Properties Notified
-  400' Notification Area
-  Protest Area (150 ft. Radius)

Address: 355 N WILMOT RD  
Base Maps: Twp. 1403 Range 1402 Sec. 12  
Ward(s): 6



# TP-ENT-0523-00020 355 N Wilmot from O-3 to C-3



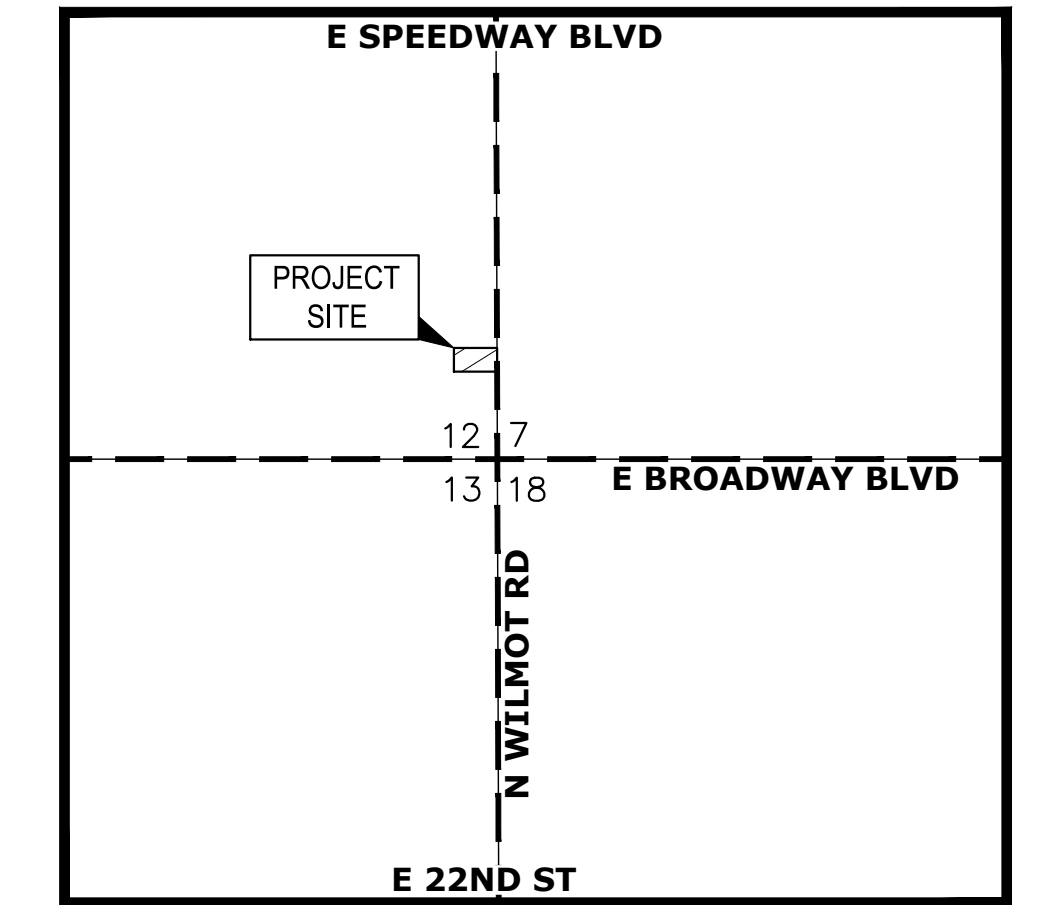
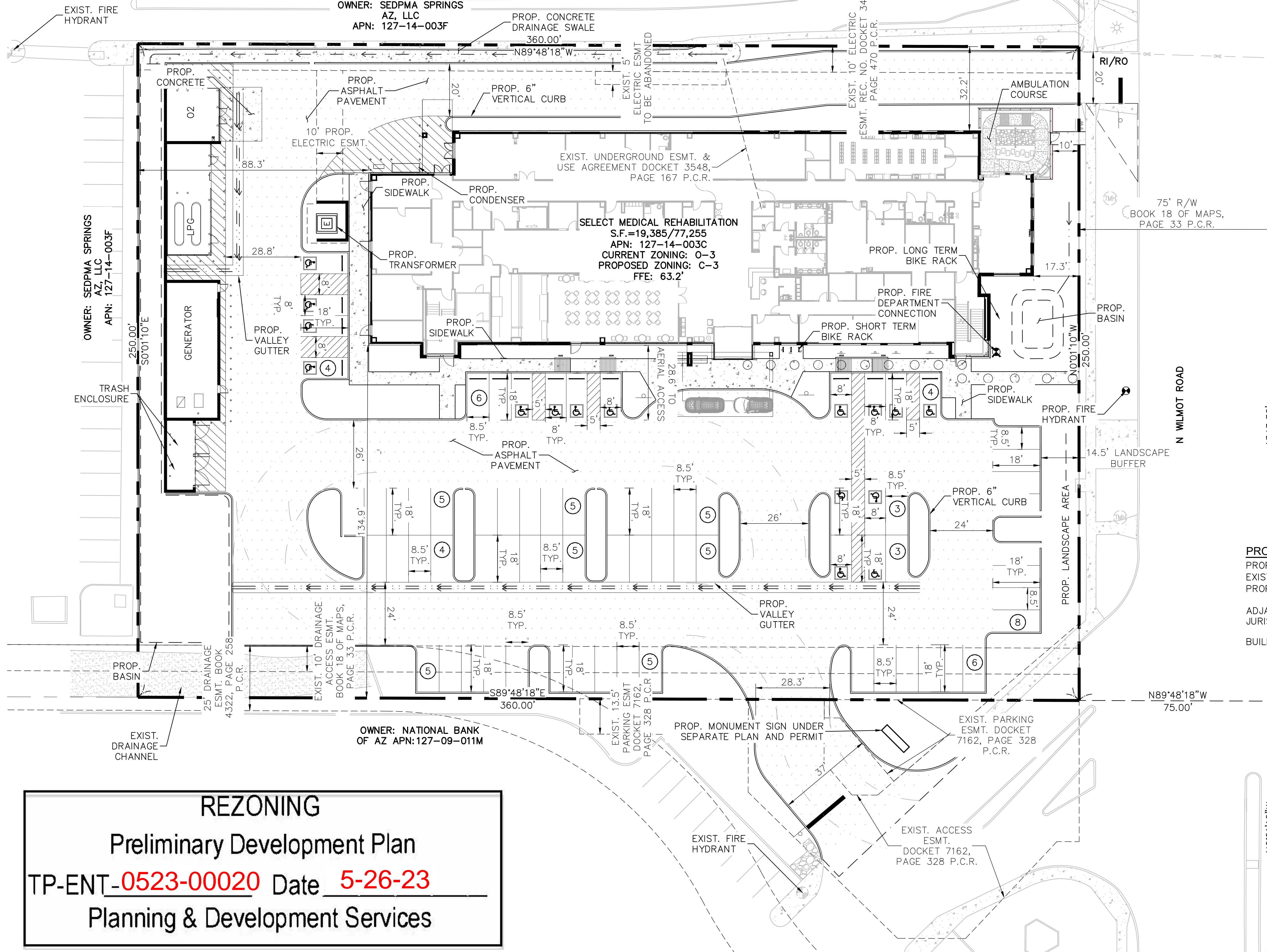
OWNER: WN TUCSON APARTMENTS, LLLP  
APN: 127-09-011M

OWNER: SEDPMA SPRINGS AZ, LLC  
APN: 127-14-003F

**SELECT MEDICAL REHABILITATION**  
S.F.=19,385/77,255  
APN: 127-14-003C  
CURRENT ZONING: O-3  
PROPOSED ZONING: C-3  
FFE: 63.2'

OWNER: NATIONAL BANK OF AZ APN: 127-09-011M

EAST QUARTER CORNER OF SECTION 12, T14S, R14E., G.&S.R.B.&M.  
FOUND BRASS CAP IN HANDHOLE  
N: 448686.76  
E: 1027543.87



**VICINITY MAP**  
3"=1 MILE

**SITE CALCULATIONS**

BUILDING HEIGHT	62.8'
BUILDING AREA:	19,385 SF / (57,230 SF TOTAL)
TOTAL LOT COVERAGE:	19,385 SF / 90,000 SF = 21.5%
LOT AREA	NET (AC) 2.07± 90,000± SF
GROSS (AC)	2.50± 108,750± SF

**PARKING REQUIREMENTS**

PARKING REQUIRED:	
MEDICAL SERVICE:	
1 SPACE PER 2 BEDS	66 BEDS/(1 SPACE/2 BEDS) = 33 SPACES
PER IBC ADA:	20% PER BED (0.2 SPACE / BED) = 13 SPACES
STAFF SPACE:	= 3 SPACES
<b>TOTAL REQUIRED</b>	<b>49 SPACES</b>

**PARKING PROVIDED:**

STANDARD:	57 SPACES
ACCESSIBLE:	16 SPACES
TOTAL	73 SPACES

LOADING SPACES (10'X25'): 0 LOADING SPACE REQUIRED

SHORT-TERM BICYCLE PARKING: (0.05 SPACE\*66 BEDS 2 SPACE MIN) = 3 SPACES  
LONG-TERM BICYCLE PARKING: (0.15 SPACE\*66 BEDS 2 SPACE MIN) = 10 SPACES  
LOADING SPACE 1 SPACE

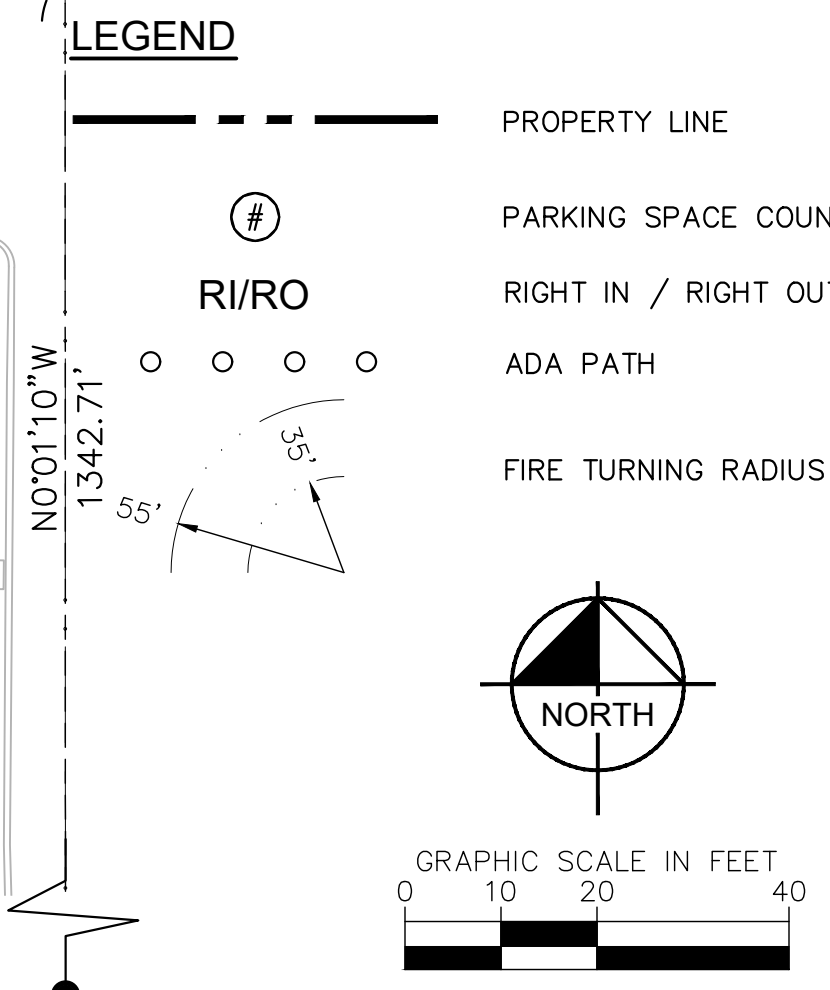
SHORT-TERM BICYCLE PARKING: 3 SPACES  
LONG-TERM BICYCLE PARKING: 10 SPACES

**PROJECT INFORMATION**

PROPOSED USE: REHABILITATION FACILITY  
EXIST. ZONING: O-3 (OFFICE)  
PROPOSED ZONING: C-3 (COMMERCIAL)

ADJACENT ZONING: O-3 (OFFICE); C-1 (COMMERCIAL); C-3 (COMMERCIAL)  
JURISDICTION: TUCSON, ARIZONA

<b>BUILDING/LANDSCAPE SETBACKS:</b>	<b>REQUIRED</b>	<b>BLDG PROVIDED</b>	<b>LS PROVIDED</b>
NORTH SETBACK:	0'BLDG/0'LS	32.2'	0'
SOUTH SETBACK:	0'BLDG/0'LS	134.9'	0'
WEST SETBACK:	0'BLDG/0'LS	88.3'	0'
EAST (WILMOT ROAD) SETBACK:	10'BLDG/10'LS	10.0'	10'



**REZONING**  
Preliminary Development Plan  
TP-ENT-0523-00020 Date 5-26-23  
Planning & Development Services

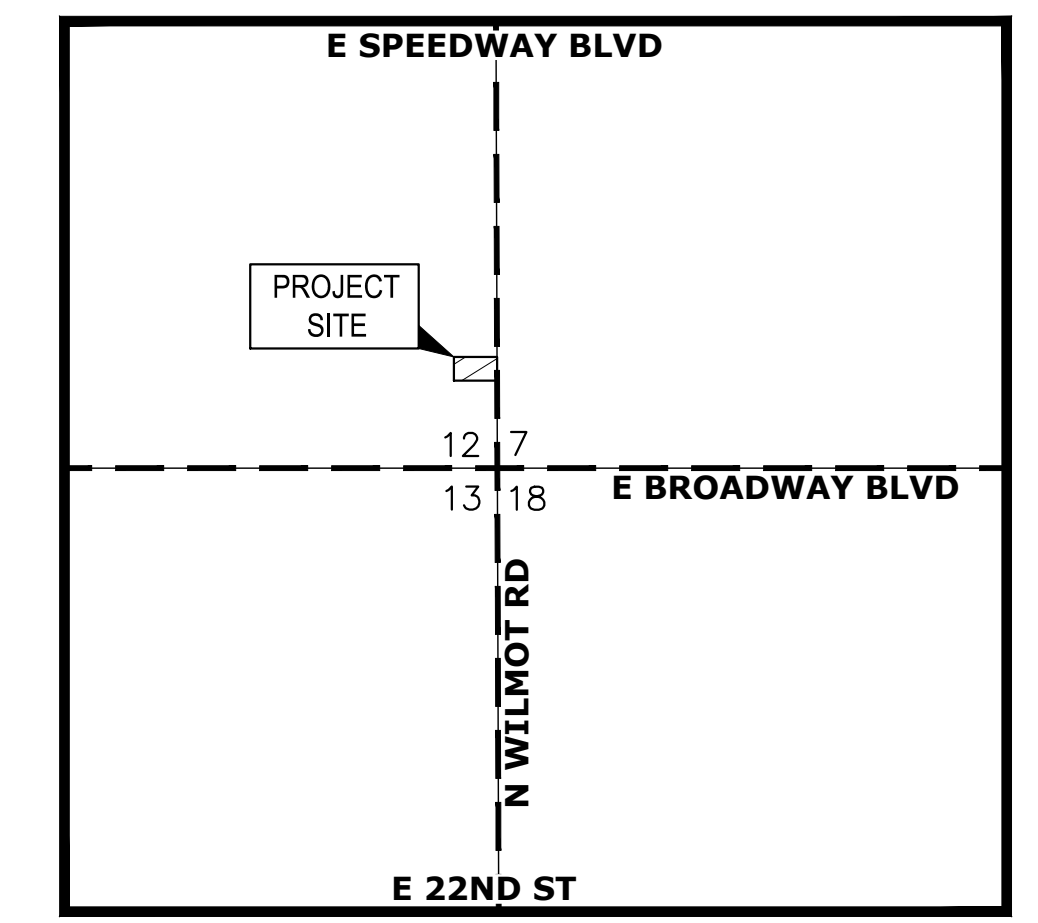
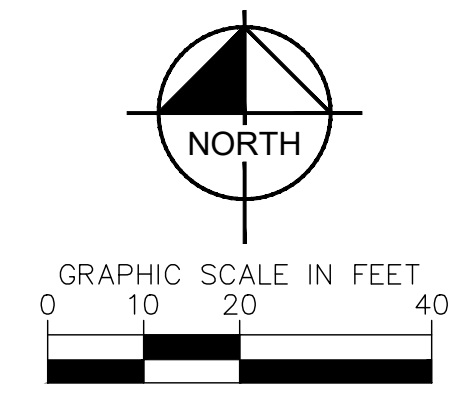
SOUTHEAST CORNER OF SECTION 12, T14S, R14E., G.&S.R.B.&M.  
CALCULATED POSITION  
N: 446000.73  
E: 1027544.78



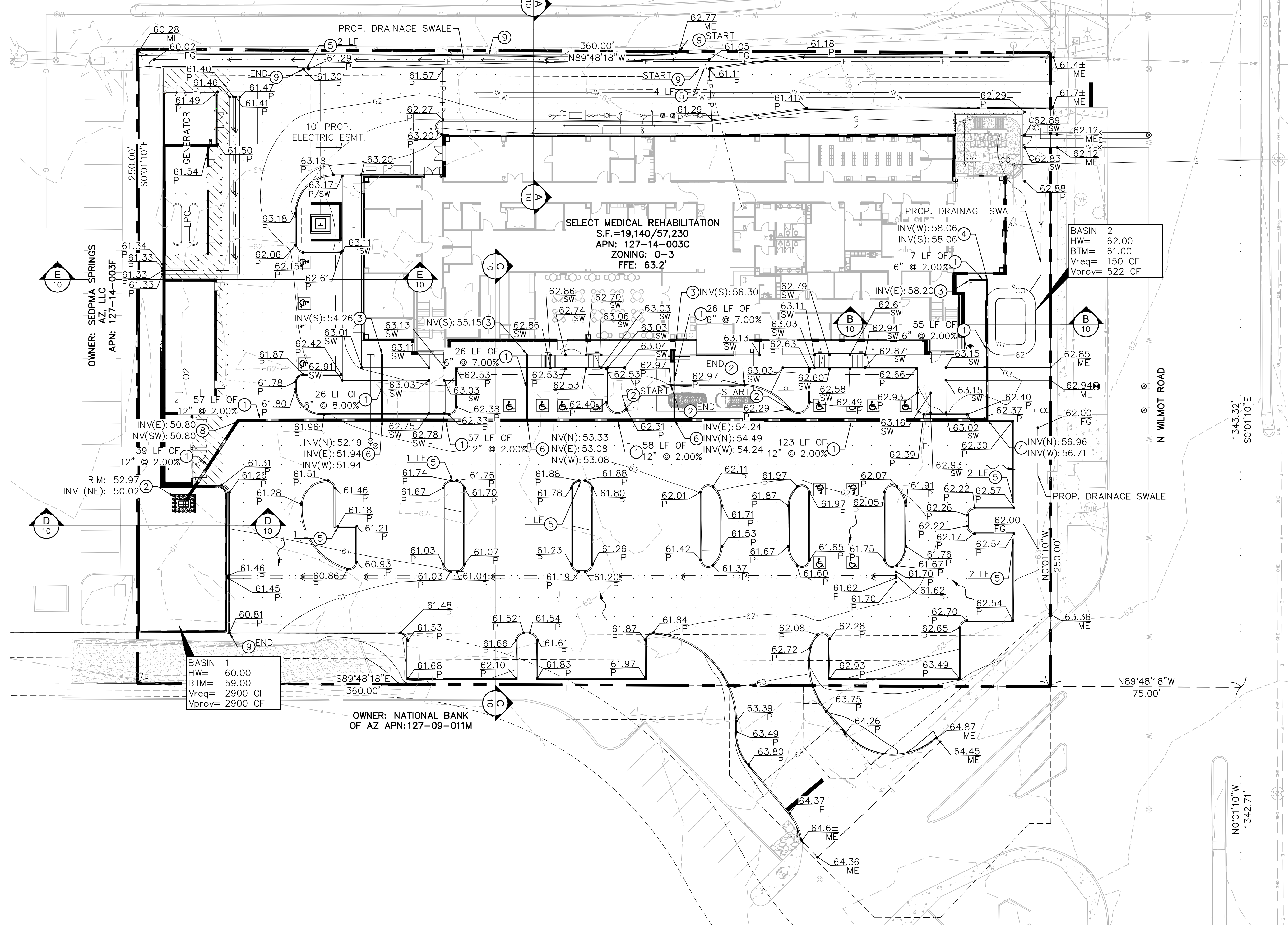
<p><b>Kimley»Horn</b></p> <p>2022 KIMLEY-HORN AND ASSOCIATES, INC. 333 East Wetmore Road, Suite 280 Tucson, Arizona 85705 (520) 615-9191</p>	<p>SITE PLAN</p>	<p>SCALE: 1"=20'</p>	<p>PRELIMINARY</p> <p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>Kimley-Horn and Associates, Inc. ENGINEER M. UPDEGRAFF PE NO. 74636 DATE 5/19</p>	<p>PRELIMINARY DEVELOPMENT PACKAGE FOR SELECT MEDICAL</p> <p>LOCATED IN THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 14 SOUTH, RANGE 14 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p> <p>ADMINISTRATIVE ADDRESS: 355 N WILMOT RD, TUCSON, AZ 85711</p> <p>PLAN NO. _____ OF _____</p>					
	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION				<p>REFERENCE:</p>	
NO.	DATE	REVISION							

OWNER: WN TUCSON  
APARTMENTS, LLLP  
APN: 127-09-011M

EAST QUARTER CORNER  
OF SECTION 12, T14S, R14E.,  
G.&S.R.B.&M.  
FOUND BRASS CAP IN HANDHOLE  
N: 448686.76  
E: 1027543.87



VICINITY MAP  
3"=1 MILE



**GRADING NOTES**

- ① INSTALL HDPE STORM DRAIN PIPE, SIZE, LENGTH, AND SLOPE PER PLAN. BEDDING AND BACKFILL PER DETAIL ON SHEET 9.
- ② CONSTRUCT FLUSH CURB TYPE 'B' PER MAG STD DET 220. LOCATION PER PLAN.
- ③ INSTALL DOUBLE BUBBLE BOX PER MODIFIED COT STD DET 309, REF. DETAIL ON SHEET 9. RIM AND INVERT PER PLAN.
- ④ CONSTRUCT SCUPPER PER MAG STD DET 206 WITH SAFETY RAIL PER MAG STD DET 145.
- ⑤ LANDSCAPE ELEVATION GRADE 6" BELOW TOP OF CURB. LIMITS PER PLAN.
- ⑥ CONSTRUCT ROOF DRAIN CONNECTION PER DETAIL ON SHEET 8.
- ⑦ INSTALL HDPE STORM DRAIN 90° BEND. SIZE TO MATCH ADJOINING PIPES.
- ⑧ INSTALL HDPE STORM DRAIN 45° BEND. SIZE TO MATCH ADJOINING PIPES.
- ⑨ 2" CONCRETE TURNDOWN WITH 6" VERTICAL CURB EXPOSED PER DETAIL ON SHEET 8, REF HC PLAN. GRADES PER PLAN.

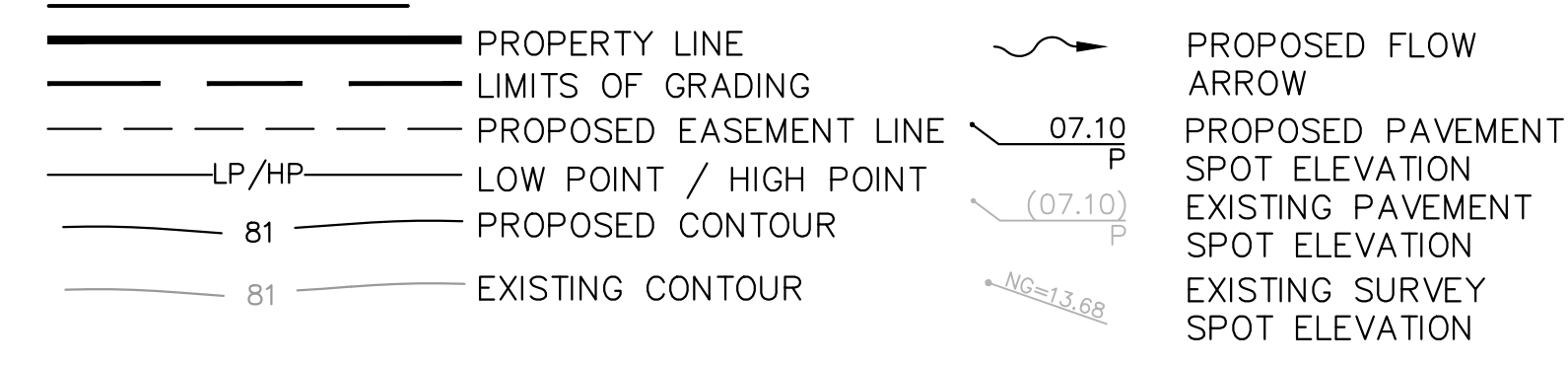
**RETENTION CALCULATIONS**

BASIN	VOLUME REQUIRED	VOLUME PROVIDED
BASIN 1	0.07 AC FT (2,900 CF)	0.07 AC FT (2,900 CF)
BASIN 2	0.003 AC FT (150 CF)	0.01 AC FT (522 CF)

**GENERAL NOTES:**

1. ALL SIDEWALKS SHALL HAVE A 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE.
2. ALL SIDEWALK RAMPS SHALL HAVE A 6" RISE AT 1:12 MAX.
3. REFER TO GRADING PLAN AND UTILITY PLAN FOR UNDERGROUND UTILITIES.
4. ADD 2500' TO ALL ELEVATIONS.

**GRADING LEGEND**



SOUTHEAST CORNER OF SECTION 12, T14S, R14E.,  
G.&S.R.B.&M.  
CALCULATED POSTION  
N: 446000.73  
E: 1027544.78



GRADING & DRAINAGE PLAN SCALE: 1"=20'



PRELIMINARY DEVELOPMENT PACKAGE FOR SELECT MEDICAL	
FOR REVIEW ONLY NOT FOR CONSTRUCTION	
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 14 SOUTH, RANGE 14 EAST OF THE GLA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA	
ADMINISTRATIVE ADDRESS: 355 N WILMOT RD, TUCSON, AZ 85711	REFERENCE:
PLAN NO.	OF

NO.	DATE	REVISION
1		

OWNER: WN TUCSON  
APARTMENTS, LLLP  
APN: 127-09-011M

OWNER: SEDPMA SPRINGS  
AZ, LLC  
APN: 127-14-003F

EXIST. 5' ELECTRICAL  
ESMT. PER DOC. 9713,  
PAGE 1183 P.C.R. TO  
BE ABANDONED

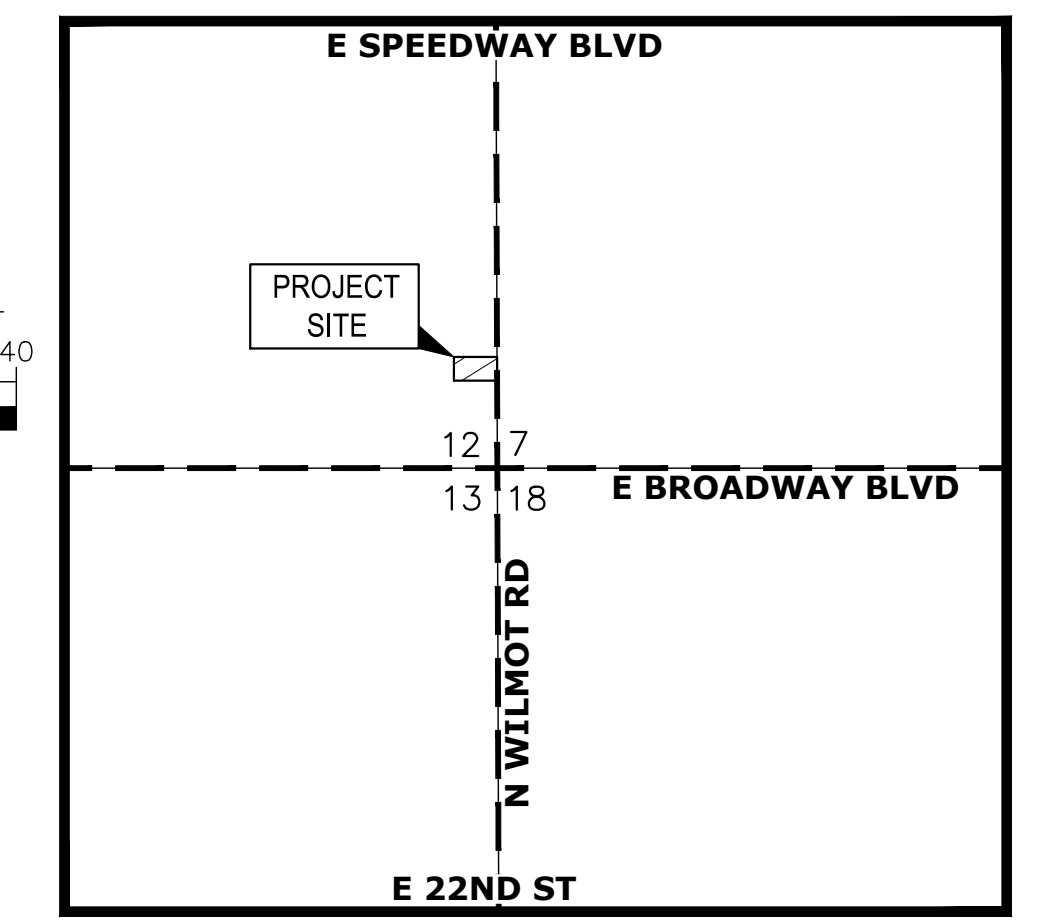
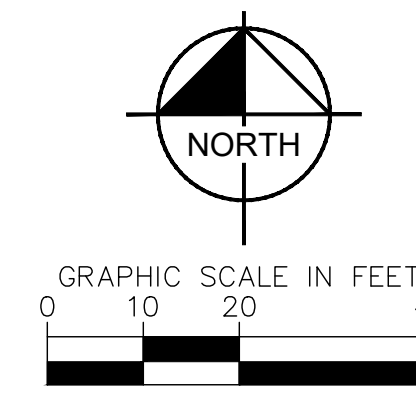
EXIST. 10' ELECTRICAL  
ESMT. PER DOC. 3462,  
PAGE 470 P.C.R.

EAST QUARTER CORNER  
OF SECTION 12, T14S, R14E.,  
G.&S.R.B.&M.  
FOUND BRASS CAP IN HANDHOLE  
N: 448686.76  
E: 1027543.87

OWNER: SEDPMA SPRINGS  
AZ, LLC  
APN: 127-14-003F

SELECT MEDICAL REHABILITATION  
S.F.=19,140/57,230  
APN: 127-14-003C  
ZONING: O-3  
FFE: 63.2'

OWNER: NATIONAL BANK  
OF AZ APN: 127-09-011M



VICINITY MAP  
3"=1 MILE

SEWER NOTES

- 1 CONNECT TO EXISTING SEWER STUB. INVERT PER PLAN.
- 2 CONNECT TO BUILDING SEWER AT TWO WAY CLEANOUT, INVERT PER PLAN. REF MEP PLANS FOR CONTINUATION.
- 3 INSTALL 6" P.V.C. SDR 35 SANITARY SEWER SERVICE. LENGTH AND SLOPE PER PLAN. BEDDING AND BACKFILL PER COT STD DET W-115.
- 4 INSTALL 6" SEWER CLEANOUT. INVERT PER PLAN.
- 5 REF MEP PLANS FOR CONTINUATION.

WATER NOTES

- 1 INSTALL 12"x8" D.I. TEE WITH THRUST BLOCKING PER COT STD DET W-610.
- 2 INSTALL 8" GATE VALVE PER COT STD DET W-300.
- 3 INSTALL FIRE HYDRANT ASSEMBLY AND VALVE COMPLETE PER COT STD DET W-500. BEDDING AND BACKFILL PER COT STD DET W-115. 4' MINIMUM COVER REQUIRED. LENGTH PER PLAN.
- 4 FDC LOCATION. SEE ARCHITECTURAL PLANS.
- 7 INSTALL 8-INCH D.I. FIRE LINE, BEDDING AND BACKFILL PER COT STD DET W-115. LENGTH PER PLAN. 4' MINIMUM COVER REQUIRED.
- 8 INSTALL 4" METER FOR DOMESTIC SERVICE PER COT STD DET W-310.
- 9 INSTALL 1.5" AMES LF4000B DOMESTIC WATER BACKFLOW PREVENTER, OR APPROVED EQUAL. REF LANDSCAPE PLANS FOR PROTECTIVE CAGE DETAILS.
- 10 DOMESTIC WATER BUILDING CONNECTION, REF MEP PLANS FOR CONTINUATION.
- 11 INSTALL 4" TYPE 'K' COPPER DOMESTIC WATERLINE. 1' MINIMUM COVER, LENGTH PER PLAN.
- 12 INSTALL 8" 90° D.I. BEND WITH THRUST BLOCKING PER COT STD DET W-610.
- 13 INSTALL 1.5" GATE VALVE PER COT STD DET W-300.
- 16 INSTALL 8" AMES C300 DOUBLE CHECK DETECTOR ASSEMBLY (OR APPROVED EQUAL). CONTRACTOR SHALL MAINTAIN AN UNOBSTRUCTED RADIUS OF NO LESS THAN THREE FEET FROM THE OUTER PERIMETER OF THE BACKFLOW PREVENTOR PER COT STD DET SD-1805.
- 17 INSTALL 6" GATE VALVE PER COT STD DET W-300.
- 18 INSTALL 6-INCH D.I. FIRE LINE, BEDDING AND BACKFILL PER COT STD DET W-115. LENGTH PER PLAN. 4' MINIMUM COVER REQUIRED.
- 19 FIRE LINE BUILDING CONNECTION TO WITHIN 5' OF BUILDING. CONTINUATION BY OTHERS.
- 20 INSTALL 12"x6" D.I. TEE WITH THRUST BLOCKING PER COT STD DET W-610.
- 21 INSTALL 3/4" METER FOR IRRIGATION SERVICE PER COT STD DET W-310.
- 22 INSTALL 4" DOMESTIC SERVICE.
- 24 INSTALL 8" GATE VALVE PER COT STD DET W-300.

GENERAL NOTES

- 1 PROPOSED STORM DRAIN, REFER TO GRADING AND DRAINAGE PLAN.
- 3 WET UTILITY CROSSING, REF PLANS FOR TOP AND BOTTOM ELEVATIONS.

DRY UTILITY NOTES

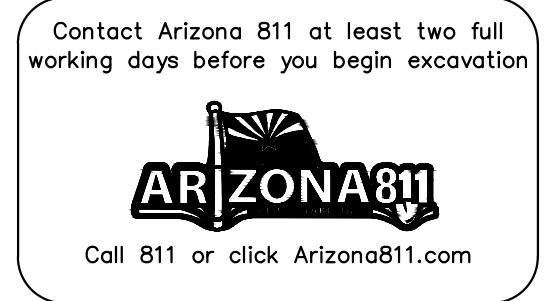
- 1 PROPOSED UTILITY ROUTINGS ARE APPROXIMATE AND ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH TELEPHONE, ELECTRIC, CABLE, AND GAS SERVICE PROVIDERS ON EXACT CONNECT LOCATIONS, ALIGNMENTS, AND CONSTRUCTION INFORMATION.
- 3 PROPOSED ELECTRIC PRIMARY ROUTING TO TRANSFORMER PAD (6-3" CONDUITS), REF MEP PLANS FOR CONTINUATION, REF SRP PLANS FOR CONSTRUCTION INFORMATION.

- 4 INSTALL 7.5'x5.5' TRANSFORMER PAD, REFER TO SRP PLANS FOR REQUIREMENTS. CONTRACTOR SHALL COORDINATE ELECTRICAL CLEARANCES AND DOOR OPENING DIRECTIONS WITH ELECTRICAL COMPANY PRIOR TO INSTALLATION.
- 5 PROPOSED SECONDARY ROUTING FROM TRANSFORMER TO SES (6-3").
- 6 PROPOSED SES REF ARCHITECTURAL PLANS.

GAS NOTES

- 1 INSTALL 2" P.E. GAS PIPE PER TYPICAL GAS MAIN TRENCH DETAIL. CUSTOMER TO PROVIDE ALL TRENCHING BACKFILL AND COMPACTION.

SOUTHEAST CORNER OF SECTION 12, T14S, R14E.,  
G.&S.R.B.&M.  
CALCULATED POSITION  
N: 446000.73  
E: 1027544.78



NO.	DATE	REVISION
1		

UTILITY PLAN		SCALE: 1"=20'	PRELIMINARY DEVELOPMENT PACKAGE FOR SELECT MEDICAL	
<p>2022 KIMLEY-HORN AND ASSOCIATES, INC. 333 East Wetmore Road, Suite 280 Tucson, Arizona 85705 (520) 615-9191</p>		<p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>ENGINEER M. UPDEGRAFF PE NO. 74636 DATE 5/19</p>	<p>LOCATED IN THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 14 SOUTH, RANGE 14 EAST OF THE GLA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p>	
			ADMINISTRATIVE ADDRESS: 355 N WILMOT RD, TUCSON, AZ 85711	REFERENCE: OF
PLAN NO.			OF	

**SELECT MEDICAL PROPOSED REZONING NOTIFICATION LETTER**

**REQUEST:** A proposal (Case #: TP-PRE-0223-00126) for a rezoning from O-3 (Office Zone) to C-3 (Commercial Zone).

**PURPOSE:** To rezone the underlying property from the O-3 (Office Zone) to C-3 (Commercial Zone) to allow development of a 4-story medical rehabilitation facility. The proposed use is consistent with the proposed zoning district (C-3) and the Tucson General Plan.

**LOCATION:** Located in Southeast Quarter of Section 12, Township 14 South, Range 14 East, within the City of Tucson, north and west of the intersection of E Carondelet Drive and N Wilmot Road.

**APN's (1):** 127-14-003C

**ADDRESS:** 355 N Wilmot Road, Tucson, AZ 85711

**SIZE:** +/- 2.50 Acres

**OWNER/ DEVELOPER:** Select Medical  
4716 Gettysburg Road  
Mechanicsburg, PA 17055

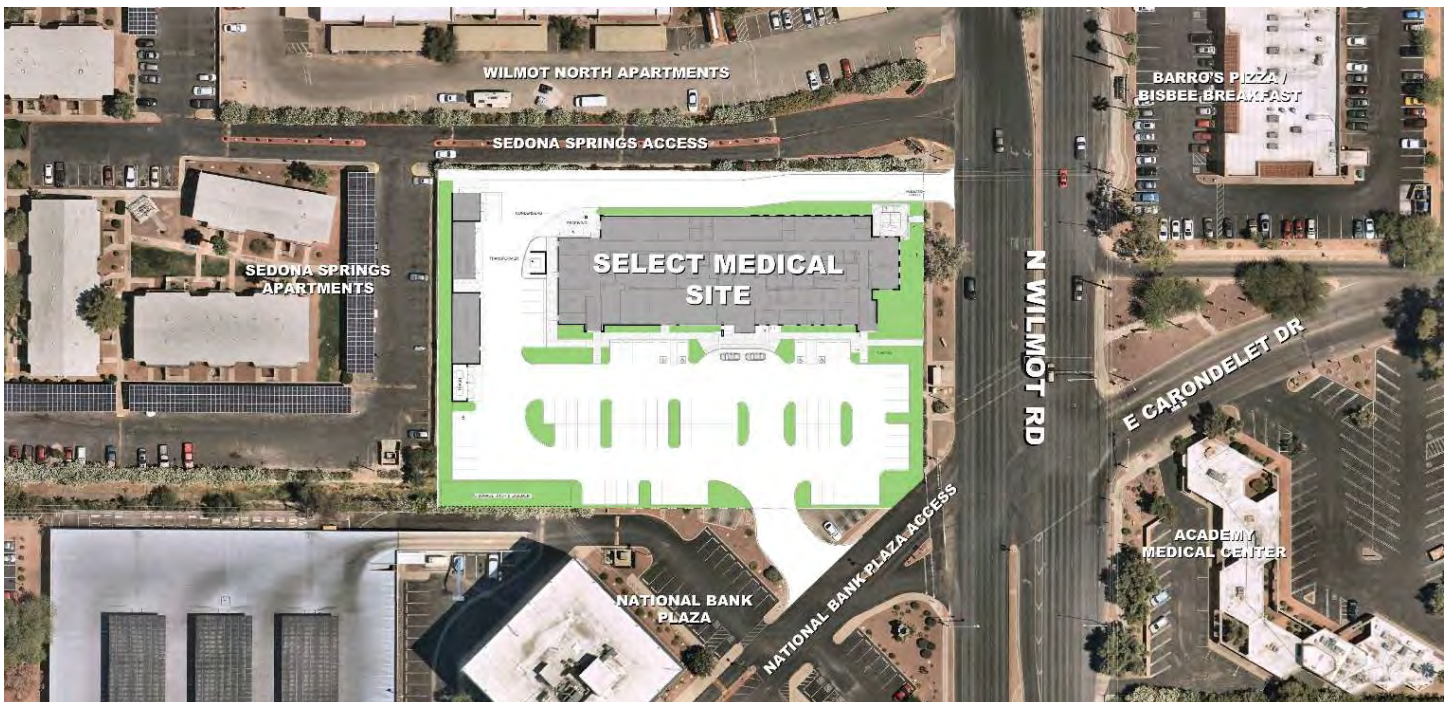
**APPLICANT/CIVIL ENGINEER/CONTACT:**  
Kimley-Horn  
333 E Wetmore Rd., Suite 280  
Tucson, AZ 85705  
Contact: Matt Updegraff  
Phone: 623.552.3189  
Email: [Matt.Updegraff@kimley-horn.com](mailto:Matt.Updegraff@kimley-horn.com)

This notice is being sent to you because you are listed as property owners within 400 feet of the property or a registered neighborhood association within one mile of proposal. An application with the City of Tucson Planning and Development regarding the request above is being proposed and we are reaching out to invite you to a neighborhood meeting. This will give us an opportunity to discuss the proposal, discuss any questions and collect your insights and feedback. If you are unable to attend the meeting, please do not worry. We will make ourselves available as necessary to discuss the project. You can contact me (Matt Updegraff) by phone (623.552.3189) or email ([Matt.Updegraff@kimley-horn.com](mailto:Matt.Updegraff@kimley-horn.com)) with any questions. Also available for questions is our city contact for this case, Gabriel Sleighter ([Gabriel.Sleighter@tucsonaz.com](mailto:Gabriel.Sleighter@tucsonaz.com)).

**NEIGHBORHOOD MEETING/OPEN HOUSE INFORMATION:**

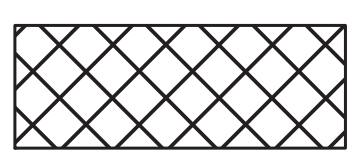
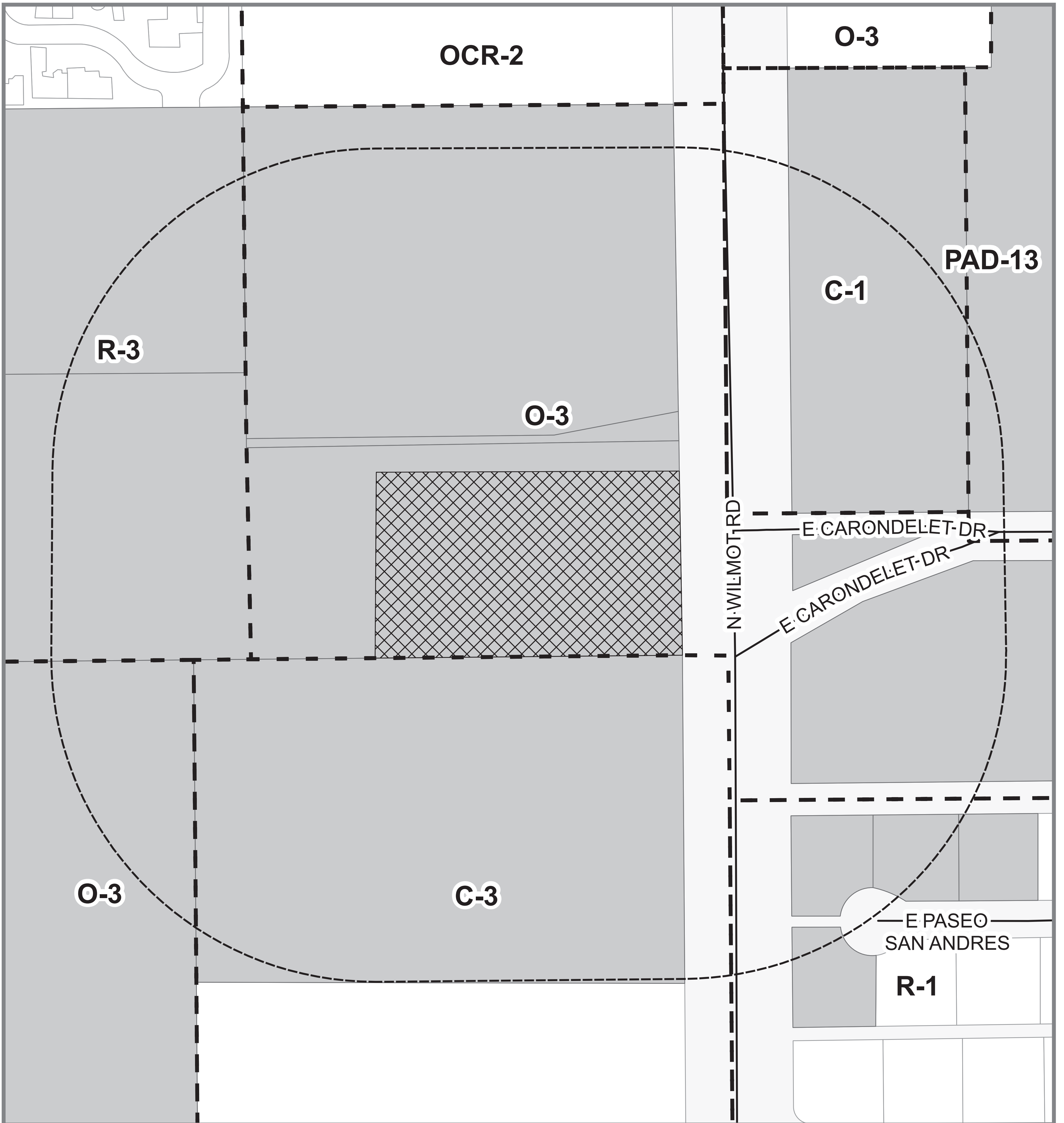
**DATE:** Wednesday, April 12<sup>th</sup>, 2023,      **LOCATION:** St. Michael & All Angels Church, Parish Center  
**TIME:** 6:00 p.m. to 7:00 p.m.      602 North Wilmot Road, Tucson, Arizona 85711

Vicinity Map (Not to scale)

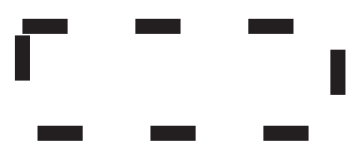


**THIS IS NOT A NOTICE OF A PUBLIC HEARING WITH THE PLANNING COMMISSION OR CITY COUNCIL. HOWEVER, YOU MAY RECEIVE SUCH A NOTICE AT A FUTURE DATE IF THE APPLICATION IS SCHEDULED FOR HEARING.**

# TP-PRE-0223-00126 Rezoning Pre App



Subject Property



Zone Boundaries



Properties Notified



400' Notification Area

Address: 355 N WILMOT RD  
Base Maps: Twp. 1403 Range 1402 Sec. 12  
Ward(s): 6



1:2,076







## St. Michael's School Parish Center Rental Agreement – Kimley-Horn

### Scope of Agreement

This Rental Agreement is between St. Michael's School (the "School") and **Kimley-Horn** hereinafter referred to as "Client." The purpose of this Agreement is to define the obligations of both parties pertaining to the rental of the School's special events venue(s) described in the enclosed Attachment.

The Parish Center ("Venue") has been reserved for you for the date and time stipulated. It is understood you will adhere to and follow the terms of this Agreement, and you will be responsible for any damage to the premises and site, including the behavior of your guests, invitees, agents, or sub-contractors resulting from your use of the Venue.

In addition to the Certificate of Insurance you will be providing as the Client, you are also responsible for providing the School with valid certificates of insurance with the proper amounts of coverage for all sub-contractors (if applicable) that you are using for your event. These sub-contractors include, but are not limited to, caterers, valets, performers, photographers, entertainment, equipment rentals (tables/chairs/tents, etc.), florists, decorators, sound and lighting technicians, etc. All sub-contractors must have a certificate of insurance, naming "St. Michael's School" as additional insured. In addition, each sub-contractor's certificate of insurance must include a separate endorsement naming "The Rector, Wardens and Vestrymen of The Church of St. Michael and All Angels" as an additional insured.

### Fees and Deposits

The rental fee of \$150.00, payable by check is due by April 15, 2023.

Upon receipt of this contract, a rental fee deposit in the amount \$0 is due.

Please email via DocuSign your signed Agreement and mail your rental fee to:

St. Michael's School  
c/o Charmaine Lang, Director of Finance & Operations  
602 N. Wilmot Road  
Tucson, AZ 85711

## **Insurance**

Proof of liability insurance is required prior to your event. You may provide evidence of your own insurance company. You can email the certificate of insurance and endorsement to the Director of Finance & Operations at the address above or email to: [clang@stmichael.net](mailto:clang@stmichael.net)

## **Levels of Insurance Required**

The Client is responsible for providing a Certificate of Insurance and endorsement for themselves (and separate certificates and endorsements for each sub-contractor being used) at the following minimum levels:

- 1) Commercial Liability Insurance for a minimum of \$1,000,000 per occurrence and \$2,000,000 aggregate.
- 2) Auto Liability Insurance of \$1,000,000 combined single limit (for vendors); and
- 3) Workers' compensation plus \$1,000,000 minimum employer's liability limit (for vendors).
- 4) Naming "The Rector, Wardens and Vestrymen of The Church of St. Michael and All Angels" as additional insured is also required.

Client assumes full responsibility and liability for any and all damages to the School venue and surrounding site.

## **Indemnity**

In addition, Client agrees to indemnify and hold harmless The School, its officers, staff and agents working on its behalf, from any and all claims, actions, suits, costs, damages, and liabilities resulting from the breach of this Agreement, the negligent actions, willful misconduct or omissions of Client, and Client's guests, invitees, agents and sub-contractors.

## **Clean Up**

Client shall be responsible for returning the venue to the state that it was provided to them. All property belonging to Client, Client's invitees, guests, agents and sub-contractors, will be removed by the end of the rental period. The School is not responsible for any property left behind by Client, Client's guests, invitees, agents, and sub-contractors. The Client is responsible for any and all damages to School venues and surrounding site.

**Force Majeure**

The ability to execute this Agreement by either party is subject to the Acts of God, including but not limited to hurricanes, flooding, earthquakes, fires, etc., as well as any government intervention, staff disputes and strikes, civil disorders, terrorism, or other emergencies. Should the event be canceled through a Force Majeure event, all fees paid by Client to School will be returned to Client within thirty (30) days.

**Publicity/Use of Name and Logo**

Client shall not use the name of the School, any trade name, service mark, trademarks, acronym or logo of the School in any publicity releases, advertising or any other publication without the School's prior written consent.

**Authorization**

The person(s) signing the Agreement on behalf of the parties each warrant that they are authorized to make agreements and to bind their principals to this Agreement.

**Acceptance**

Upon signing of this Agreement, a fully executed agreement will be in force.

Each of the undersigned has read this Agreement, understands and accepts the terms herein:

\_\_\_\_\_  
Client Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
School Signature

\_\_\_\_\_  
Date

## CONFIRMATION OF EVENT REGISTRATION

April 12, 2023  
Kimley-Horn

Time: Wednesday, April 12<sup>th</sup> 6:00 – 7:00 p.m. (4:30 p.m. set up)

Cost: \$150.00

Deposit: No deposit required

Keys: No keys will be issued to client

Insurance: Certificate on file (as of 4/11/23)

### Rules of Conduct:

- No alcohol is allowed anywhere on campus.
- No smoking is allowed anywhere on campus.
- The facility must be left in the same condition.

Sincerely,  
Deborah Mulvihill  
Administrative Coordinator  
dmulvihill@stmichael.net

Agreed to by:

Signature & Title: \_\_\_\_\_

\_\_\_\_\_ Date



N WILMOT RD

U of A  
MEDICAL CENTER

WILMOT NORTH APARTMENTS

SEDONA SPRINGS  
APARTMENTS

SELECT  
MEDICAL  
SITE

NATIONAL BANK  
PLAZA

COMMERCIAL  
CENTER

ST JOSEPH'S  
HOSPITAL  
COMPLEX

ACADEMY  
MEDICAL CENTER

E CARONDELET DR

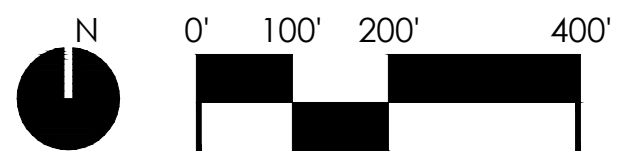
N WILMOT RD



**SELECT MEDICAL**  
TUCSON, AZ

**AERIAL CONTEXT**

04/12/2023 | CREATED BY: JBK | SCALE: 1"=200'



**Kimley»Horn**



EXTERIOR VIEWS  
REHABILITATION HOSPITAL - TUCSON, AZ

**GWG<sup>3</sup>**  
ARCHITECTURE, PLLC  
APRIL 12, 2023



EXTERIOR VIEWS  
REHABILITATION HOSPITAL - TUCSON, AZ



3rd FLOOR  
22 REHAB BEDS  
19,290 SQ.FT.

ROOM USE TYPE LEGEND

- ADMINISTRATION
- CIRCULATION
- MECH./ELEC./DATA
- PATIENT CARE STAFF
- PATIENT CARE/THERAPY
- PRIVATE PATIENT ROOMS
- PUBLIC SPACE
- STORAGE



4th FLOOR  
14 REHAB BEDS  
8 BRAIN INJURY BEDS  
19,290 SQ.FT.

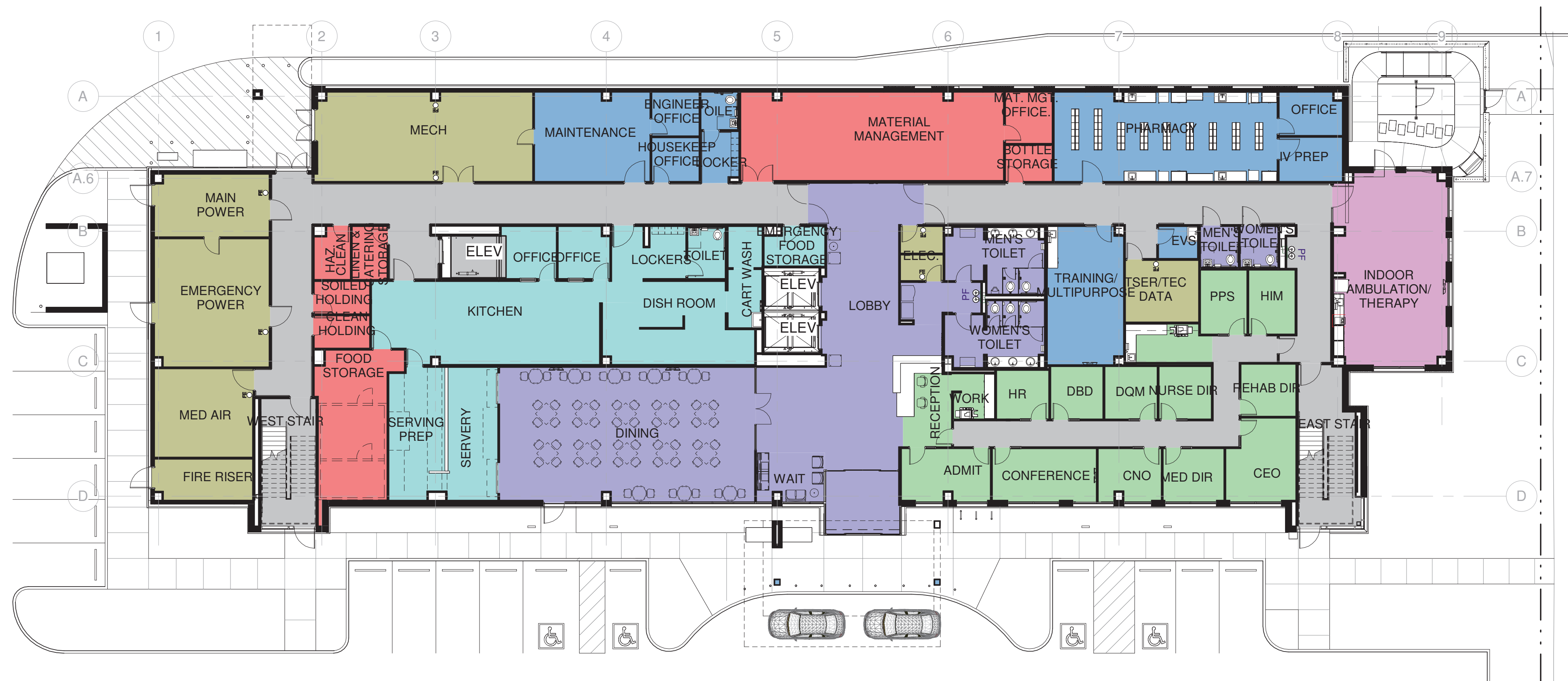
ROOM USE TYPE LEGEND

- ADMINISTRATION
- CIRCULATION
- MECH./ELEC./DATA
- PATIENT CARE STAFF
- PATIENT CARE/THERAPY
- PRIVATE PATIENT ROOMS
- PRIVATE PATIENT RM - BRAIN INJURY
- PUBLIC SPACE
- STORAGE



3rd & 4th FLOOR PLANS  
REHABILITATION HOSPITAL - TUCSON, AZ





1st FLOOR - ADMIN  
DINING, MECH./ELEC.  
19,385 SQ.FT.

ROOM USE TYPE LEGEND

- ADMINISTRATION
- CIRCULATION
- KITCHEN
- MECH./ELEC./DATA
- PATIENT CARE/THERAPY
- PUBLIC SPACE
- STORAGE
- SUPPORT



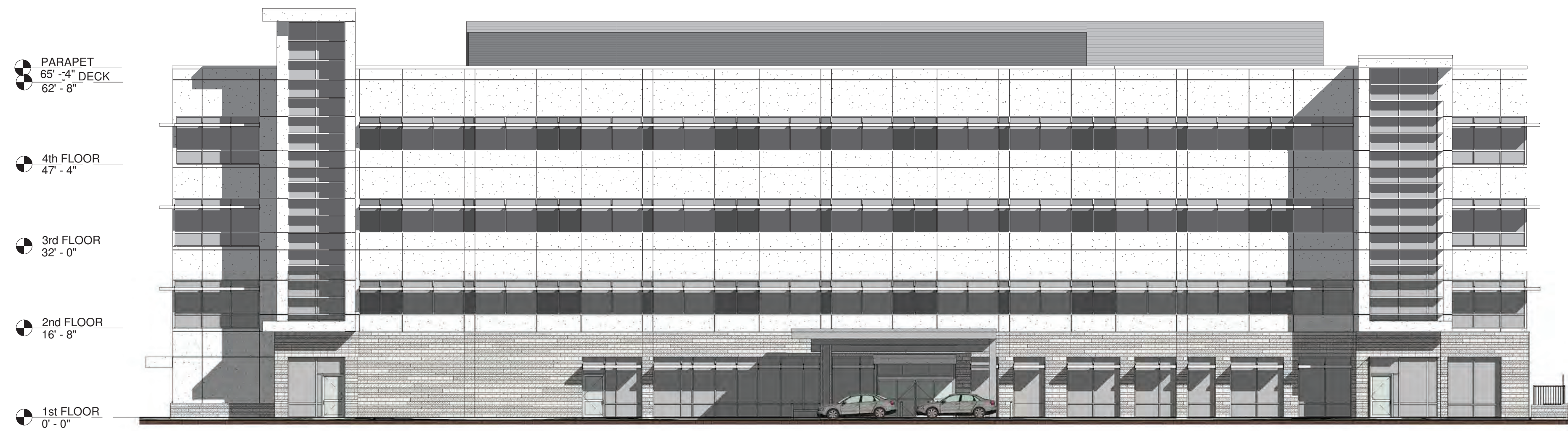
2nd FLOOR  
22 REHAB BEDS  
19,290 SQ.FT.

ROOM USE TYPE LEGEND

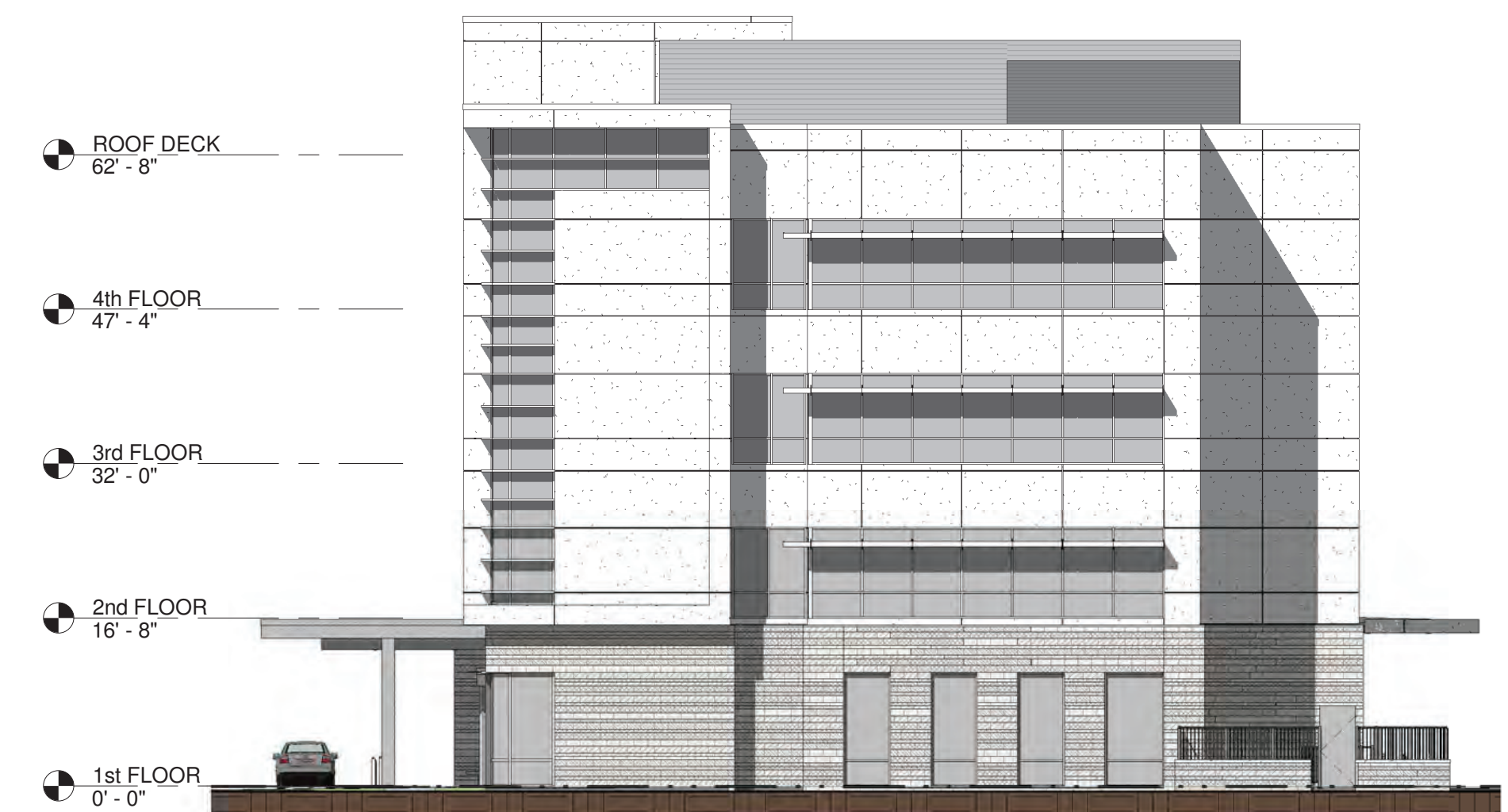
- ADMINISTRATION
- CIRCULATION
- MECH./ELEC./DATA
- PATIENT CARE STAFF
- PATIENT CARE/THERAPY
- PRIVATE PATIENT ROOMS
- PUBLIC SPACE
- STORAGE



1st & 2nd FLOOR PLANS  
REHABILITATION HOSPITAL - TUCSON, AZ



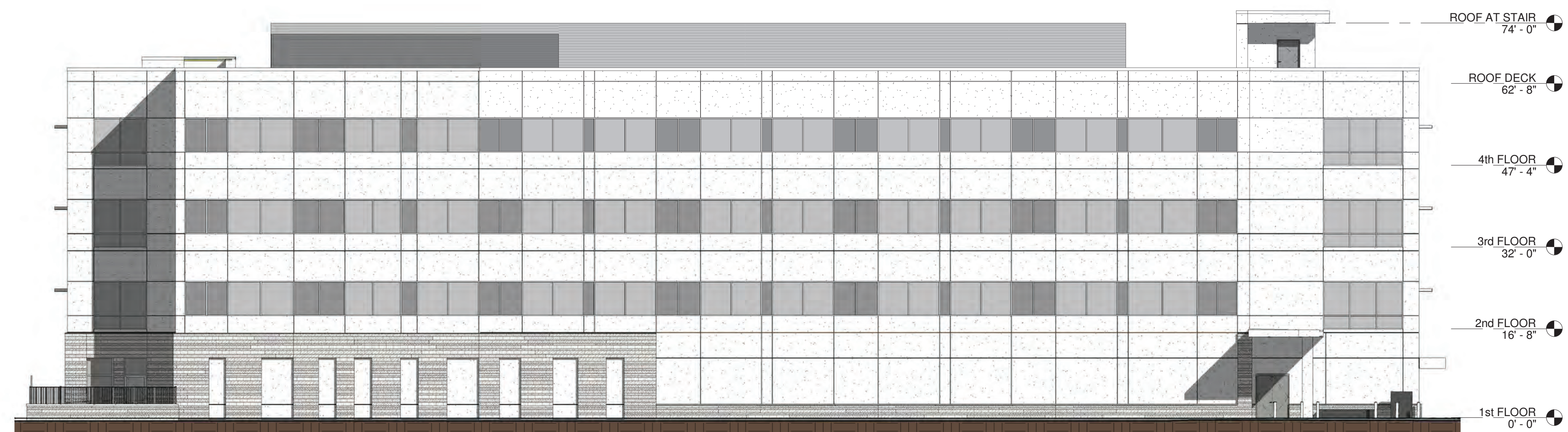
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



WEST ELEVATION



EXTERIOR ELEVATIONS  
REHABILITATION HOSPITAL - TUCSON, AZ

**GWG<sup>3</sup>**  
ARCHITECTURE, PLLC  
APRIL 12, 2023



SOUTHEAST VIEW



EAST VIEW



SOUTHWEST VIEW



NORTHEAST VIEW



EXTERIOR VIEWS  
REHABILITATION HOSPITAL - TUCSON, AZ

**GWG<sup>3</sup>**  
ARCHITECTURE, PLLC  
APRIL 12, 2023

OWNER: WN TUCSON  
APARTMENTS, LLLP  
APN: 127-09-011M

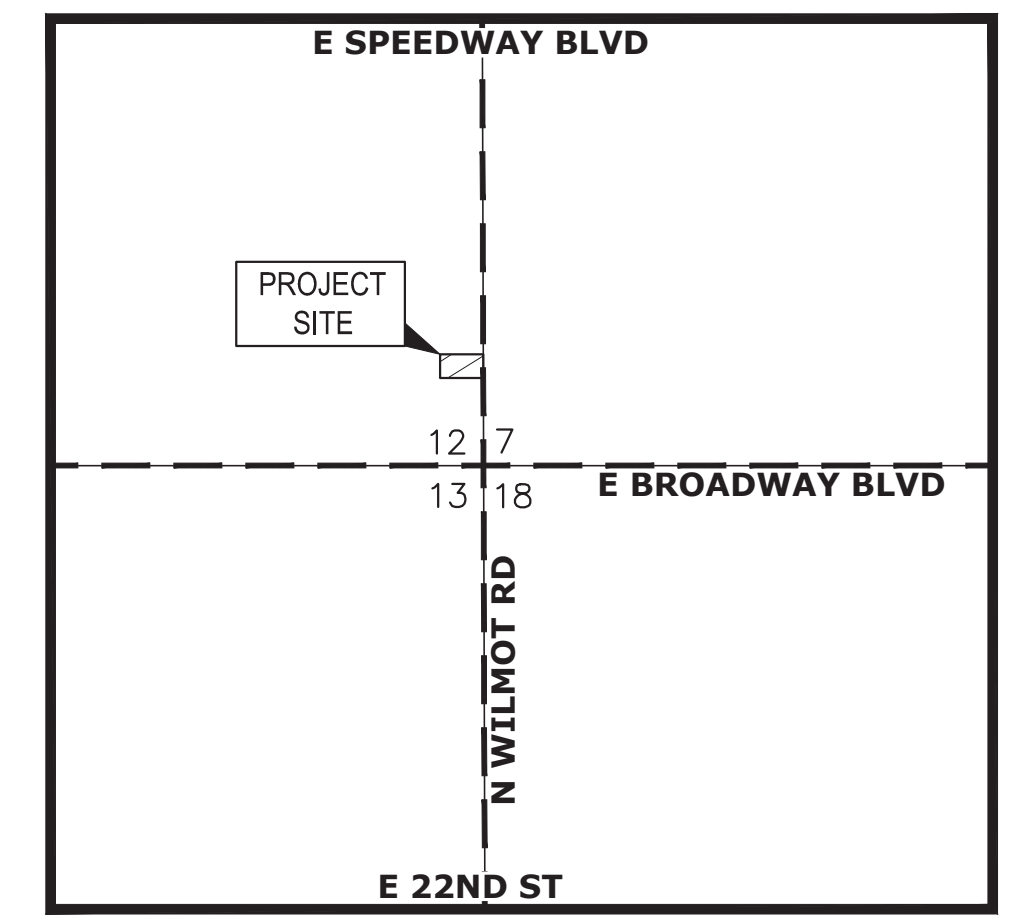
EAST QUARTER CORNER  
OF SECTION 12, T14S, R14E.,  
G.&S.R.B.&M.  
FOUND BRASS CAP IN HANDHOLE  
N: 448686.76  
E: 1027543.87

OWNER: SEDPMA SPRINGS  
AZ, LLC  
APN: 127-14-003F

PROP. CONCRETE  
DRAINAGE SWALE  
360.00'

SELECT MEDICAL REHABILITATION  
S.F.=19,385/77,255  
APN: 127-14-003C  
CURRENT ZONING: O-3  
PROPOSED ZONING: C-3  
FFE: 63.2'

OWNER: NATIONAL BANK  
OF AZ APN: 127-09-011M



VICINITY MAP  
3"=1 MILE

**SITE CALCULATIONS**  
BUILDING HEIGHT: 62.8'  
BUILDING AREA: 19,385 SF / (57,230 SF TOTAL)  
TOTAL LOT COVERAGE: 19,385 SF / 90,000 SF = 21.5%

**PARKING REQUIREMENTS**  
PARKING REQUIRED:  
MEDICAL SERVICE:  
1 SPACE PER 2 BEDS 66 BEDS/(1 SPACE/2 BEDS) = 33 SPACES  
PER ADA: 1 ACCESSIBLE SPACE REQUIRED = 1 SPACE  
TOTAL REQUIRED 34 SPACES

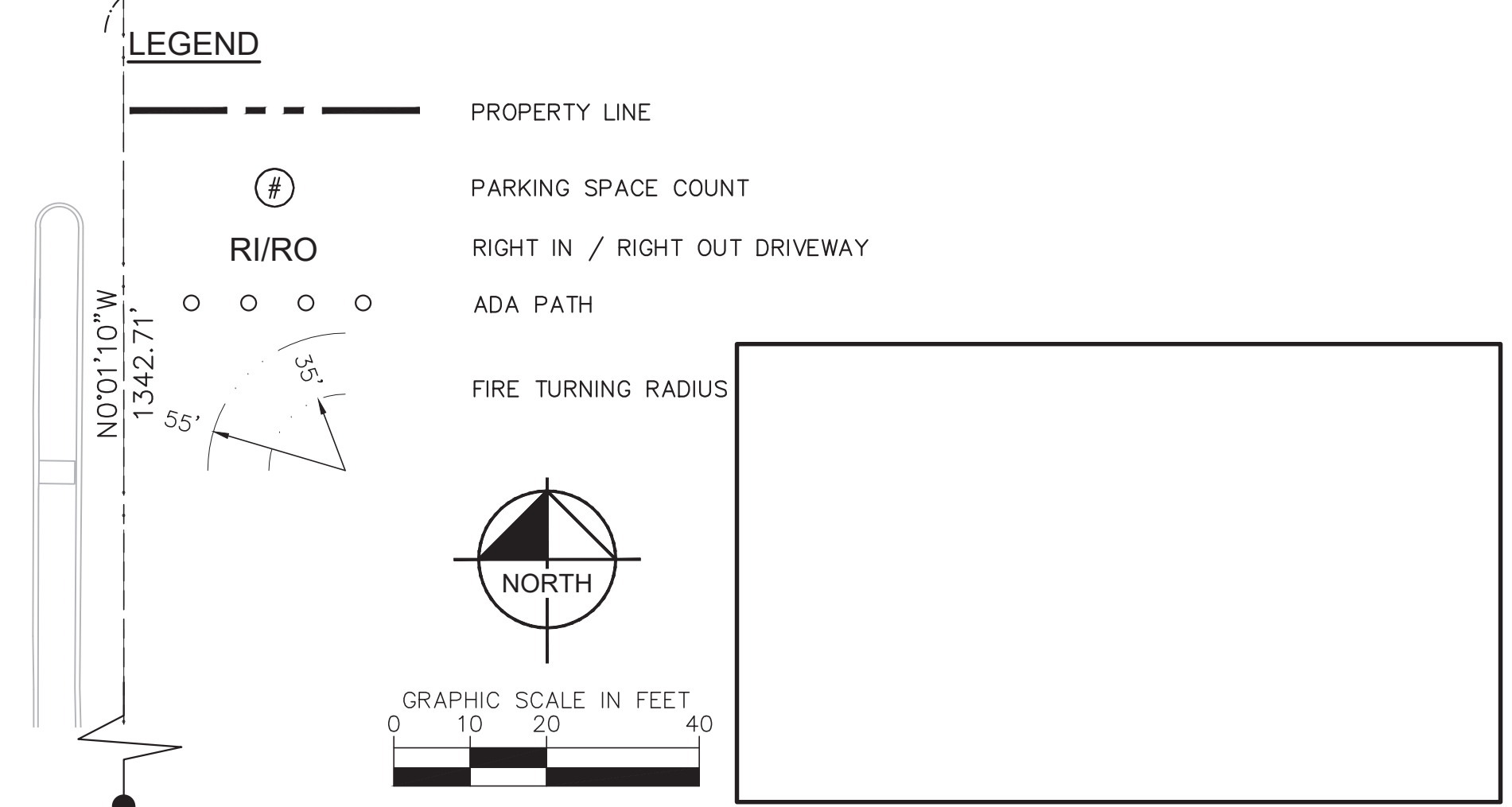
**PARKING PROVIDED:**  
STANDARD: 79 SPACES  
ACCESSIBLE: 4 SPACES  
TOTAL 83 SPACES

LOADING SPACES (10'X25'): 0 LOADING SPACE REQUIRED  
SHORT-TERM BICYCLE PARKING: (0.05 SPACE\*66 BEDS 2 SPACE MIN) = 3 SPACES  
LONG-TERM BICYCLE PARKING: (0.15 SPACE\*66 BEDS 2 SPACE MIN) = 10 SPACES  
LOADING SPACE 1 SPACE

SHORT-TERM BICYCLE PARKING: 3 SPACES  
LONG-TERM BICYCLE PARKING: 10 SPACES

**PROJECT INFORMATION**  
PROPOSED USE: REHABILITATION FACILITY  
EXIST. ZONING: O-3 (OFFICE)  
PROPOSED ZONING: C-3 (COMMERCIAL)  
ADJACENT ZONING: O-3 (OFFICE); C-1 (COMMERCIAL); C-3 (COMMERCIAL)  
JURISDICTION: TUCSON, ARIZONA

BUILDING/LANDSCAPE SETBACKS:	REQUIRED	BLDG PROVIDED	LS PROVIDED
NORTH SETBACK:	0'BLDG/0'LS	32.2'	0'
SOUTH SETBACK:	0'BLDG/0'LS	134.9'	0'
WEST SETBACK:	0'BLDG/0'LS	88.3'	0'
EAST (WILMOT ROAD) SETBACK:	10'BLDG/10'LS	10.0'	10'



SITE PLAN	SCALE: 1"=20'	DEVELOPMENT PACKAGE FOR SELECT MEDICAL	
		LOCATED IN THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 14 SOUTH, RANGE 14 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA.	
		ADMINISTRATIVE ADDRESS: 355 N WILMOT RD, TUCSON, AZ 85711	REFERENCE:
C 2022 KIMLEY-HORN AND ASSOCIATES, INC. 333 East Wetmore Road, Suite 280 Tucson, Arizona 85705 (520) 615-9191		PLAN NO.	

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

NO.	DATE	REVISION
1		

# Banner Health/Select Medical Proposed Plant Palette

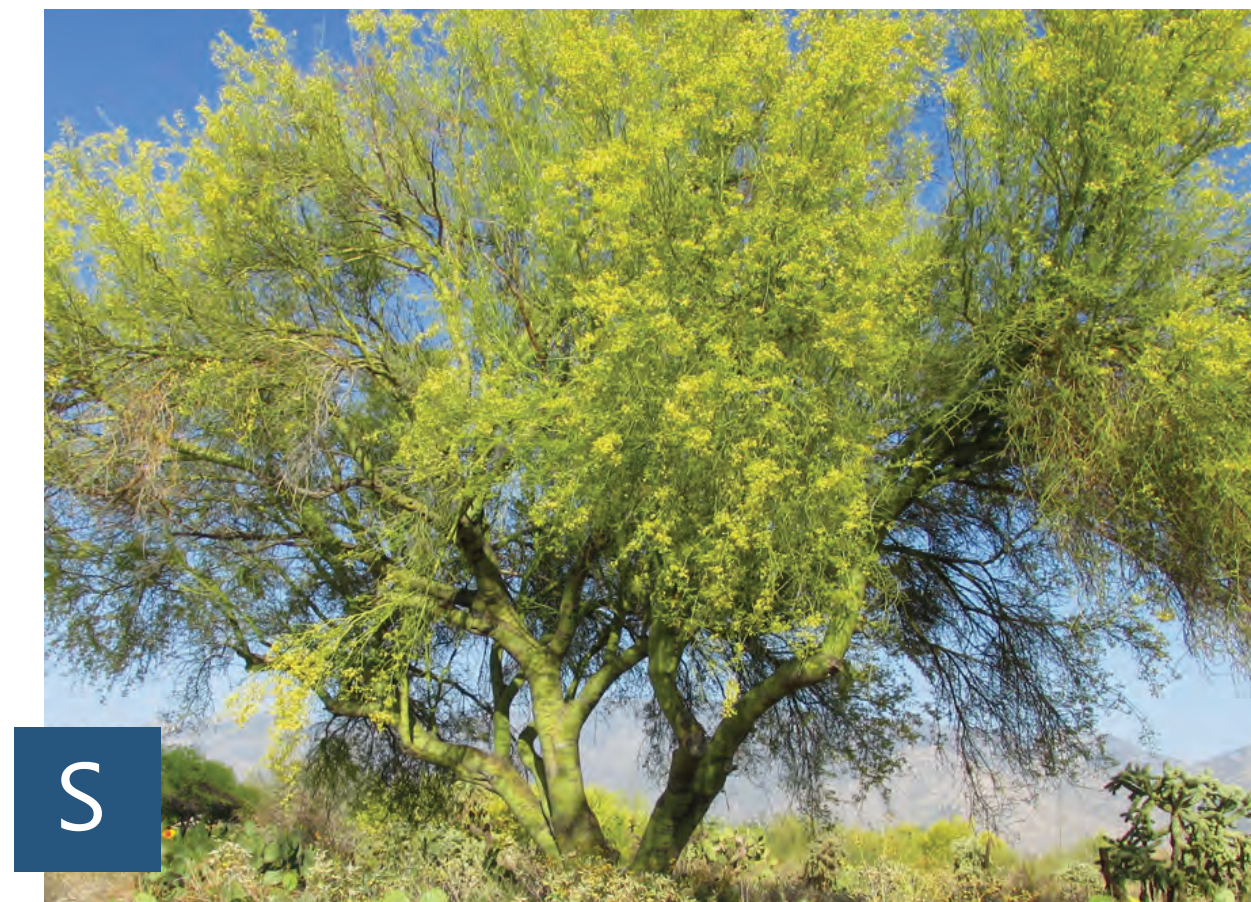
January 9, 2023

BANNER HEALTH / SELECT MEDICAL REHABILITATION HOSPITAL



## Plant Common Names

- A. Pineleaf Milkweed
- B. Angelita Daisy
- C. Cape Plumbago
- D. Blackfoot Daisy
- E. Desert Marigold
- F. Blue Grama Grass
- G. Bear Grass
- H. White Trailing Lantana
- I. Woolly Butterfly Bush
- J. Fishhook Barrel Cactus
- K. Purple-Three Awn
- L. Parry's Agave
- M. 'Orange Crush' Desert Globemallow
- N. Sideoats Grama
- O. Saguaro
- P. Desert Spoon
- Q. 'Bubba' Desert Willow
- R. Whitethorn Acacia
- S. Foothills Palo Verde
- T. Velvet Mesquite
- U. Boulders



RECEIPT (REC-005920-2023)  
FOR CITY OF TUCSON

**BILLING CONTACT**

matt.updegraff  
MATT UPDEGRAFF  
1001 W SOUTHERN AVE SUITE 131  
MESA, AZ 85210



Payment Date: 03/01/2023

Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
TP-PRE-0223-00126	Digital Filing Fee	Fee Payment	Credit Card	\$16.50
	Staff Review Fee - Research/Interpret up to 2hrs	Fee Payment	Credit Card	\$220.00
355 N WILMOT RD TUCSON, AZ 85711			<b>SUB TOTAL</b>	<b>\$236.50</b>
			<b>TOTAL</b>	<b>\$236.50</b>



<b>REZONING</b> <b>Preliminary Development Plan</b> TP-ENT- <u>0523-00020</u> Date <u>5-26-23</u> <b>Planning &amp; Development Services</b>
---

Date: May 5, 2023  
To: City of Tucson  
From: Matt Updegraff, P.E., Kimley-Horn and Associates, Inc  
Subject: Select Medical Rehabilitation Facility

---

Design Compatibility

A Select Medical Rehabilitation Facility is being proposed to the northwest corner of N. Wilmot Road and E. Carondelet Drive in Tucson, Arizona (APN: 127-14-003C). The proposed site is approximately 2.06 net acres (2.48 gross acres), northwest corner of N. Wilmot Road and E. Carondelet Drive. The site is currently zoned Office Zone (O-3). A site plan has been included with this narrative, showing the intended layout of the site and connection to N. Wilmot Road and the private drive. The 66-bed rehab facility has 4 stories and totals 57,230 S.F.

The proposed building setbacks are in line with the new setback requirements set forth by the City of Tucson Mayor and Council on March 21, 2023. Additionally, to provide additional setback and relief from Wilmot Road, the 4-story portion of the building is set back an additional 24' from the 10' requirement. The setback from the North, South, and West property lines all exceed the required 0' setback.

Rezone Request

The maximum building height for the current O-3 office zoning is 40'. The current height restriction limits the functionality and ability to properly serve the anticipated patients. The request is to rezone the property to a C-3 commercial zone. This new zoning will allow for a greater building height creating a more serviceable and welcoming environment to better serve the patients in the surrounding community.

Hydrology and Drainage

The drainage design for the proposed site will convey storm water via valley gutters to catch basins which will route to a surface retention basin to provide volume for the first flush requirements. It is acknowledged that a portion of the proposed development lies with a City of Tucson Flood Plain. An Elevation Certificate will be provided for the proposed building.

Landscape

The Select Medical Rehab Facility's site landscaping proposes to match the adjacent landscape planting palette. The proposed Plant Palette had been included as part of this package. Velvet Mesquite trees will be planted in internal landscape island. Landscape screening consisting of Whitethorn Acacia, Desert Willow, Palo Verde, and Velvet Mesquite trees will plant around the perimeter of the side.

## Pedestrian Access

Pedestrian Access is provided to the Right of Way along Wilmot Road. There are two access points. One is the accessible path to the front of the building. The other is a pedestrian access if further north and allows access to the Ambulation Course.

## Signs

The proposed monument signs for the site will be located at the south private drive entrance. The sign will be approved under a separate plan and permit.

## Topography

The proposed topography is shown in the included Preliminary Grading and Drainage Plan. The intent of the proposed development is to match the existing topography as much as possible.

## Undisturbed area

There is an existing channel in the on along the southwest corner of the site. This will not be disturbed, and drainage infrastructure will be protected in place.



Utilities

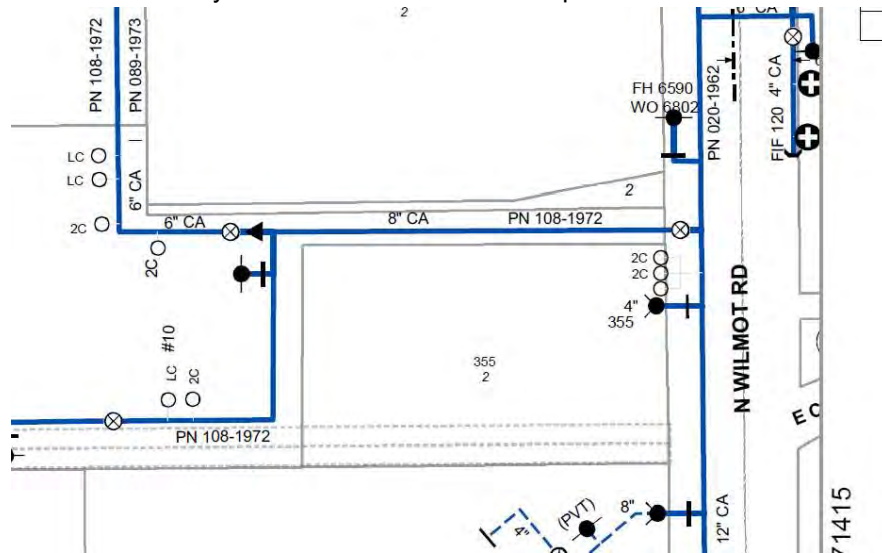
The proposed utility connections for the site are as follows:

Sewer

The proposed 6" sewer to serve the development will connect to the existing manhole within N. Wilmot Road. Pima County will be the provider.

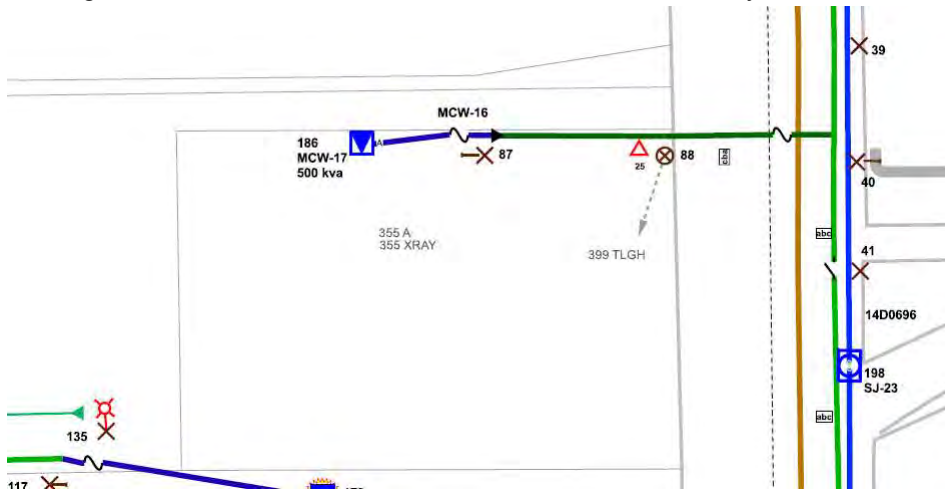
Water

The proposed fire line, domestic water line, and irrigation line will connect to the existing 12" main within N. Wilmot Road. The City of Tucson Water will be the provider.



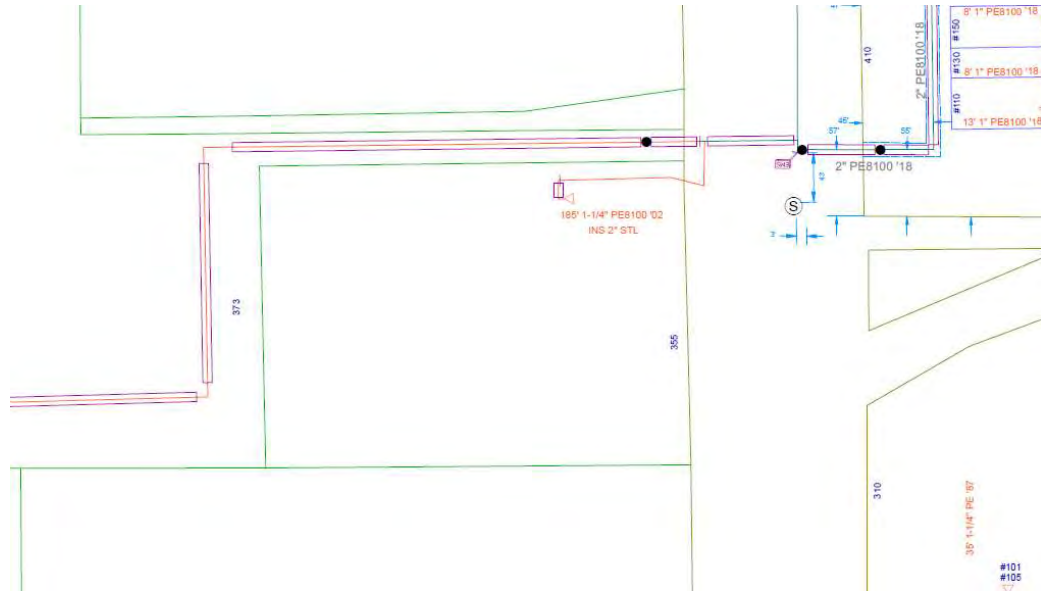
Electric

Tucson Electric Power will be the provider for the site. The proposed development will relocate the existing transformer and dedicate new easements as necessary.



## Gas

Southwest Gas will be the provider for the site. The proposed development will connect to the existing 2" main that runs along the northern property line.



## Telecom

Century Link will be the provider for the property. The proposed development will connect to the existing pedestal at the northeast corner of the site.



## Vehicular Use Areas

The proposed site has a total of 73 parking spaces (including accessible) planned for this development. The required parking for a medical service building with extended care is 1 space per 2 beds, totaling 33 required spaces. Accessible parking spaces are provided per the IBC accessible parking requirements. There is an entrance along the proposed private drive to the south that will serve the site. A 26' wide aerial apparatus road will be constructed south of the proposed building. A loading area is located at the northwest corner of the building. The solid waste and recycling collection area has been located per the direction following the Pre application meeting held on March 22, 2023.

### PARKING REQUIREMENTS

#### PARKING REQUIRED:

MEDICAL SERVICE:			
1 SPACE PER 2 BEDS	66 BEDS/(1 SPACE/2 BEDS)	=	33 SPACES
PER IBC ADA:	20% PER BED (0.2 SPACE / BED)	=	13 SPACES
STAFF SPACE:		=	3 SPACES
<hr/>			
TOTAL REQUIRED			49 SPACES

#### PARKING PROVIDED:

STANDARD:	57 SPACES
ACCESSIBLE:	16 SPACES
TOTAL	73 SPACES



Place  
Stamp  
Here

City of Tucson  
**Planning and Development Services Department**  
Entitlements Section  
201 N. Stone  
P.O. Box 27210  
Tucson, Arizona 85726-7210

TP-ENT-0523-00020 GS

Expose this flap - Affix stamp and return

---



City of Tucson  
Planning and Development Services  
Department - Entitlements Section  
201 N. Stone Avenue  
P.O. BOX 27210  
Tucson, Arizona 85726-7210

TP-ENT-0523-00020 GS

IMPORTANT ORIGINAL CITY ZONING TRANSLATION NOTICE ENCLOSED